

Burlington Design Advisory Board

149 Church Street, City Hall
Burlington, VT 05401

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Sean McKenzie
Steven Offenhartz
Chris Alley
Philip Hammerslough, Alt.
Jeremy Gates, Alt.*



DESIGN ADVISORY BOARD Tuesday May 10, 2016 at 3:00 PM Conference Room 12, City Hall, Burlington, VT Agenda

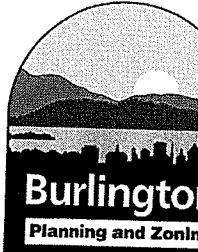
Session I – 3:00pm - 3:45pm

- 1. 16-1145CA/MA; 207 Flynn Ave (ELM, Ward 5S) Vermont Railway Company/
City Market**
Construct new retail grocery building and related site improvements and subdivide lot.
(Project Manager, Scott Gustin)

Department of Planning and Zoning

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Meagan Tuttle, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, CFM, Associate Planner
Anita Wade, Zoning Clerk
Elsie Tillotson, Department Secretary



TO: Design Advisory Board
FROM: Scott Gustin *AD*
DATE: May 10, 2016
RE: 16-1145CA/MA, 207 Flynn Avenue

Zone: ELM Ward: 5S
Owner/Applicant: Vermont Railway, Inc. / City Market

Request: Construct new retail grocery building and related site improvements and subdivide lot.

OVERVIEW:

The applicant is seeking approval to construct a new retail grocery store, parking lot, and related site improvements. The single parcel will also be subdivided into two lots. Nearly all of the development will take place on lot 1. Lot 2 will remain as-is. Demolition of existing buildings onsite has been approved under separate zoning permits.

This project was reviewed by the Technical Review Committee on April 14, 2016. The Conservation Board reviewed it May 2, 2016 and recommended approval, subject to final review and approval of the stormwater management plan and erosion prevention and sediment control plan by the city's stormwater program staff.

ARTICLE 6: DEVELOPMENT REVIEW STANDARDS

Part 1, Land Division Design Standards

Sec. 6.1.2, Review Standards

(a) Protection of important natural features

The proposed subdivision will have no impact on important natural features.

(b) Block size and arrangement

Block size and arrangement will remain unchanged.

(c) Arrangement of Lots

Both resultant lots will be regularly shaped, and both will have sufficient frontage on public streets.

(d) Connectivity of streets within the city street grid

Not applicable.

(e) Connectivity of sidewalks, trails, and natural systems

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

The property does not contain any important natural features as identified in the Open Space Protection Plan or as outlined in Sec. 4.5.4, *Natural Resource Protection Overlay Districts*. In fact, the property is nearly devoid of any green space at all. The proposed construction will have no impact on Burlington's diversity of important natural features.

(b) Topographical alterations

The existing property is essentially flat and will remain so. Proposed grading will direct stormwater runoff into receiving stormwater management measures.

(c) Protection of important public views

There are no significant public views from or through the subject property. The proposed construction will not adversely impact any identified public view corridor.

(d) Protection of important cultural resources

The property has no known archaeological significance. It contains no archaeological site points, nor is it located within an archaeologically sensitive area.

(e) Supporting the use of alternative energy

See Sec. 6.3.2 (f).

(f) Brownfield sites

The Vermont DEC Hazardous Site List specifically lists 207 Flynn Avenue as a contaminated site. Its brownfield status is active, and phase I and II assessments have been done. Contaminants include VOC's, metals, and PAH's. With the Conservation Board, the applicants addressed at length the site contamination and corrective actions to take place. Contaminated soils will be capped with proposed construction or clean top soil. A vapor barrier and associated ventilation will be installed with the store's foundation. The applicants continue to work with VT DEC to address onsite contaminants.

(g) Provide for nature's events

The proposed stormwater management system contains both structural and nonstructural elements. Two rain gardens are proposed along with an overall reduction in pervious surface. The contaminated soils onsite prevent utilizing infiltration, but the under-drained rain gardens will provide stormwater treatment and attenuation. Structural elements include catch basins and piping that will connect to the city's combined storm/sanitary sewer. Overall stormwater discharge volumes will decrease for all design storm events.

(h) Building location and orientation

The proposed building will be set to the northeast corner of the site. It will serve as an anchor point at the corner of Briggs Street and Flynn Avenue. Multiple entries will provide access into the building. Entries will face Flynn Avenue, Briggs Street, and the parking lot. The west elevation, facing the railroad tracks, is the back-of-house elevation.

(i) Vehicular access

Two access points will serve the property. The driveway from Briggs Street appears to be the primary public access point in and out of the property. The other driveway from Flynn Avenue is one-way only (into the site) and will be used for delivery trucks.

As a corner lot, there are two street frontages and no way to put parking fully behind the building. As proposed, the parking will be set to the south of the proposed building. It will be screened by the new grocery store as viewed from Flynn Avenue and set to the side as viewed from Briggs Street.

The Briggs Street driveway is 24' wide, sufficient to allow simultaneous in-and-out movement under the vehicular circulation standards of Article 8. The Flynn Avenue driveway is 30' wide, and appears to be as wide to afford access to the loading bays on the building's west side. If possible to lessen the width of this driveway, the applicant is encouraged to do so.

(j) Pedestrian access

Walkways and related hardscaping afford direct pedestrian access into the building from the public sidewalk. Interior pedestrian routes within the parking area are lacking. This criterion requires provision of safe, well-defined pedestrian routes through parking areas to primary building entries. Only one such route, along the eastern edge of the parking area, is provided. No pedestrian routes are provided to connect the two double-stacked rows of parking to the building's main entry. Plan revisions are needed in order to provide such routes. Lastly, striping is depicted across the Briggs Street driveway to delineate pedestrian crossing continuous with the proposed walkway along the eastern edge of the property. No such delineation is depicted across the Flynn Avenue driveway. This arrangement may be acceptable because there is no public sidewalk further west along Flynn Avenue. Note that this section of sidewalk along Flynn Avenue will be constructed as part of this project. Construction of this sidewalk is subject to review and approval by the Department of Public Works.

(k) Accessibility for the handicapped

A group of handicap parking spaces is depicted near the primary building entrance. Entries into the building appear to be at-grade. It is the applicant's responsibility to comply with all applicable ADA requirements.

(l) Parking and circulation

As noted above, parking is set to the side or rear of the building as perceived from Briggs Street or Flynn Avenue, respectively. Along Briggs Street, the parking lot will be screened with a line of new landscaping consisting of deciduous trees and shrubs. A single large center island will be provided in the parking lot. The westernmost double-stacked row of parking has no such island. Installation of a pedestrian route within this double-stacked row as noted above may afford opportunity to install additional landscaping here as well.

Parking spaces and circulation isles appear to be dimensionally compliant. Parking spaces are 9' X 20', and circulation isles are 20' wide allowing for 10' wide travel lanes. Back-up distance is slightly substandard at 20', whereas 24' is the standard for 90-degree spaces. Some variation from this standard is permissible per Sec. 8.1.11, *Parking Dimensional Requirements*.

Curbing is proposed along the eastern and northern ends of the parking area. None is evident along the western or southern ends. Landscaping along the periphery also serves to delineate the boundaries of the parking and circulation areas.

The proposed parking lot will require shade trees. No parking lot shading analysis is included in the application and must be. This criterion establishes a target of 30% shading of the parking area with new shade trees. At least 1 shade tree for every 5 parking spaces is required. The new parking lot will contain 114 parking spaces and will require 23 shade trees. As proposed, 29 new trees will be planted within or around the parking lot. Minimum caliper size at the time of planting must be 2.5" – 3.5." As proposed, caliper size is compliant. A mature canopy diameter of at least 25' is needed. No canopy diameter information is evident and must be provided.

Bike parking information has been provided. Twenty-eight bike racks will be provided near the building's Flynn Avenue entrance, and an additional 9 will be provided by the Briggs Street entry. Each rack can hold 2 bikes. Enclosed long term bike parking facilities will be provided inside the building along with associated shower and locker facilities.

(m) Landscaping and fences

A comprehensive landscaping plan has been submitted and encompasses a diversity of plantings. Proposed landscaping will be used to frame the property and to screen parking from the street. It will be used to break up the surface parking lot and to define spaces within the site. Species and planting size information has been provided. Only mature canopy dimensional information is lacking relative to parking lot shade trees.

(n) Public plazas and open space

No public plazas or open space are included in this proposal. Outdoor café seating is proposed along the building's eastern elevation adjacent to the accessory café.

(o) Outdoor lighting

An outdoor lighting plan has been provided. Fixture locations are noted within the parking and circulation areas and for the loading bays. No fixtures are indicated for the building's pedestrian entries. Presumably, these entries will be illuminated. Fixture specifications and locations are needed. Details are provided for the parking lot lights. They are acceptable cutoff LED fixtures mounted at 20'. No depiction of the proposed wall sconce for the loading bays is evident and must be provided. Finally, no photometric plan has been provided. One is needed in order to demonstrate compliance with the illumination standards for the building entries and parking and circulation areas.

(p) Integrate infrastructure into the design

No ground-mounted mechanical equipment is apparent in the site plans. Two large compactors will be tucked in along the building's western elevation. They will be screened, in large part, by the building. Any new utility lines must be buried.

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The proposed grocery store is 33,874 sf with a 24,250 sf 1st floor (additional area is related to a proposed stair tower and mezzanine). It reads as a moderately large single story building in character with other nearby commercial structures on Flynn Avenue.

The overall building volume is broken into distinct building sections. Recesses, protrusions, and varying rooflines emphasize perception of distinct building components. Varying materials and fenestration further serve to relieve perceived mass of the proposed building.

Building height varies depending on adjacent grade and roof plane. The highest point appears to be 41' tall. This height is under the maximum permissible 45' in the ELM zone.

2. Roofs and Rooflines

The proposed building will include flat roofs on most building segments. Only the café has a shed roof. Such roof forms are common in the neighborhood and acceptable as part of the proposed building design.

3. Building Openings

Sheltered entries will face Flynn Avenue and the parking lot. Both are readily identifiable. It appears that the café along Briggs Street will have its own entry with access to the outdoor seating. The fenestration is consistent with the boxy appearance of the building and is placed in consistent rhythm throughout. Storefront glazing along the café provides an open and airy feeling to this prominent feature.

(b) Protection of important architectural resources

Demolition of existing structures has been approved under separate permit. Evaluation for historic significance took place via an historic site assessment and review by the VT State Historic Preservation Officer. No buildings either listed on an historic register or eligible for listing will be affected by the new construction.

(c) Protection of important public views

See 6.2.2 (c) above.

(d) Provide an active and inviting street edge

The north and east building elevations define this structure's street face. Both have well defined entries sheltered underneath a projecting canopy. Ample glazing along the Briggs Street façade provide visual access into the building. The café and related outdoor seating area provide additional activation. The Flynn Avenue façade is less successful as a pedestrian interface. Half of it contains an entry and mural sheltered under a canopy. These elements clearly draw people towards the building entry. The other half, however, is fairly blank. Interior store layout presumably drives the lack of ground-level glazing but there is room for improvement to further activate the street level of this primary building façade.

(e) Quality of materials

The building will be clad largely in metal paneling of varying textures and coloration. Wooden panel accents will be installed near the entries. A membrane roofing system will be installed. All of the windows appear to be fiberglass. The proposed materials are acceptable for new construction.

(f) Reduce energy utilization

Few energy details are included in the application plans. The new building must comply with the current energy efficiency requirements of the city and state.

(g) Make advertising features complimentary to the site

A parallel “City Market” sign is depicted on the Briggs Street building elevation. It appears to be placed above 14’ height. Such placement is acceptable so long as the sign is not internally illuminated. Sign area is ~ 57 sf, under the maximum permissible 200 sf.

(h) Integrate infrastructure into the building design

Loading bays are screened from the street and are set apart from active pedestrian areas of the site. Abundant rooftop mechanicals are proposed, some of which are quite large. This criterion requires screening such features within the overall roof structure, outer building walls or parapets, or integrated into the overall building design. No such screening is proposed and is required. Note also that some of the proposed equipment is tall enough to exceed the overall 45’ height limit. The total area of such features cannot exceed 10% of the roof area. Confirmation is needed as to whether this limitation has been observed.

(i) Make spaces safe and secure

The project underwent technical review on April 14, 2016. The fire marshal provided written comment to the applicants based on that review. Building accessibility by emergency service vehicles appears to be adequate.

RECOMMENDED MOTION:

Approval and forward to the Development Review Board subject to the following conditions:

1. Lessen the width of the Flynn Avenue driveway if feasible.
2. Provide safe, well-defined pedestrian routes through both double-stacked rows of parking for access to the main building entry.
3. Provide landscaping island(s) within the westernmost double-stacked row of parking.
4. Provide a parking lot shading analysis demonstrating at least 30% parking lot shading. Also provide anticipated mature tree canopy dimensions.
5. Provide building entry lighting fixture locations and specifications. Provide depiction of proposed wall sconce over loading bays. Provide a photometric plan that includes a point-by-point photometric analysis of proposed illumination levels. Average, minimum, and maximum illumination levels must be summarized in a table for each lighting environment (i.e. parking/circulation and building entries).
6. Provide additional pedestrian activation of the Flynn Avenue façade.
7. Provide screening for all rooftop mechanicals and confirm whether mechanical units exceeding the overall 45’ height limit comprise 10% or less of the total rooftop area.

OWNER / OCCUPANT

Flynn Avenue, LLC/City Market, Onion River Co-op
82 S. Winooski Ave
Burlington, Vermont 05401
(802) 861-9700

ARCHITECT

Freeman French Freeman, Inc.
81 Maple Street
Burlington, VT 05401
(802) 864-6844

LANDSCAPE ARCHITECT

SE Group
131 Church St., 3rd floor
Burlington, VT. 05401
(802) 862-0098

CIVIL ENGINEER

CEA
10 Mansfield View Lane
South Burlington, VT 05404
(802) 864-2323

STORMWATER ENGINEER

VHB
40 IDX Drive, Bldg 100, Suite 200
South Burlington, VT 05403
(802) 497-6130

ENVIRONMENTAL ENGINEER

Stone Environmental, Inc.
535 Stone Cutters Way
Montpelier, VT 05602
(802) 229-4541

STRUCTURAL ENGINEER

Engineering Ventures
208 Flynn Avenue, Suite 2A
Burlington, VT 05401
(802) 863-6225

MEP ENGINEER

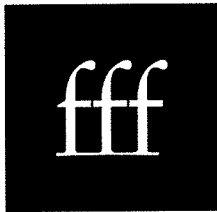
LN Consulting
69 Union St.
Winooski, VT 05404
Tel: (802) 655-1753

FIXTURES & EQUIPMENT

National Co-op Grocers
14 S. Linn Street
Iowa City, Iowa 52240
(866) 709-COOP

CITY MARKET
SOUTH END

PERMIT PLANS
APRIL 22, 2016

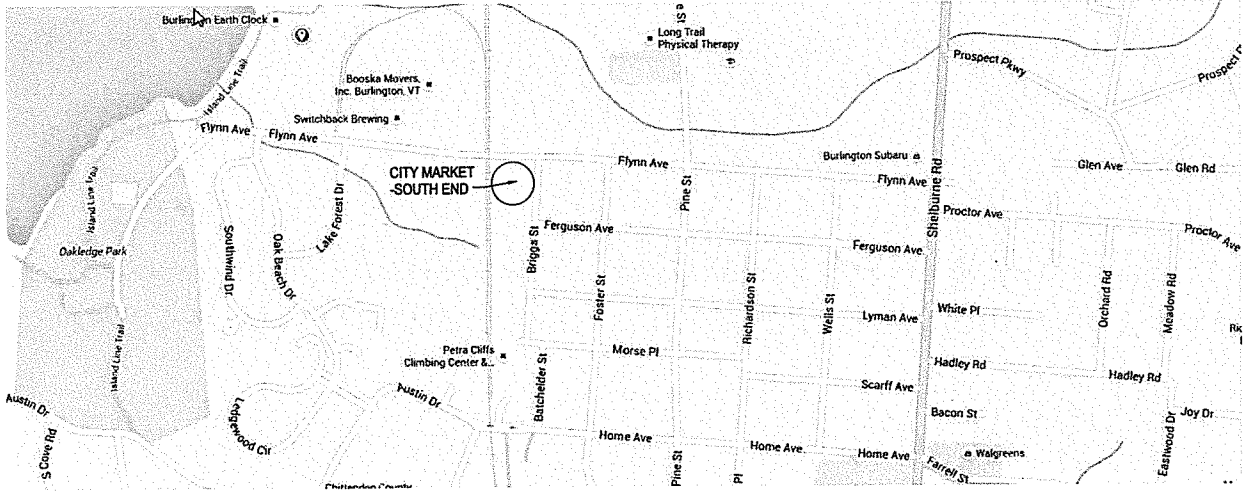


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81 Maple Street - Burlington Vermont 05401
802-864-6844 - www.fffinc.com
Architecture - Planning - Interiors

DEPARTMENT OF
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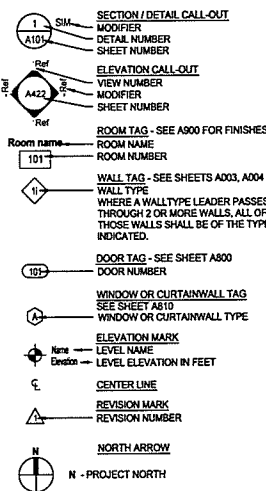
LOCATION MAP



PERSPECTIVE



SYMBOLS LEGEND



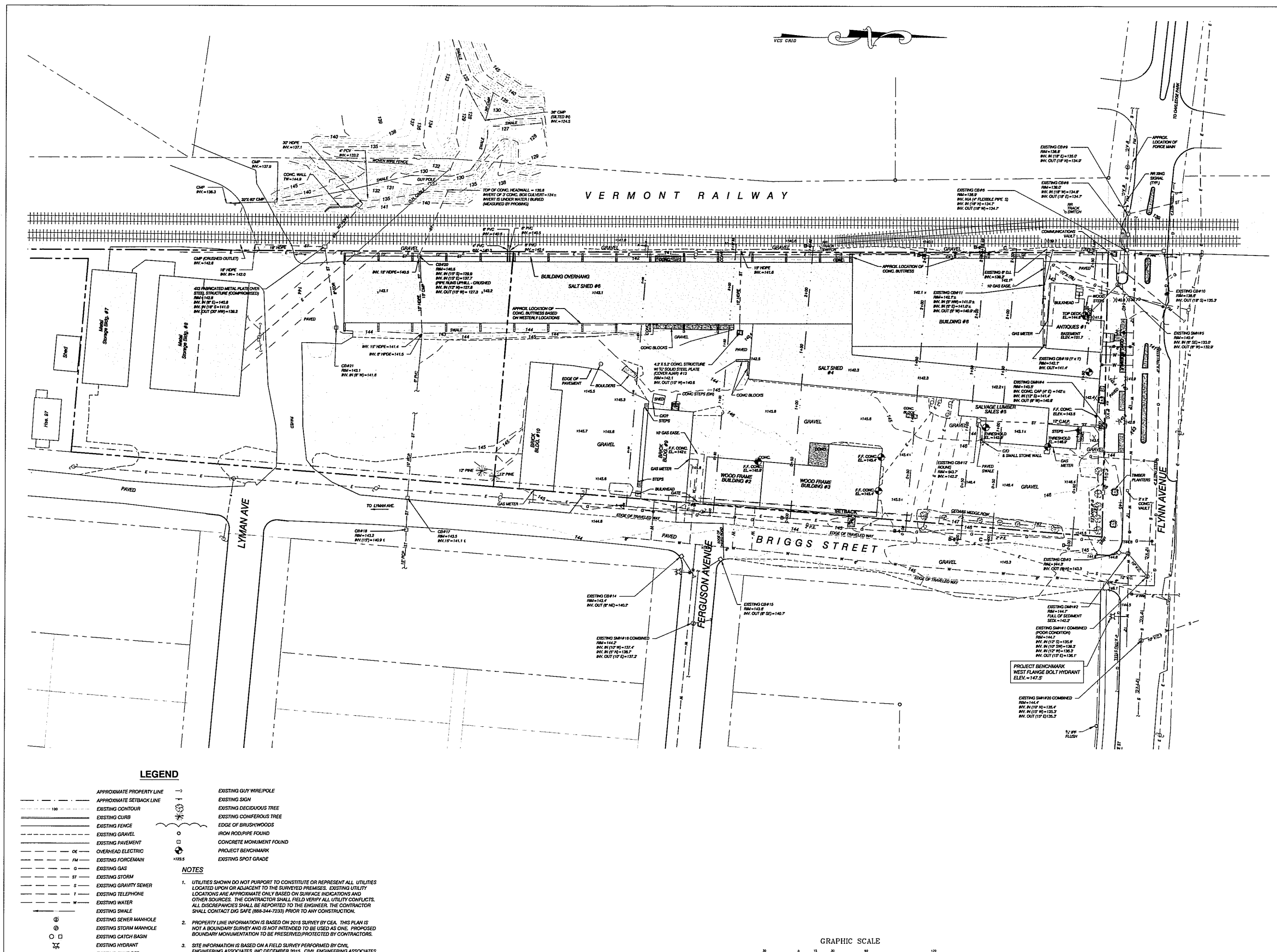
ABBREVIATIONS

ACM	ALUMINUM COMPOSITE PANEL	MATL	MATERIAL
ACT	ACOUSTICAL CEILING TILE	MAX	MAXIMUM
ADA	AMERICANS WITH DISABILITIES ACT	MECH	MECHANICAL
AFB	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ALUM	ALUMINUM	MIN	MINIMUM
APPROX	APPROXIMATELY	MISC	MISCELLANEOUS
BD	BOARD	MO	MASONRY OPENING
BLDG	BUILDING	MTD	MOUNTED
CG	CORNER GUARD	MTL	METAL
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CL	CENTER LINE	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CLR	CLEAR	OD	OVERFLOW ROOF DRAIN
CMP	COMPOSITE METAL PANEL	OFF	OFFICE
CMPU	CONCRETE MASONRY UNIT	OH	OPPOSITE HAND OR OVERHEAD
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	OFRI	OWNER FURNISHED
CONT	CONTINUOUS	OPI	OWNER INSTALLED
CORR	CORRIDOR	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CPT	CARPET		
CT	CERAMIC TILE	PJ	PANEL JOINT
CFI	CONTRACTOR FURNISHED	PL	PLATE
CFI	CONTRACTOR INSTALLED	PLAM/P-LAM	PLASTIC LAMINATE
CFI	CONTRACTOR FURNISHED OWNER INSTALLED	PLT	PLATFORM
DF	DRINKING FOUNTAIN	PWOD	PLYWOOD
DIA	DIAMETER	PREFAB	PREFABRICATED
DIM	DIMENSION	PT	PRESSURE TREATED
DN	DOWN	PTD	PAINTED
DTL	DETAIL	QT	QUARRY TILE
DWG	DRAWING		
EJ	EXPANSION JOINT	RCP	REFLECTED CEILING PLAN
EL/ELEV	ELEVATION	RD	ROOF DRAIN
ELEC	ELECTRIC	REF	REFERENCE/REFRIGERATOR
EMER	EMERGENCY	REQD	REQUIRED
ENGR	ENGINEER	RESA	RESIDENT
EQ	EQUAL	REV	REVISION
EQUIP	EQUIPMENT	RM	ROOM
EW	ELECTRIC WATER COOLER	RO	ROUGH OPENING
EX/EXIST	EXISTING	SCHED	SCHEDULE
EXT	EXTERIOR	SECT	SECTION
ETR	EXISTING TO REMAIN	SHF	SHEET
FD	FLOOR DRAIN	SIM	SIMILAR
FG	FIRE EXTINGUISHER CABINET	SPEC	SPECIFICATION
FIN FLOOR	FINISH FLOOR	STD	STANDARD
FIN	FINISH	STL	STEEL
FLR	FLOOR	SS, ST, STL	STAINLESS STEEL
FRM	FIRE RESISTIVE MATERIAL	STOR	STORAGE
FT	FOOT OR FEET	STRUCT	STRUCTURAL
GALV	GALVANIZED	TEL	TELEPHONE
GW	GYP	TOC	TOP OF CONCRETE
HC	HANDICAP	TOS	TOP OF STEEL
HW	HARDWARE	TOW	TOP OF WALL
HM	HOLLOW METAL	TYP	TYPICAL
HORIZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE UNDER CONTROL
HR	HORIZONTAL	VB	VINYL BASE
HT	HEIGHT	VCT	VINYL COMPOSITION TILE
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	VEST	VESTIBULE
IN	INCHES	W/	WITH
JAN	JANITOR	WC	WATER CLOSET
JC	JANITOR CLOSET	WD	WOOD
		W/O	WITHOUT

SCHEDULE OF DRAWINGS

C1.0	EXISTING CONDITIONS SITE PLAN
C2.0	PROPOSED OVERALL SITE PLAN
C2.1	PROPOSED PARTIAL SITE PLAN
LA-001	EXISTING CONDITIONS SITE PHOTOS
LA-100	LAYOUT PLAN
LA-101	LAYOUT PLAN
LA-102	LAYOUT PLAN
LA-200	PLANTING PLAN
LA-201	PLANTING PLAN
LA-202	PLANTING PLAN
LA-203	PLANTING PLAN
LA-204	PLANTING PLAN
LA-205	PLANTING DETAILS
LA-300	LANDSCAPE DETAILS
LA-301	LANDSCAPE DETAILS
LA-302	LANDSCAPE DETAILS
LA-400	LIGHTING PLAN
LA-401	LIGHTING DETAILS
LA-402	LIGHTING DETAILS
A101	1st FLOOR PLAN
A102	MEZZANINE FLOOR PLAN
A103	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A310	WALL SECTIONS
G401	PERSPECTIVE VIEWS
G402	PERSPECTIVE VIEWS
G500	COLOR PERSPECTIVE
G501	COLOR ELEVATIONS

APRIL 22, 2016
PERMIT PLANS
NOT FOR CONSTRUCTION
NOT FOR BUILDING PERMIT



PROGRESS SET
NOT FOR
CONSTRUCTION



CIVIL ENGINEERING ASSOCIATES, INC.
1000 WOODBURY AVE
BURLINGTON, VT 05401
802-254-0000 FAX 802-254-0001
www.civil-engineers.com

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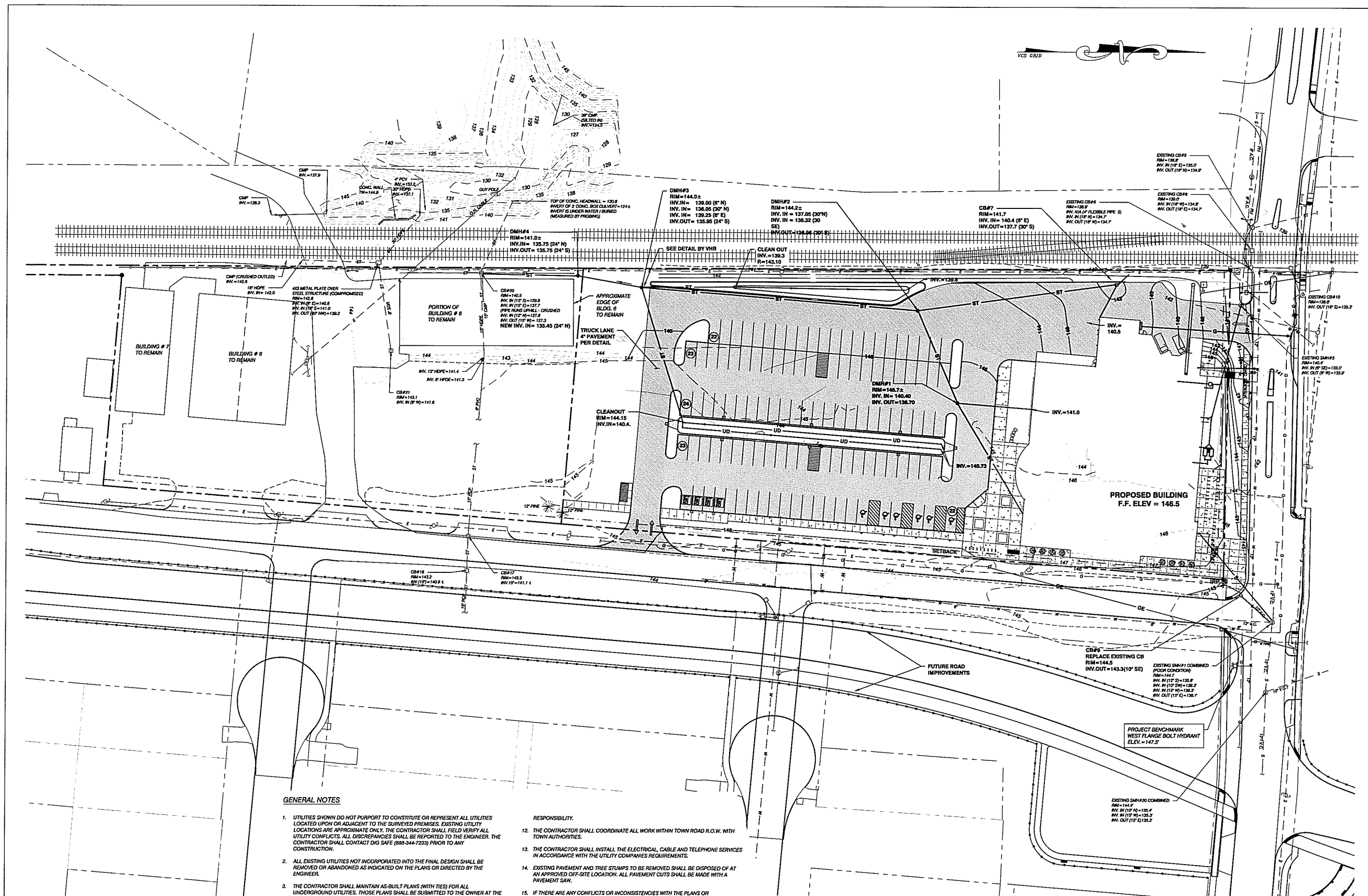
RECEIVED
APR 22 2016

CITY
MARKET
SOUTH END

Burlington,
Vermont

15253
04/06/16
MAB
SAV

PROPOSED
OVERALL
SITE PLAN

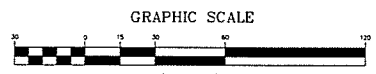


GENERAL NOTES

- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT D&S (888-344-7233) PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES NOT INCORPORATED INTO THE FINAL DESIGN SHALL BE REMOVED OR ABANDONED AS INDICATED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS (WITH TIES) FOR ALL UNDERGROUND UTILITIES. THOSE PLANS SHALL BE SUBMITTED TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL REPAIR/RESTORE ALL DISTURBED AREAS (ON OR OFF THE SITE) AS A DIRECT OR INDIRECT RESULT OF THE CONSTRUCTION.
- ALL GRASSED AREAS SHALL BE MAINTAINED UNTIL FULL VEGETATION IS ESTABLISHED.
- MAINTAIN ALL TREES OUTSIDE OF CONSTRUCTION LIMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY FOR COMPLETE AND OPERABLE FACILITIES AND UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS AND MATERIALS INCORPORATED INTO THE SITE WORK. WORK SHALL NOT BEGIN ON ANY ITEM UNTIL SHOP DRAWING APPROVAL IS GRANTED.
- IN ADDITION TO THE REQUIREMENTS SET IN THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLETE THE WORK IN ACCORDANCE WITH ALL PERMIT CONDITIONS AND ANY LOCAL PUBLIC WORKS STANDARDS.
- THE TOLERANCE FOR FINISH GRADES FOR ALL PAVEMENT, WALKWAYS AND LAWN AREAS SHALL BE 0.1 FEET.
- ANY DEWATERING NECESSARY FOR THE COMPLETION OF THE SITEWORK SHALL BE RESPONSIBILITY.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN TOWN ROAD R.O.W. WITH TOWN AUTHORITIES.
- THE CONTRACTOR SHALL INSTALL THE ELECTRICAL, CABLE AND TELEPHONE SERVICES IN ACCORDANCE WITH THE UTILITY COMPANIES REQUIREMENTS.
- EXISTING PAVEMENT AND TREE STUMPS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE LOCATION. ALL PAVEMENT CUTS SHALL BE MADE WITH A PAVEMENT SAW.
- IF THERE ARE ANY CONFLICTS OR INCONSISTENCIES WITH THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION BEFORE WORK CONTINUES ON THE ITEM IN QUESTION.
- PROPERTY LINE INFORMATION IS APPROXIMATE AND BASED ON EXISTING TAX MAP INFORMATION. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE.
- IF THE BUILDING IS TO BE SPRINKLERED, BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH AWWA M14. THE SITE CONTRACTOR SHALL CONSTRUCT THE WATER LINE TO TWO FEET ABOVE THE FINISHED FLOOR. SEE MECHANICAL PLANS FOR RISER DETAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING TESTING AND INSPECTION SERVICES INDICATED IN THE CONTRACT DOCUMENTS, TYPICAL FOR CONCRETE AND SOIL TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT AND FIELD ENGINEERING REQUIRED FOR COMPLETION OF THE PROJECT. CIVIL ENGINEERING ASSOCIATES WILL PROVIDE AN AUTOCAD FILE WHERE APPLICABLE.
- THE OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY AND ALL SAFETY FENCES OR RAILS ABOVE EXISTING AND PROPOSED WALLS. THE OWNER SHALL VERIFY LOCAL, STATE AND INSURANCE REQUIREMENT GUIDELINES FOR THE INSTALLATION AND VERIFY ANY AND ALL PERMITTING REQUIREMENTS.

LEGEND

- PROPOSED CONTOUR
- PROPOSED PAVEMENT
- PROPOSED OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED GAS
- PROPOSED STORM
- PROPOSED GRAVITY SEWER
- PROPOSED WATER
- PROPOSED CATCH BASIN
- PROPOSED HYDRANT
- PROPOSED SHUT OFF



D:\Projects\2015\15253\1-CADD Files\15253\DWG\15253 Proposed Site Plan.dwg, 4/19/2016 10:15:08 AM, jmaad

PROGRESS SET
NOT FOR
CONSTRUCTION

fff
freeman | treach | freeman
11 Main Street - Burlington VT
802.484.4444 - www.fff.com
Architecture | Planning | Interiors

SITE ENGINEER:

CIVIL ENGINEERING ASSOCIATES, INC.
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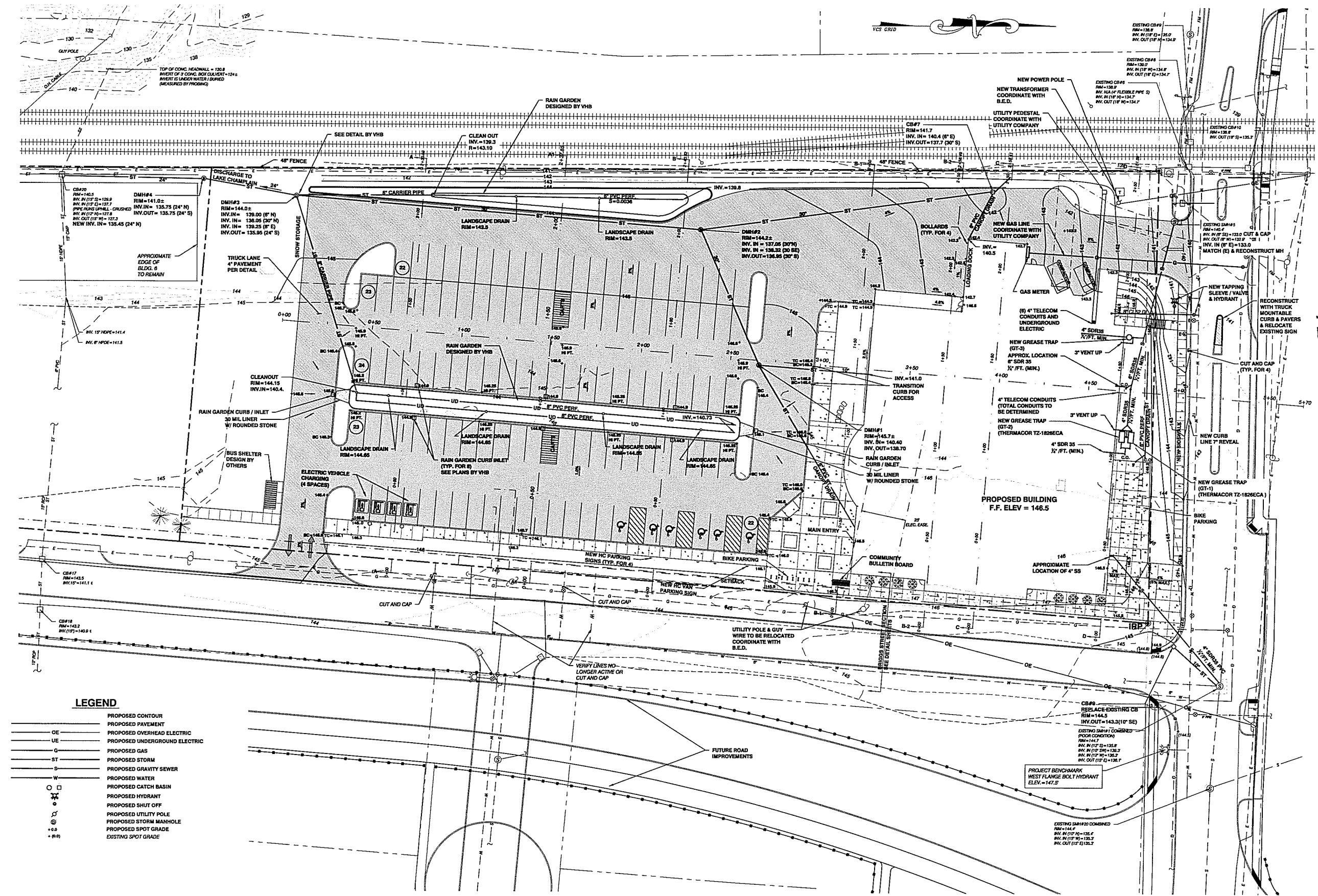
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APR 22 2016
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CITY
MARKET
SOUTH END

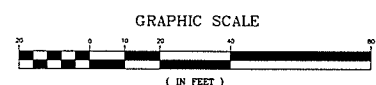
Burlington,
Vermont

CIA PROJECT NO
15253
ORGANIZATION DATE
04/06/16
SCALE
1" = 20'
DRAWN BY
MAB
CHECKED BY
SAV
SHEET NO.
Schematic Design
03/12/2016
Design
04/12/2016
Development
04/12/2016
Permit Plans
04/22/2016

PROPOSED
PARTIAL
SITE PLAN



- LEGEND**
- PROPOSED CONTOUR
 - PROPOSED PAVEMENT
 - OE PROPOSED OVERHEAD ELECTRIC
 - UE PROPOSED UNDERGROUND ELECTRIC
 - G PROPOSED GAS
 - ST PROPOSED STORM
 - S PROPOSED GRAVITY SEWER
 - W PROPOSED WATER
 - PROPOSED CATCH BASIN
 - PROPOSED HYDRANT
 - PROPOSED SHUT OFF
 - PROPOSED UTILITY POLE
 - PROPOSED STORM MANHOLE
 - PROPOSED SPOT GRADE
 - EXISTING SPOT GRADE
- 0.0
+0.0
+0.5



DD Projects\2015\15253\1-CADD Files\15253\DWG\15253 Proposed Site Plan.dwg, 4/12/2016 10:17:16 AM, jpmad



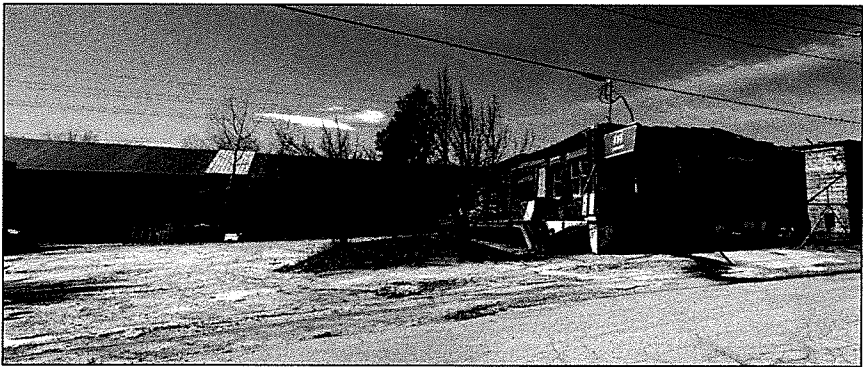
VIEW: EAST FACADE FROM BRIGGS STREET (Buildings 7&8)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Building 7)



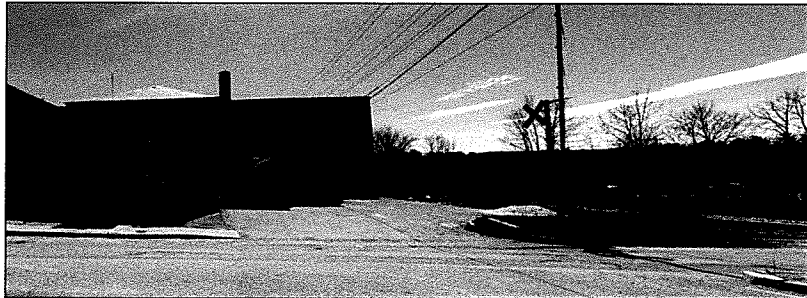
VIEW: LOOKING SOUTH FROM FLYNN AVE (Buildings 3,4&5)



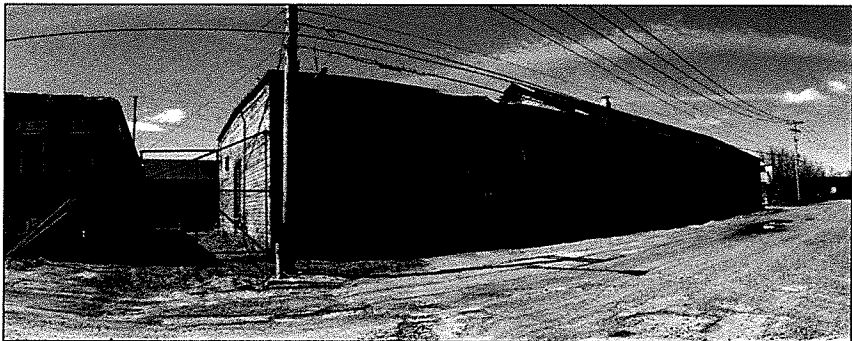
VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 6&9)



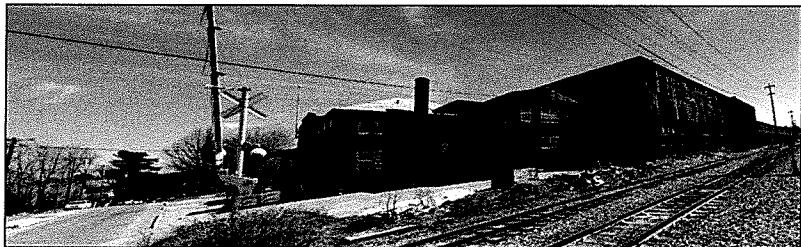
VIEW: EAST ELEVATION FROM BRIGGS STREET (Building 10)



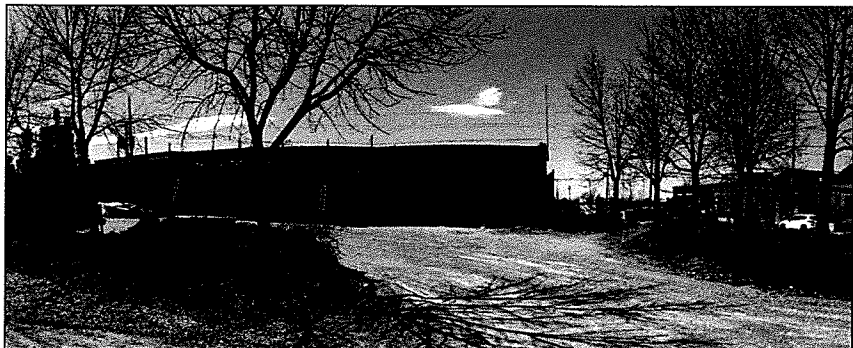
VIEW: NORTH ELEVATION FROM FLYNN AVE (Buildings 1&6)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 2&3)



VIEW: WEST ELEVATION FROM FLYNN AVE (Buildings 1&6)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 4&5)

PROGRESS SET
NOT FOR
CONSTRUCTION



81 Maple Street • Burlington VT 05401
802.485.4841 • www.fff.com
Architecture • Planning • Interiors



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Burlington, VT 05401
Tel: 802.485.2288
Fax: 802.485.2240
www.segroup.com

RECEIVED
APR 22 2016
DEPARTMENT OF
PLANNING & ZONING

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:
A1536.00

DATE: 04/22/16

SCALE: N/A

DRAWN BY: TH

CHECKED BY: MW

DATE LOG:

Schematic Design: 02/12/2016

Design Development: 04/14/2016

Permit Plans: 04/22/2016

SHEET CONTENTS

EXISTING
CONDITIONS
SITE PHOTOS

SHEET NO:

PROGRESS SET
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Farrington Properties, LLC
81 Maple Street - Burlington VT 05401
802-688-0044 • www.fff.com
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DEPARTMENT OF
PLANNING & ZONING

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:
A1536.00

DATE: 04/22/16 SCALE: 1"=30'

TH MW

FILE LOG

Schematic Design 02/12/2016

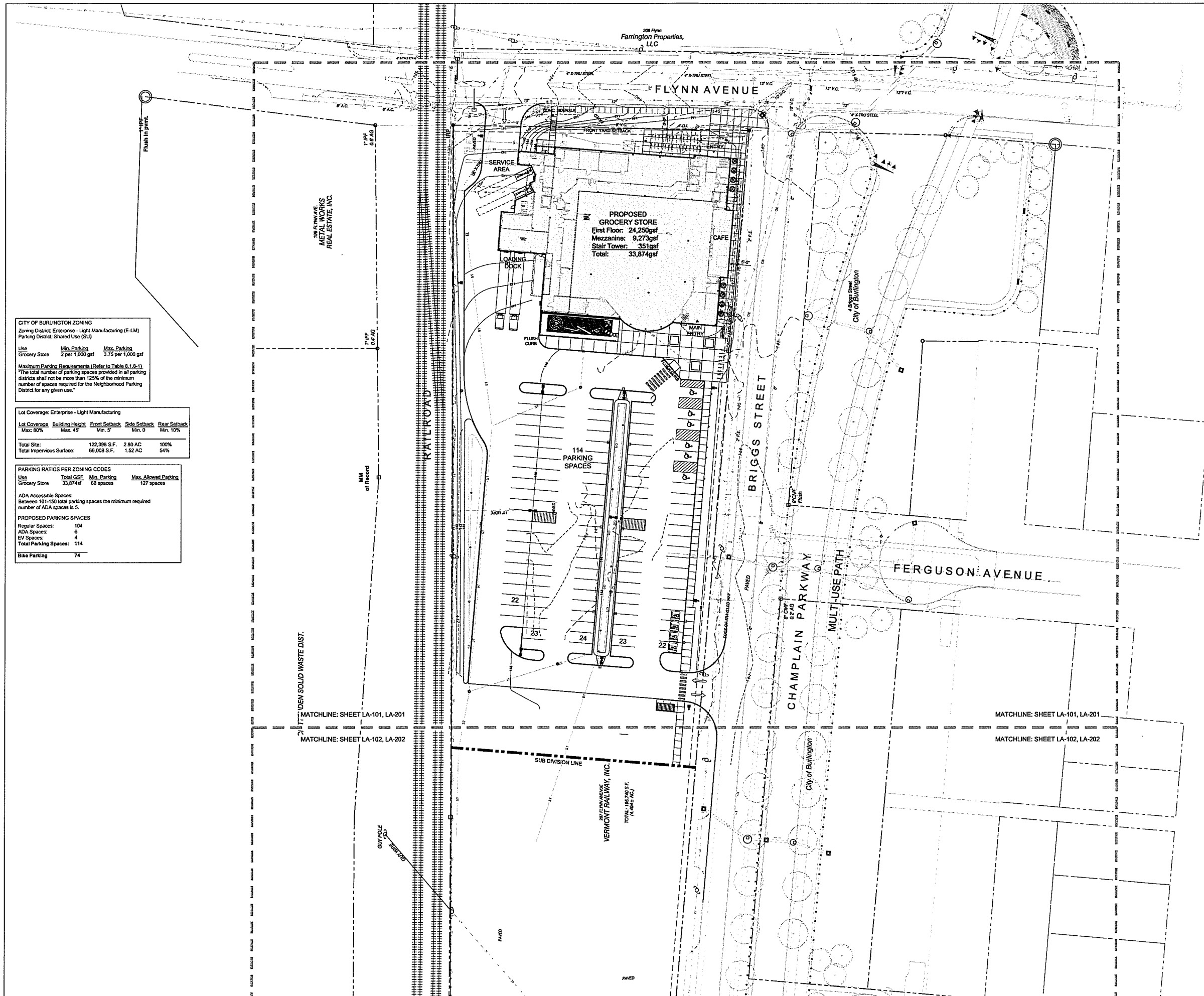
Design Development 04/13/2016

Permit Plans 04/22/2016

SHEET CONTENTS

LAYOUT PLAN

SHEET NO



CITY OF BURLINGTON ZONING
Zoning District: Enterprise - Light Manufacturing (E-LM)
Parking District: Shared Use (SU)

Use Min. Parking Max. Parking
Grocery Store 2 per 1,000 gsf 3.75 per 1,000 gsf

Maximum Parking Requirements (Refer to Table 8.1.8-1)
The total number of parking spaces provided in all parking districts shall not be more than 125% of the minimum number of spaces required for the Neighborhood Parking District for any given use.

Lot Coverage: Enterprise - Light Manufacturing
Lot Coverage Building Height Front Setback Side Setback Rear Setback
Max. 80% Max. 45' Min. 5' Min. 0 Min. 10%

Total Site: 122,398 S.F. 2.80 AC 100%
Total Impervious Surface: 66,008 S.F. 1.52 AC 54%

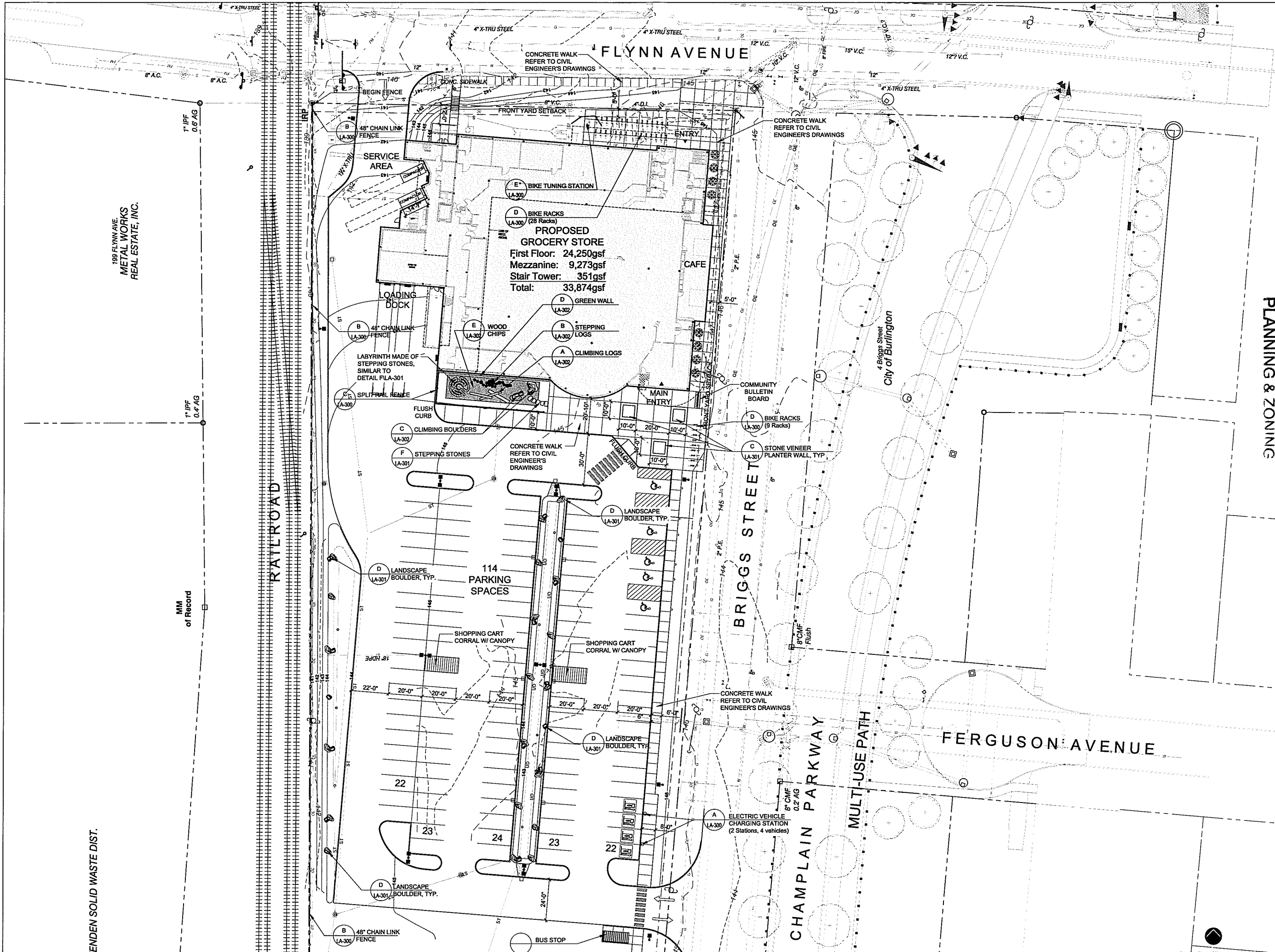
PARKING RATIOS PER ZONING CODES
Use Total GSF Min. Parking Max. Allowed Parking
Grocery Store 33,874sf 68 spaces 127 spaces

ADA Accessible Spaces:
Between 101-150 total parking spaces the minimum required number of ADA spaces is 5.

PROPOSED PARKING SPACES

Regular Spaces: 104
ADA Spaces: 6
EV Spaces: 4
Total Parking Spaces: 114

Bike Parking 74



199 FLYNN AVE.
METAL WORKS
REAL ESTATE, INC.

ENDEN SOLID WASTE DIST.

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31 Maple Street, Burlington, VT 05401
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DEPARTMENT OF
PLANNING & ZONING

RECEIVED
APR 22 2016

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO. A1536.00

DATE: 04/22/16

SCALE: 1"=20'

DRAWN BY: MW

CHECKED BY:

DATE: 02/12/2016

DATE: 04/15/2016

DATE: 04/22/2016

SHEET NO.

LAYOUT PLAN

SHEET NO.

Foster R.E.
Development,
Inc.
V. 206 P. 281

pl. ng Co.
4

CHITTENDEN SOLID WASTE DIS

GUY POLE
GUY WIRE

1" IPF
1.3' AG
(Not Used)

BEGIN FENCE

A 48" CHAIN LINK
FENCE
LA-301

A 48" CHAIN LINK
FENCE
LA-301

B 48" CHAIN LINK
FENCE
LA-301

D LANDSCAPE
BOULDER, TYP.

SUB DIVISION LINE

207 ELYNN AVENUE
VERMONT RAILWAY, INC.

TOTAL: 195,740 S.F.
(4.49± AC.)

CONCRETE WALK
REFER TO CIVIL
ENGINEER'S DRAWINGS

BUS STOP

24'-0"

23

24

22

21

20

19

18

17

16

15

14

13

12

11

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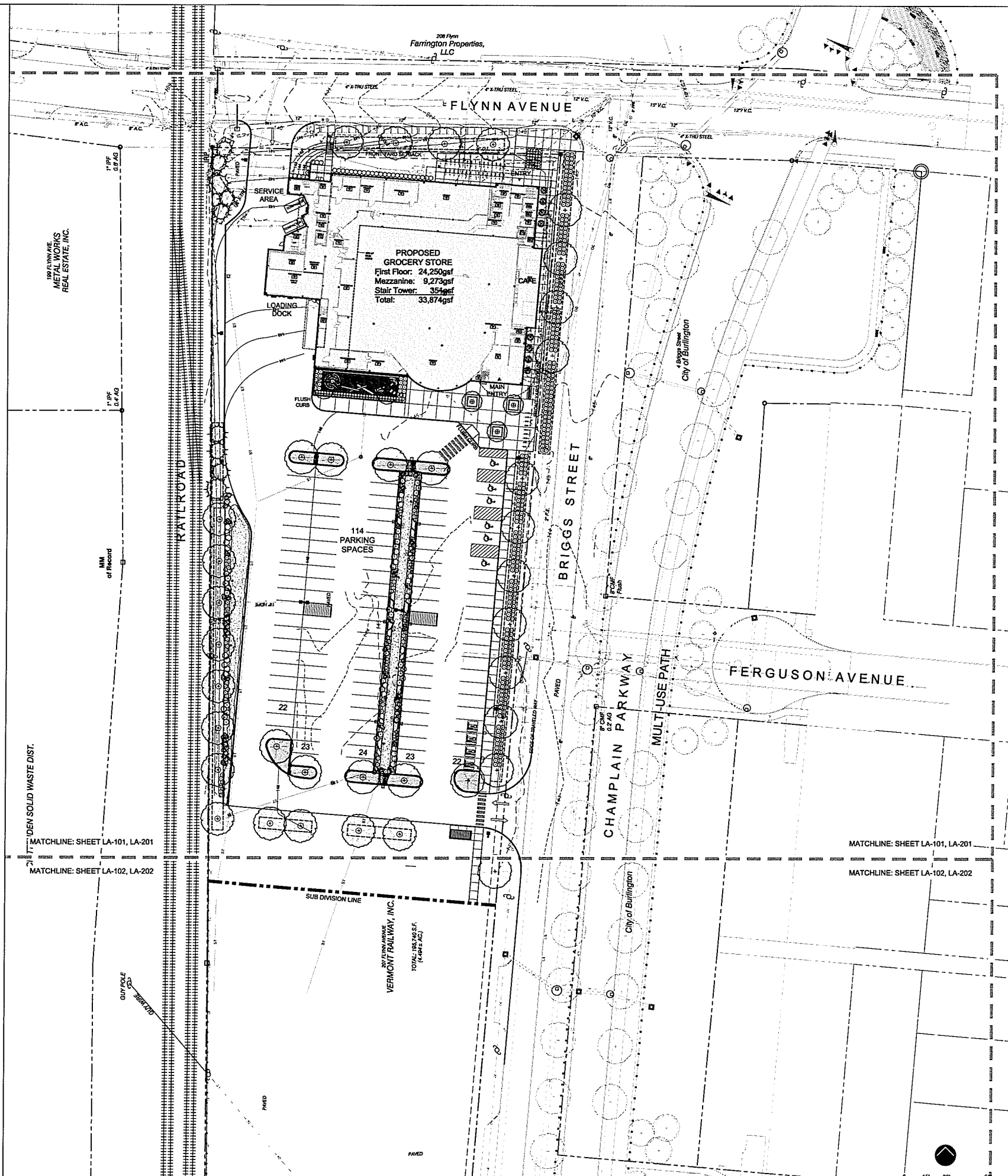
NOTES: 1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES FOUND IN THE PLANTING PLANS. IF ANY DISCREPANCIES ARE FOUND, LANDSCAPE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY.
2. FINAL LAYOUT AND PLACEMENT OF ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
3. CONTRACTOR IS RESPONSIBLE TO SEED ALL DISTURBED AREAS ACCORDING TO THE SPECIFICATIONS AND LAWN DETAIL CILA-205
4. REFER TO PLANTING DETAILS FOR PROPER PLANT MATERIAL INSTALLATION REQUIREMENTS.
5. ALL TREE, SHRUB AND PERENNIAL PLANTING BEDS ARE TO BE CONTINUOUS, COMPLETELY DUG OUT AND BACKFILLED WITH THE PROPER PLANTING BED BACKFILL MATERIAL TO DEPTH SPECIFIED IN DETAILS AND SOIL PREPARATION SPECIFICATION.
6. IF THE LANDSCAPE CONTRACTOR PROPOSES A SUBSTITUTE PLANT SPECIES, ALL SUBSTITUTES NEED TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO ORDERING.
7. FOR SOIL BACKFILL IN THE RAIN GARDEN BASINS, REFER TO CIVIL DRAWINGS, SPECIFICATIONS AND DETAILS.
8. FOR SOIL BACKFILL ON THE SIDE SLOPES OF THE RAIN GARDEN BASINS, REFER TO SOIL PREPARATION SPECIFICATION FOR LANDSCAPE BACK FILL FOR SHRUB AND PERENNIAL BEDS..

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
DECIDUOUS TREES:					
AF	Acer freemanii 'Sienna'	Sienna Glen Red Maple	12	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)
AR	Acer rubrum 'Scarlet Sentinel'	Red Maple	5	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)
GT	Gleditsia triacanthos 'Shade Master'	Honeylocust	9	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)
UA	Ulmus americana 'Princeton'	Princeton American Elm	4	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)
ZS	Zelkova serrata 'Green Vase'	Japanese Zelkova	12	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)
EVERGREEN TREES:					
PGa	Picea glauca	White Spruce	7	4-6' Tall	B&B, Full
PGB	Picea glauca	White Spruce	2	8-10' Tall	B&B, Full
SHRUBS:					
CS	Cornus sericea 'Isanti'	Red-osier Dogwood	29	24-30" Wide	C.G., Plant 30" o.c.
HA	Hydrangea arborescens 'Incrediball'	Incrediball Hydrangea	130	24-30" Wide	C.G., Plant 30" o.c.
IJ	Ilex verticillata 'Jim Dandy'	Winterberry Holly	7	24-30" Wide	C.G., Plant 30" o.c.
IV	Ilex verticillata 'Red Sprite'	Winterberry Holly	34	24-30" Wide	C.G., Plant 30" o.c.
SB	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	60	24-30" Wide	C.G., Plant 30" o.c.
SL	Spiraea latifolia	Meadowsweet	50	24-30" Wide	C.G., Plant 30" o.c.
SN	Spiraea nipponica 'Snowmound'	Snowmound Spirea	105	24-30" Wide	C.G., Plant 30" o.c.
SD	Salix discolor	Pussy Willow	31	24-30" Wide	C.G., Plant 30" o.c.
PERENNIALS:					
AN	Aster nova-angliae	New England Aster	22	1 Gal.	C.G. Plant 18" o.c.
CA	Calamagrostis acutiflora 'Karl Forester'	Feather Reed Grass	104	2 Gal.	C.G. Plant 24" o.c.
CM	Chrysanthemum maximum 'Shasta'	Shasta Daisy	14	1 Gal.	C.G. Plant 18" o.c.
DC	Deschampsia cespitosa 'Schottland'	Tufted Hair Grass	24	1 Gal.	C.G. Plant 18" o.c.
EP	Eupatorium purpureum	Joe-Pye Weed	27	1 Gal.	C.G. Plant 18" o.c.
HS	Hemerocallis 'Stella Doro'	Stella Dora Daylily	837	1 Gal.	C.G. Plant 18" o.c.
MS	Miscanthus sinensis 'Gracillimus'	Maiden Grass	18	2 Gal.	C.G. Plant 36" o.c.
SH	Sporobolus heterolepis	Prairie Dropseed	20	2 Gal.	C.G., Plant 24" o.c.
RF	Rudbeckia fulgida 'Goldstrum'	Blackeyed Susan	27	1 Gal.	C.G. Plant 18" o.c.
SS	Salvia x superba 'May Night'	May Night Salvia	14	1 Gal.	C.G. Plant 18" o.c.
ST	Sedum x telephium 'Autumn Joy'	Autumn Joy Sedum	15	1 Gal.	C.G. Plant 18" o.c.

RAIN GARDEN PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
PERENNIALS:					
AA	Acorus americanus	Sweetflag	145	1 Gal.	C.G. Plant 18" o.c.
AS	Asclepias incarnata	Swamp Milkweed	150	1 Gal.	C.G. Plant 18" o.c.
CC	Carex comosa	Long-hair Sedge	150	1 Gal.	C.G. Plant 18" o.c.
CG	Chelone glabra	Turtlehead	150	1 Gal.	C.G. Plant 18" o.c.
CV	Carex vulpinoidea	Fox Sedge	150	1 Gal.	C.G. Plant 18" o.c.
EP	Eupatorium purpureum	Joe-Pye Weed	150	1 Gal.	C.G. Plant 18" o.c.
IR	Iris versicolor	Harlequin Blueflag	145	1 Gal.	C.G. Plant 18" o.c.
JE	Juncus effusus	Soft Rush	145	1 Gal.	C.G. Plant 18" o.c.
LS	Lobelia siphilitica	Great Blue Lobelia	145	1 Gal.	C.G. Plant 18" o.c.
VH	Verbena hastata	Blue Vervain	145	1 Gal.	C.G. Plant 18" o.c.



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Landscape Architects and Planners
100 CHARTER STREET
BURLINGTON, VT 05401
TEL: 802.462.0000
WWW.SEGROUP.COM

DEPARTMENT OF
PLANNING & ZONING

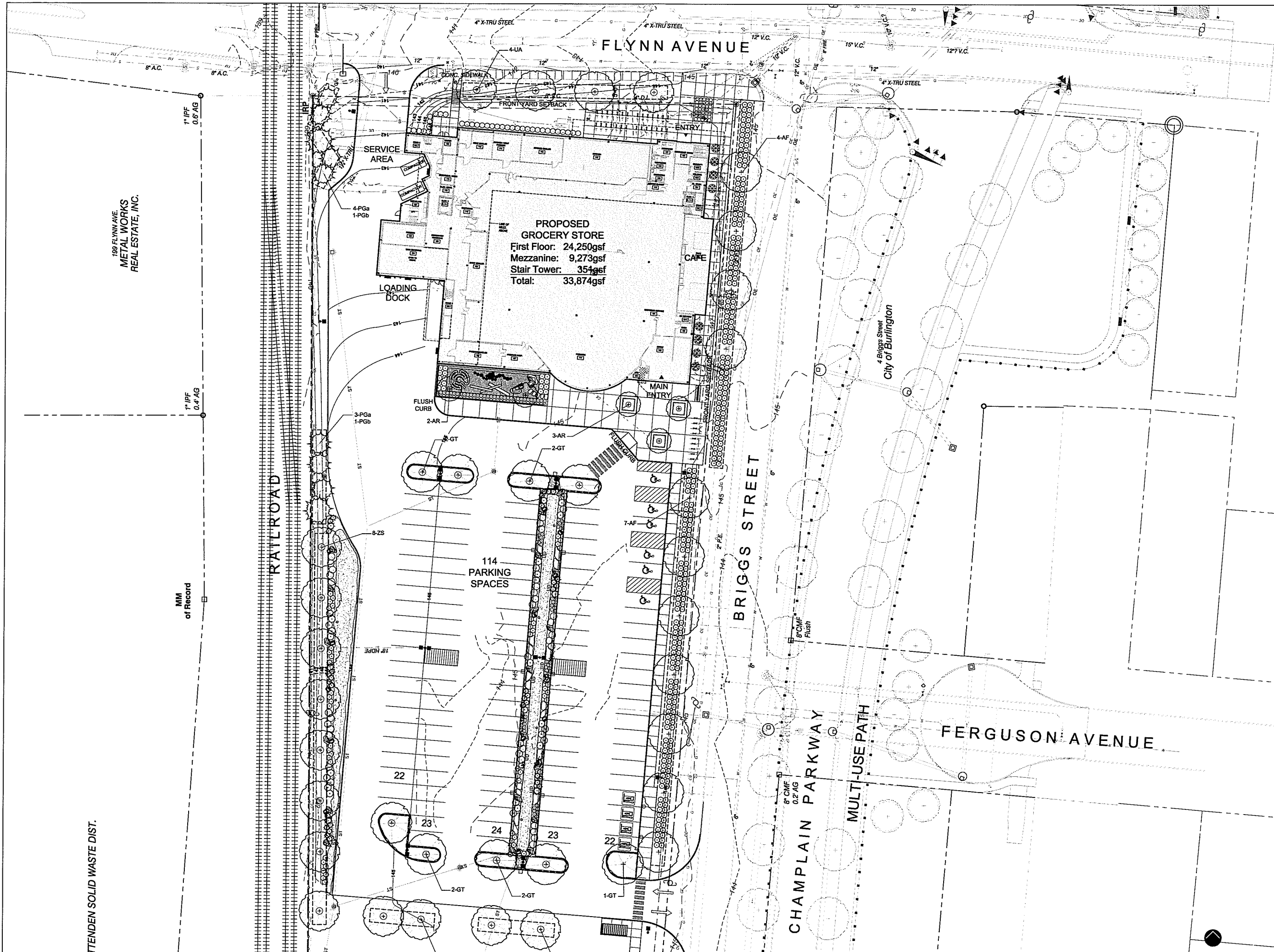
APR 22 2016

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:
A1536.00
DATE: 04/22/16
SCALE: 1"=30'
DRAWN BY: MW
CHECKED BY: MW
DESIGNED BY: MW
DATE: 02/12/2014
DATE: 04/15/2014
DATE: 04/22/2014

PLANTING PLAN



189 FLYNN AVE.
METAL WORKS
REAL ESTATE, INC.

ATTENDEN SOLID WASTE DIST.

MM
of Record

1" IPF
0.4" AG

1" IPF
0.6" AG

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SE GROUP
Landscape Architecture & Planning
131 Convent Street
Burlington, VT 05401
Tel: 802.252.2000
Fax: 802.252.2000
www.segroup.com

DEPARTMENT OF
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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO: A1536.00
DATE: 04/22/16
SCALE: 1"=20'
DRAWN BY: MW
CHECKED BY: MW
SHEET LOG:
Schematic Design: 02/22/2016
Design Development: 04/18/2016
Preliminary Plans: 04/22/2016

PLANTING PLAN

Foster R.E.
Development,
Inc.
V. 206 P. 281

g Co.

CHITTENDEN SOLID WASTE DIST.

GUY POLE
GUY WIRE

A. & M. Boisvert
V. 736 P. 108

1" IPF
1.3' AG
(Not Used)

2" IPF 0.1' BG
0.3' EIV
(Not Used)

1" IPF 0.1' BG

8" CMF
0.2' BG

SUB DIVISION LINE

207 ELYNN AVENUE
VERMONT RAILWAY, INC.
TOTAL: 195,740 S.F.
(4.494 ± AC.)

City of Burlington
V. 736 P. 108

CHAMPLAIN

City of Burlington

DEPARTMENT OF
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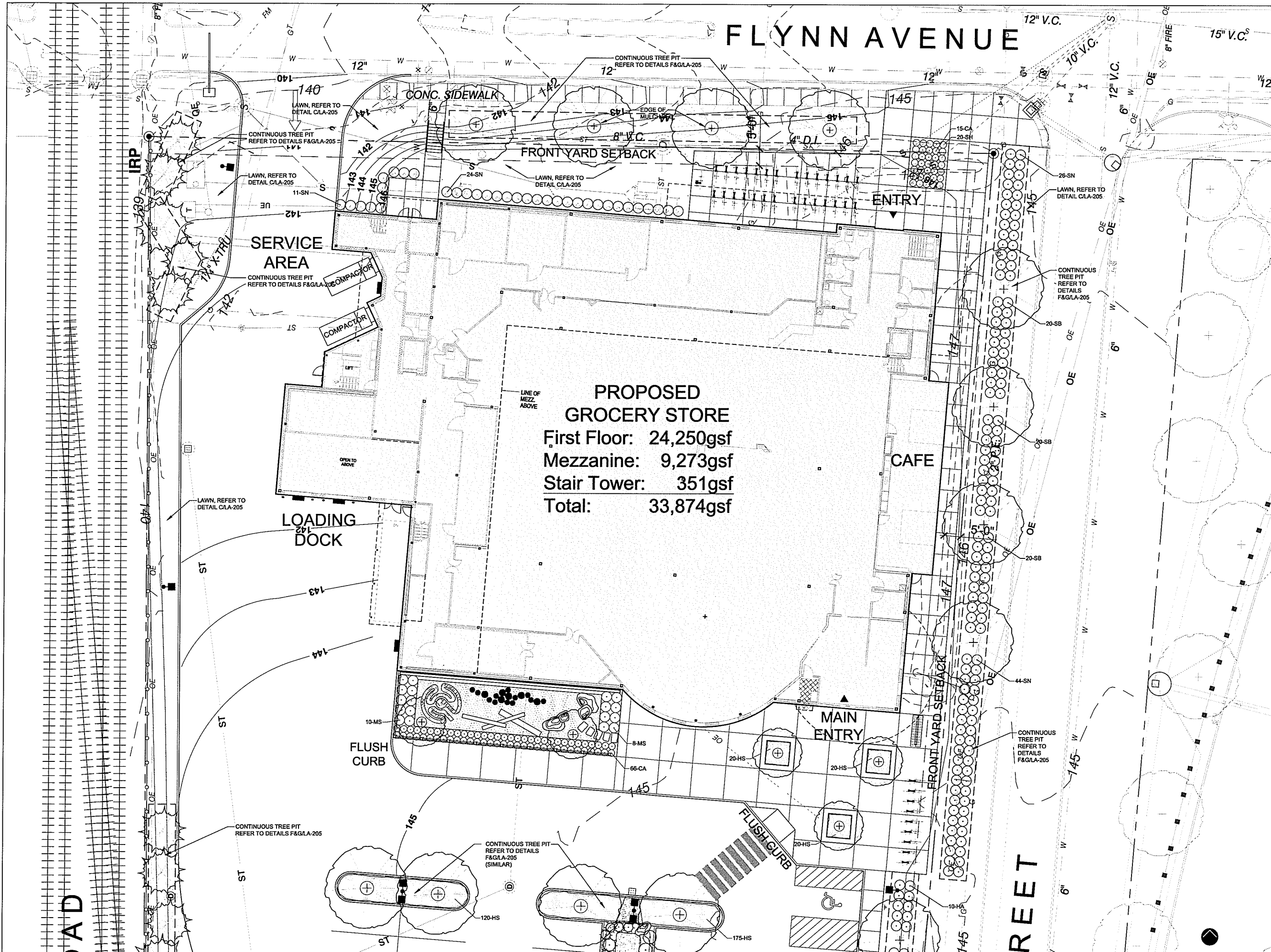
SE GROUP
Landscape Architects and Planners
321 Church Street
Burlington, VT 05401
PH 802.552.2008
FW 802.552.2040
www.segroup.com

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.	A1536.00
DATE	04/22/16
SCALE	1"=20'
DRAWN BY	---
CHECKED BY	MW
DATE	02/12/2016
DESIGN DEVELOPMENT	04/15/2016
PERMIT PLANS	04/22/2016

PLANTING PLAN



**PROPOSED
GROCERY STORE**
First Floor: 24,250gsf
Mezzanine: 9,273gsf
Stair Tower: 351gsf
Total: 33,874gsf

PROGRESS SET
NOT FOR
CONSTRUCTION



DEPARTMENT OF
PLANNING & ZONING

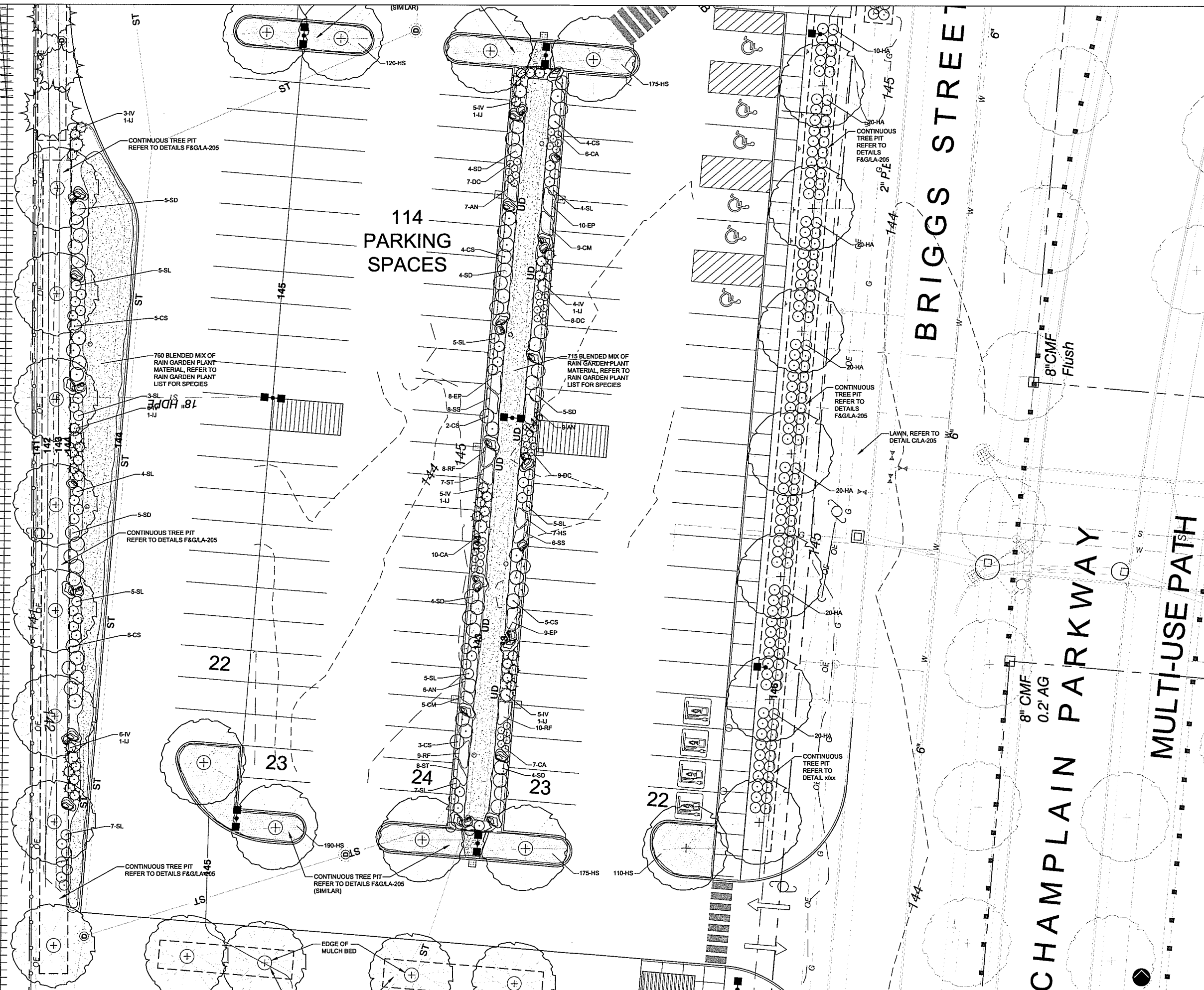
CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.	A1536.00
PROPOSED DATE	04/22/16
SCALE	1"=10'
DRAWN BY	MW
CHECKED BY	MW
SHEET LOG	
Schematic Design	02/12/2016
Design Development	04/12/2016
Final Plans	04/22/2016

PLANTING PLAN

RAILROAD



PROGRESS SET
NOT FOR
CONSTRUCTION

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11 Maple Street - Burlington VT 05401
802-255-4514 - www.ffgroup.com
Burlington | Planning | Landscape

SE GROUP
Landscape Architects and Planners
100 Church Street
Burlington, VT 05401
Tel: 802-482-2000
Fax: 802-482-2005
www.segroup.com

DEPARTMENT OF
PLANNING & ZONING

CITY MARKET
SOUTH END

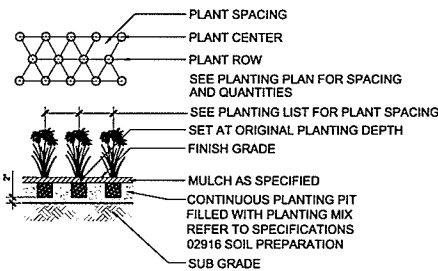
Burlington,
Vermont

PROJECT NO.	A1536.00
ORGANIZATION DATE	04/22/16
SCALE	1"=10'
DRAWN BY	MW
CHECKED BY	
DATE LOG	
Schematic Design	02/12/2016
Design Development	04/16/2016
Final Plans	04/22/2016

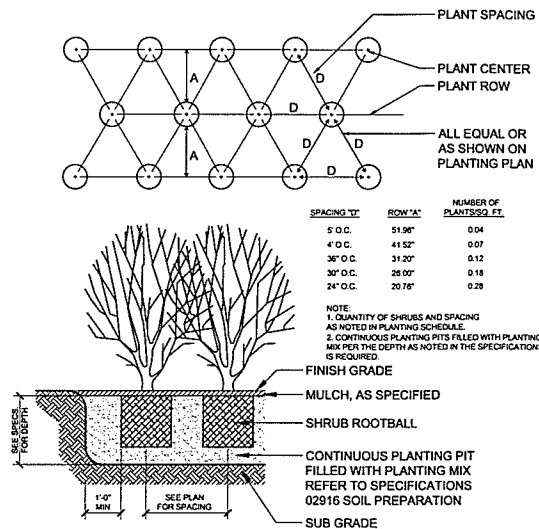
PLANTING PLAN

SHEET NO.

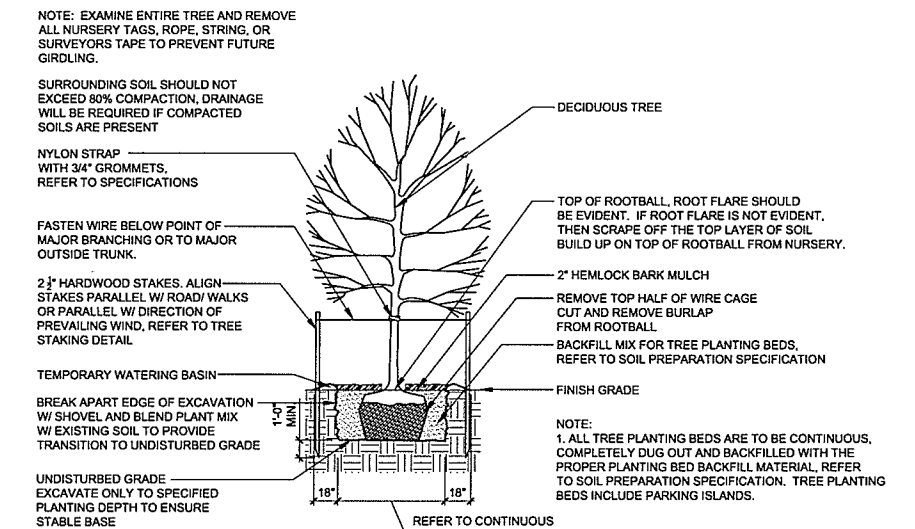
APR 22 2016



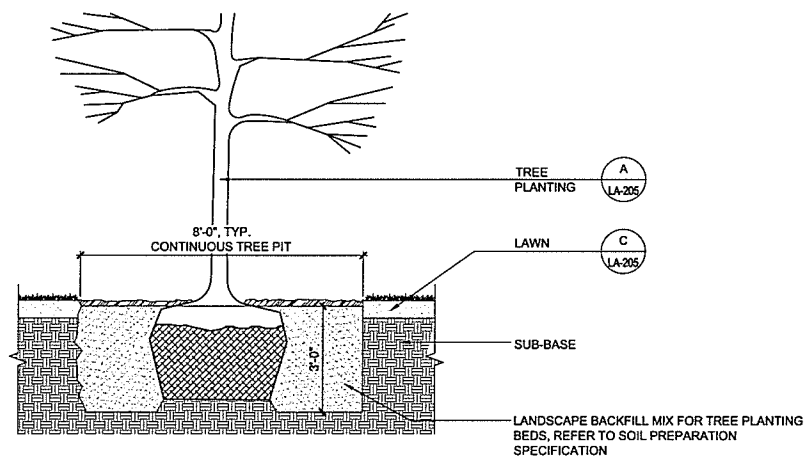
E PERENNIAL PLANTING
SCALE: 1/2" = 1'-0"



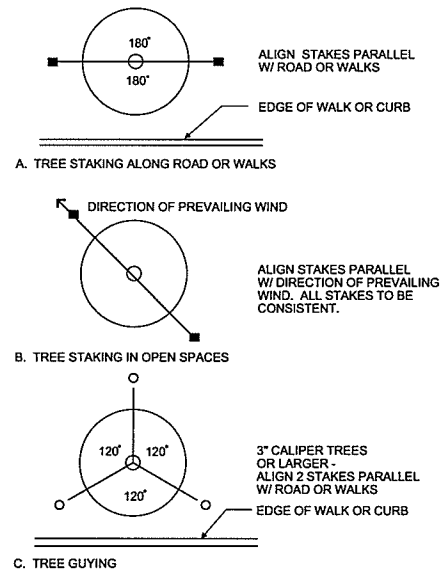
D SHRUB PLANTING
SCALE: 1/2" = 1'-0"



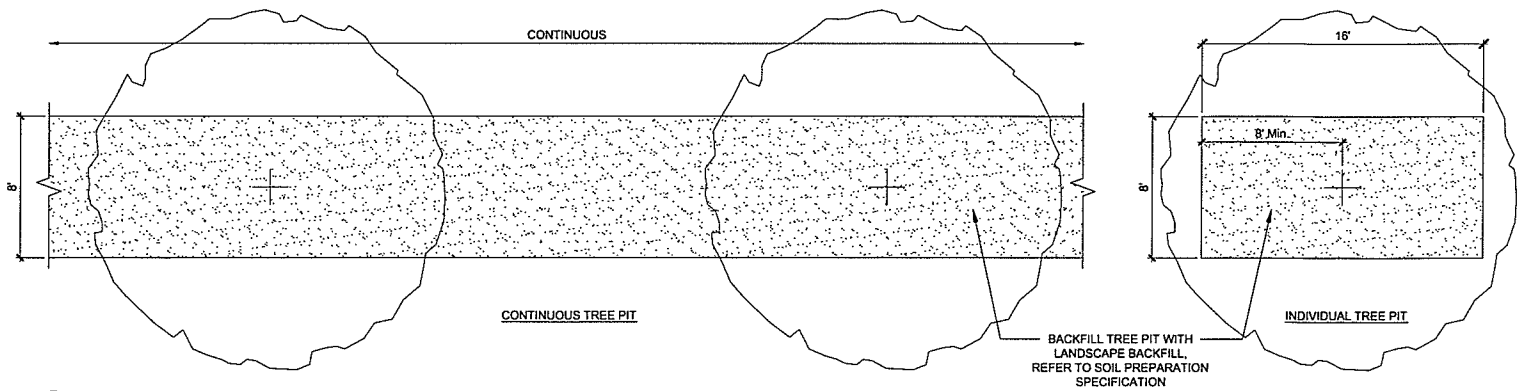
A TREE PLANTING
SCALE 1/4" = 1'-0"



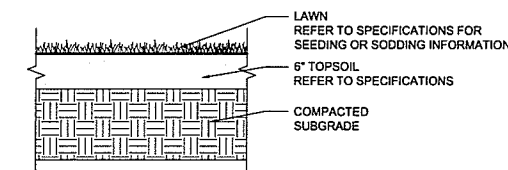
F CONTINUOUS TREE PLANTING PIT
SCALE 1/2" = 1'-0"



B TREE STAKING LAYOUT
NO SCALE



C TREE PLANTING PIT PLAN



G LAWN

PROGRESS SET
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DEPARTMENT OF
PLANNING & ZONING

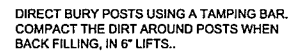
CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.	A1536.00
OPERATION DATE	04/22/16
SCALE	AS NOTED
DRAWN BY	---
CHECKED BY	MW
DATE	02/12/2016
Schematic Design	04/15/2016
Design Development	04/22/2016
Final Plans	04/22/2016

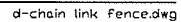
PLANTING DETAILS

1. POSTS AND RAILS TO BE MADE OF WESTERN RED CEDAR.
2. POST SPACING WILL VARY WITH LENGTH OF RAILS AND INSTALLATION PROCEDURE, REFER TO LAYOUT PLANS.
3. RETAMP POSTS PLUMB AFTER THE GROUND SETTLES TO ENSURE FENCE REMAINS PLUMB AND UPRIGHT.

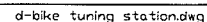


d-split rail fence.dwg

1. CHAIN LINK FENCE TO BE BLACK VINYL COATED
2. ALL FENCE POSTS TO BE BLACK POWDER COATED FINISH
3. CONTRACTOR TO PROVIDE SUBMITTALS OF FENCE SYSTEM AND ALL COMPONENTS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.



NOTES:
1. COLOR TO BE RED POWDER COAT.
2. LOCATION TO BE VERIFIED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. REFER TO SPECIFICATIONS.



Specify model number followed by the applicable code(s).
The order code sequence is: Model-Options, Software, Services
and P&AC are ordered as separate line items.

Software & Services	
Business-to-business	Cloud-based
ChargPoint Connected Service Plan	CTW-SAS-CORP
ChargPoint Service Monitor Alert	CTW-SAS-SP
ChargPoint Access	CTW-SAS-MEM
Station Activation and Configuration	CTW-SAS-ACTACT

Note: All CTW-SAS charges are in U.S. dollars. CTW-SAS charges are subject to all applicable taxes and fees. Other hardware and software charges are additional and may vary.

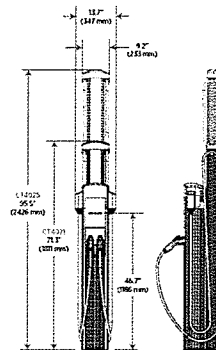
* Estimated for the United States. For Europe, CTW-SAS is 4.0 per year.
 * Europe is 4.0 per year for the United States. For Europe, CTW-SAS is 4.0 per year.

Example 1	Example 2
6' Dear Port Seals USA Gateway Station and Canada Mounting K2	CT400-049 CT400-004

7 Additional Years of Accrual Coverage	CT4000-ALSR497
8 Single Post-Wall Model Bulletin	CT423
Georgian Conference Service Plan, a Year Subject Offer	CTSR-SAS-COMM-5
4 Additional Years of Accrual Coverage	CT4000-ALSR496
Survey Accrual and Eligibility	CT5000-ALSR495

d-ev charging station model.dwg

CT4021 (6') and CT4025 (8')
Bollard



d-bike rack typ.dwg

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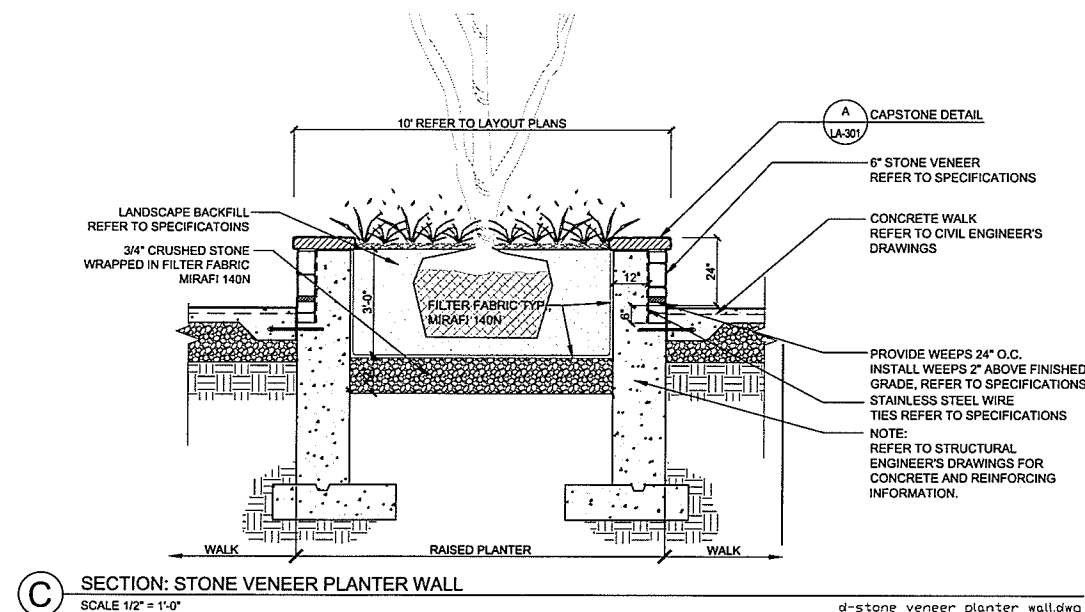
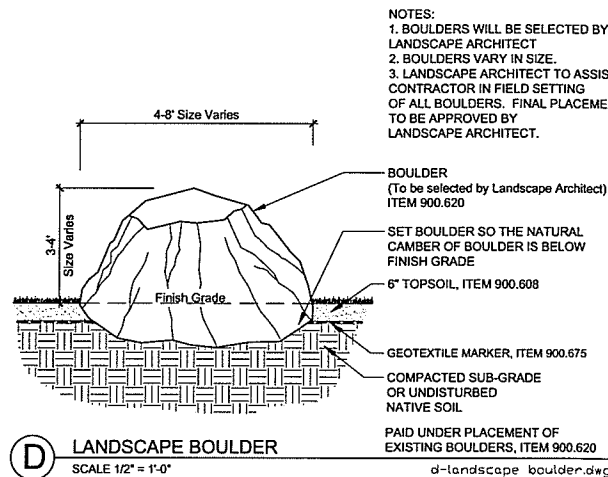
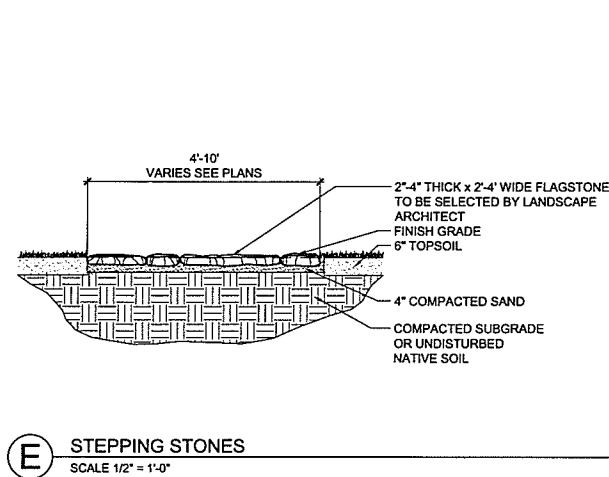
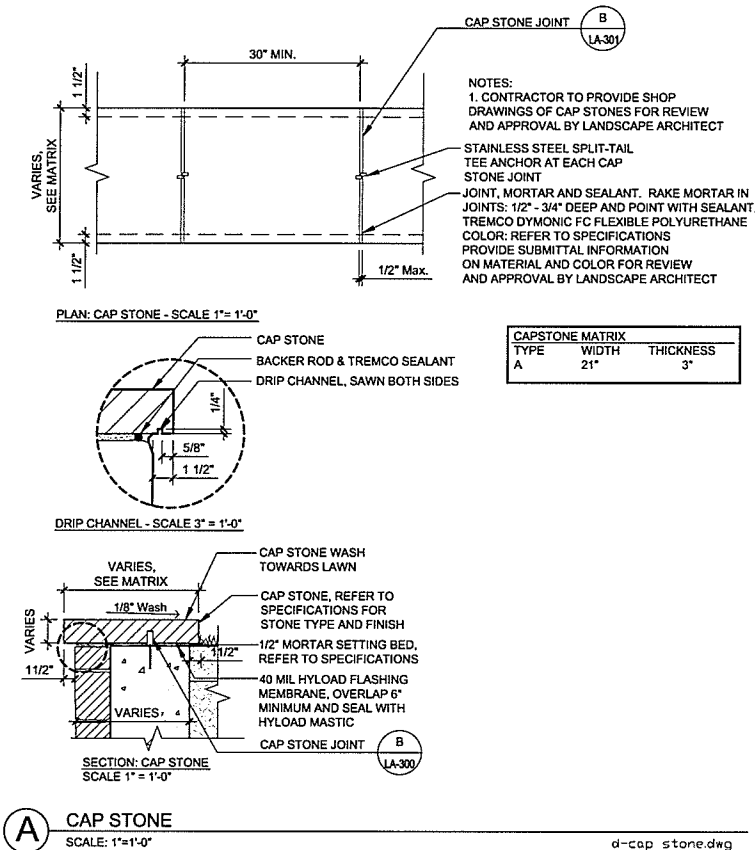
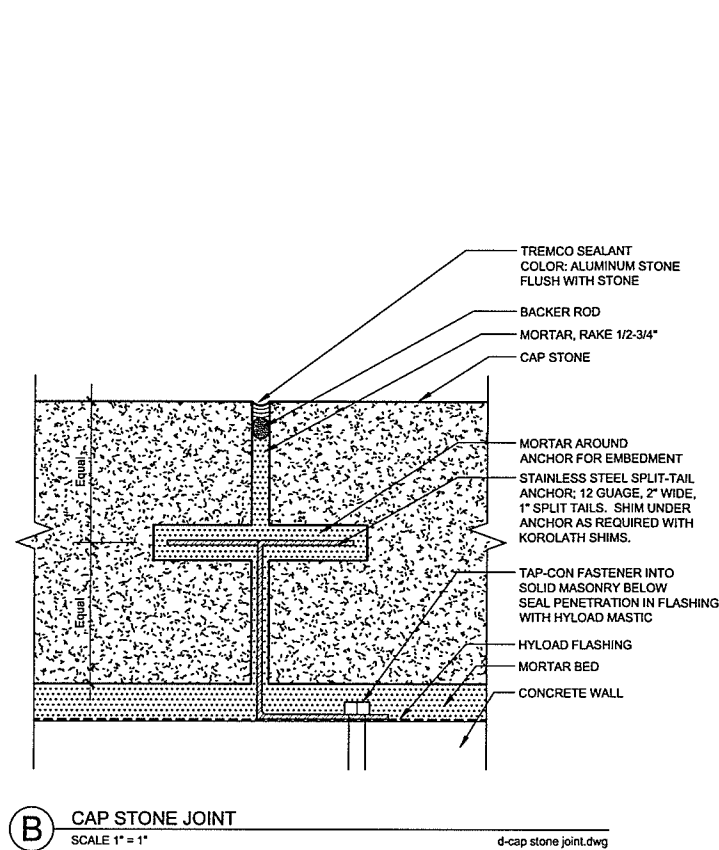
APR 22 2016

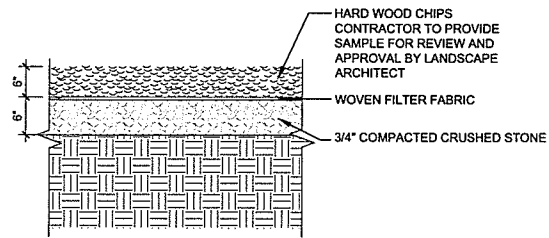
CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:
A1536.00
CREATION DATE: 04/22/16
SCALE: AS NOTED
DRAWN BY: MW
CHECKED BY:
SHEET NO:
Schematic Design: 02/12/2016
Design Development: 04/15/2016
Final Plans: 04/22/2016

LANDSCAPE DETAILS





E WOOD CHIPS
SCALE 1" = 1'-0"
d-wood_chips.dwg

- Notes:
1. DIAMETER OF LOGS WILL VARY (18"-30")
 2. EXPOSED HEIGHT OF LOGS WILL VARY (10-30")
 3. USE HARDWOOD LOGS WITH BARK REMOVED
 4. LOGS WILL BE SET INTO STONE SUB-BASE



B STEPPING LOGS
SCALE: NTS
d-step_logs.dwg

- Notes:
1. CLIMBING LOGS WILL VARY IN DIAMETER (+/-10"-24")
 2. CLIMBING LOGS WILL VARY IN LENGTH (+/-8'-13')
 3. LOGS ARE EXPECTED TO BE IRREGULAR IN SHAPE, OFFERING VARIETY
 3. ALL LOGS WILL BE SELECTED BY LANDSCAPE ARCHITECT



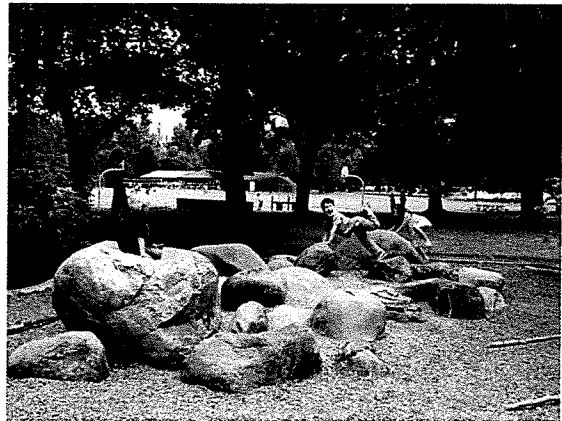
A CLIMBING LOGS
SCALE: NTS
d-climbing_logs.dwg

- Notes:
1. HEIGHT IS APPROXIMATELY 10' TALL
 2. VERTICAL AND HORIZONTAL COMPONENTS WILL BE MADE FROM ROUGH CUT CEDAR LOGS
 3. WALL WILL BE FREE STANDING, POSTS WILL BE BURIED IN THE GROUND SURROUNDED BY CONCRETE.
 4. ALL WOOD COMPONENTS WILL BE LEFT NATURAL WOOD, NO FINISH
 5. ALL HARDWARE SHALL BE STAINLESS STEEL



D GREEN WALL
SCALE: NTS
d-green_wall.dwg

- Notes:
1. BOULDER LENGTHS WILL VARY BETWEEN 5'-7'
 2. BOULDER WIDTHS WILL VARY BETWEEN 4'-6'
 3. EXPOSED HEIGHT OF BOULDERS WILL VARY
 4. BOULDERS WILL BE SET INTO THE STON SUB-BASE
 5. ALL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT



C CLIMBING BOULDERS
SCALE: NTS
d-climbing_boulders.dwg

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CITY MARKET
SOUTH END

Burlington,
Vermont

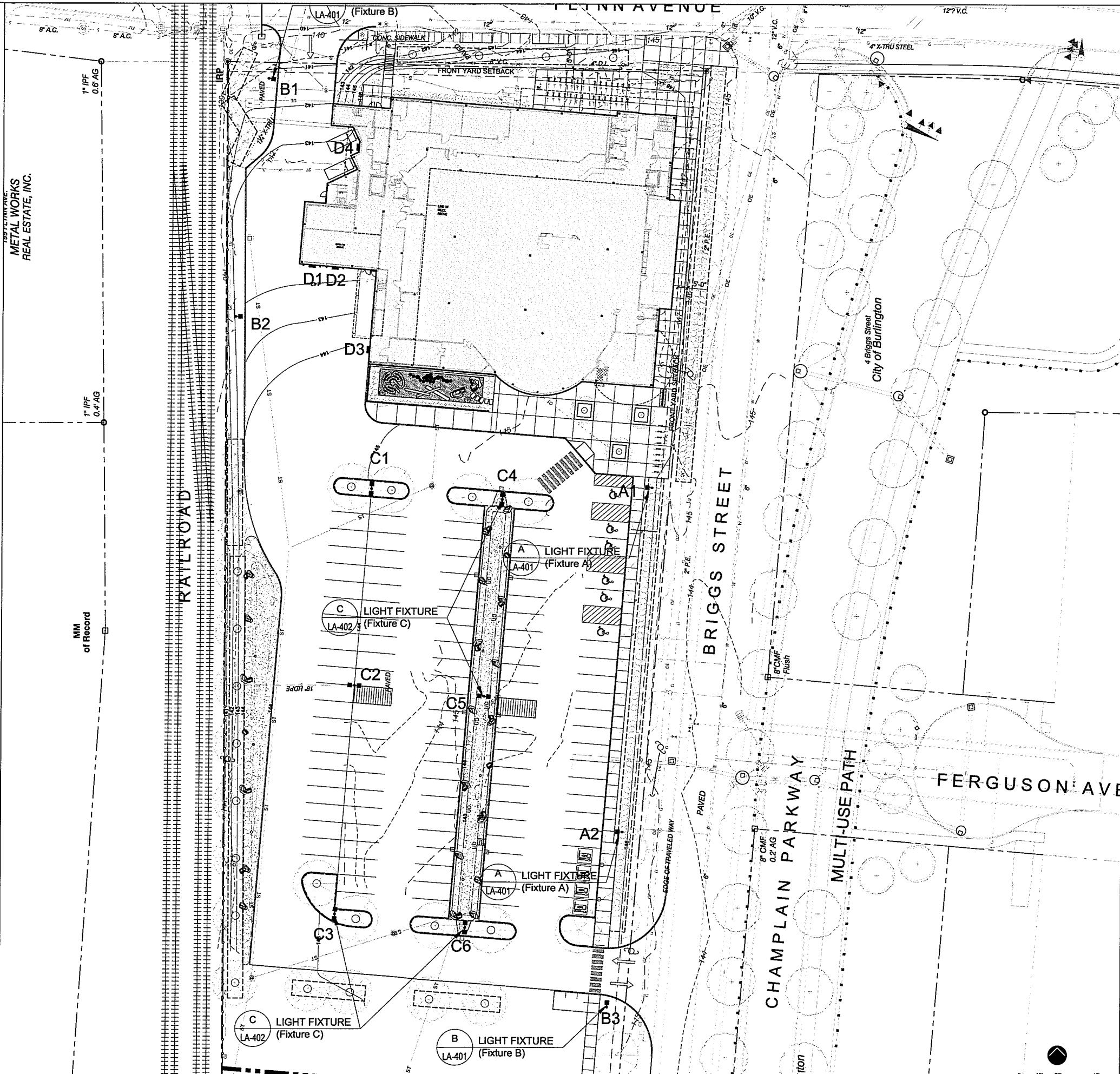
PROJECT NO.	A1536.00
ORIGINATOR DATE	04/22/16
SCALE	AS NOTED
DRAWN BY	---
CHECKED BY	MW
DATE	02/12/2016
DESIGN DEVELOPMENT	04/18/2016
PARENT PLAN	04/22/2016

LANDSCAPE DETAILS

FIXTURE AND POLE SPECIFICATIONS	
■ Fixture A	
Manufacturer:	Kim Lighting
Fixture:	Altitude - ALT96
Configuration:	1SA
Optics:	Type 3
Lamp:	96watt LED - 4,000K
Milliamps:	350ma
Lens:	Flat Lens - FGL
Color:	Black
Options:	—
Pole:	PRA20-4188
Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.	
■ Fixture B	
Manufacturer:	Kim Lighting
Fixture:	Altitude - ALT96
Configuration:	1SA
Optics:	Type 3
Lamp:	96watt LED - 4,000K
Milliamps:	350ma
Lens:	Flat Lens - FGL
Color:	Black
Options:	—
Pole:	PRA17.5-4188* (Modified)
Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.	
■ Fixture C	
Manufacturer:	Kim Lighting
Fixture:	Altitude - ALT96
Configuration:	2SB
Optics:	Type V
Lamp:	96watt LED - 4,000K
Milliamps:	350ma
Lens:	Flat Lens - FGL
Color:	Black
Options:	—
Pole:	PRA17.5-4188* (Modified)
Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.	
■ Fixture D	
Manufacturer:	Gardco
Fixture:	101L Wall Sconce
Optics:	Type IV
Wattage:	35watt LED - 4,000K
Color:	Black
Options:	Wall Mounted - 14" Mounting Height

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PROJECT NO.	A1536.00
DATE	04/22/16
SCALE	1"=20'
DRAWN BY	---
CHECKED BY	MW
REVISIONS	
Schematic Design	02/12/2016
Design Development	04/14/2016
Final Plans	04/22/2016

LIGHTING PLAN

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SOUTH END

Burlington,
Vermont

PROJECT NO.
A1536.00

DATE
04/22/16

SCALE
AS NOTED

DESIGNED BY
MW

CHECKED BY
MW

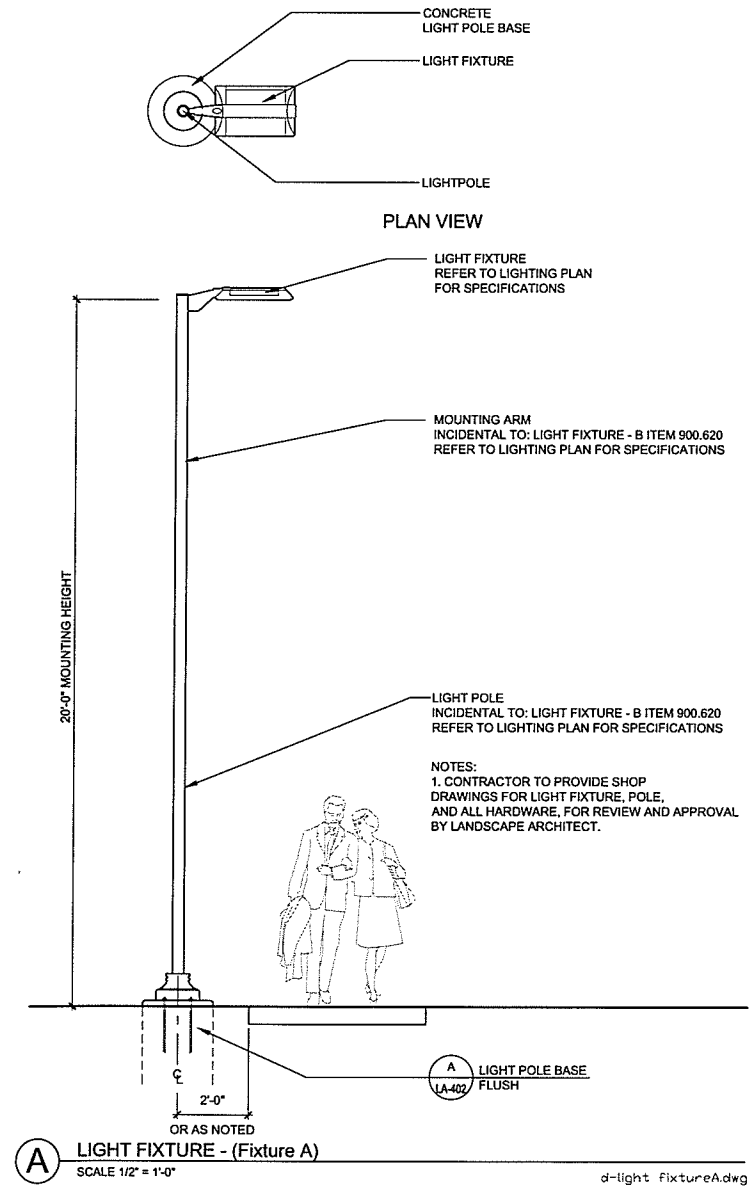
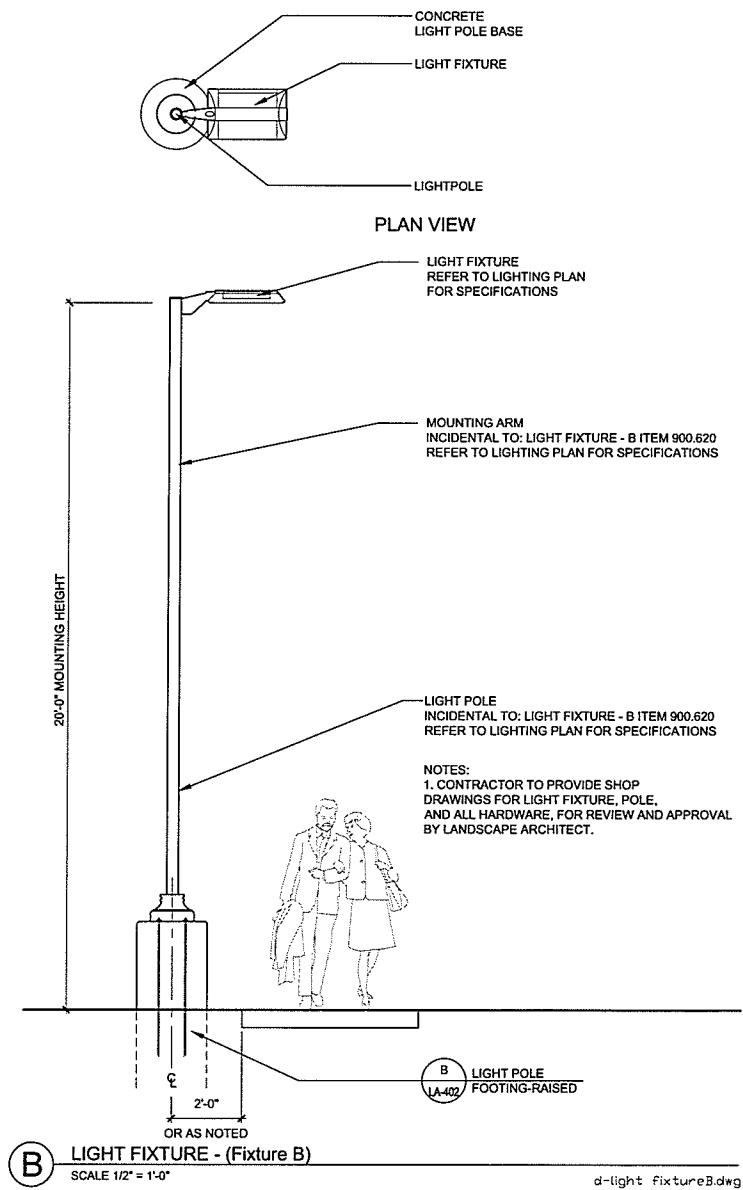
DATE
02/12/2016

DATE
04/15/2016

DATE
04/22/2016

SHEET CONTENTS
LIGHTING
DETAILS

SHEET NO.



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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.
A1536.00

DATE: 04/22/16 SCALE: AS NOTED

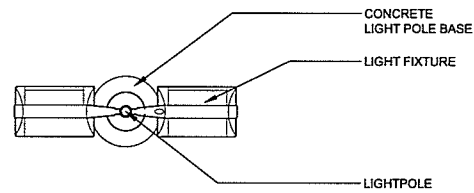
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DATE: 02/12/2016

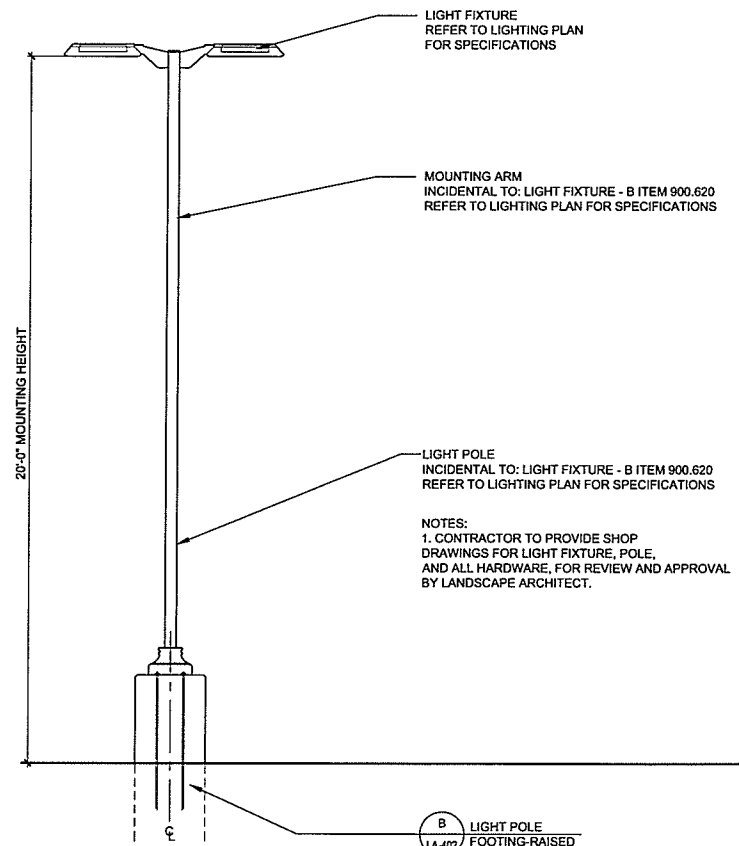
Design Development: 04/18/2016

Final Plans: 04/22/2016

SHEET NO. 1
LIGHTING
DETAILS

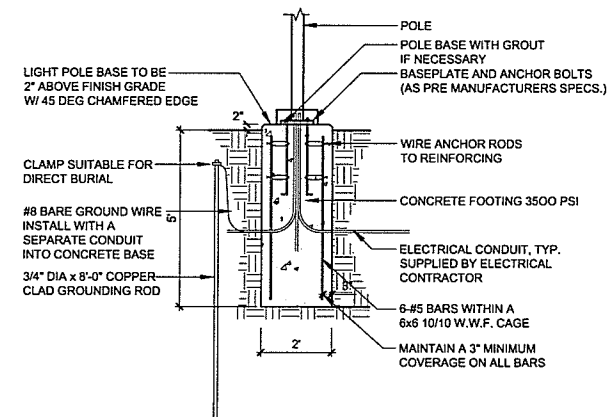


PLAN VIEW



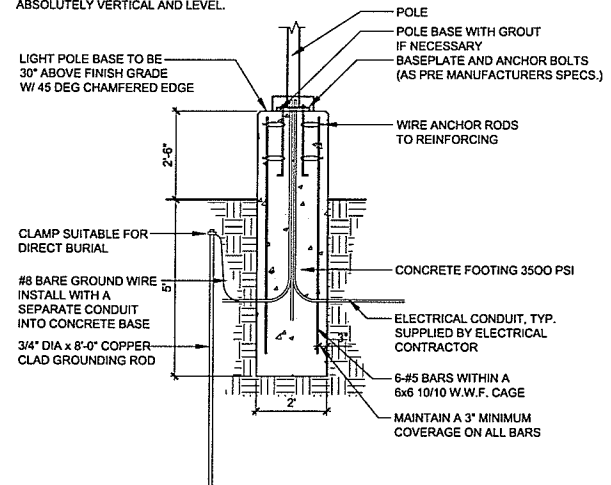
C LIGHT FIXTURE - (Fixture C)
SCALE 1/2" = 1'-0" d-light fixtureC.dwg

NOTE: POLE BASE IS TO BE ONE CONTINUOUS POUR.
THE CONTRACTOR WILL TAKE SPECIAL CARE TO
ENSURE CONCRETE POLE BASES ARE INSTALLED
ABSOLUTELY VERTICAL AND LEVEL.

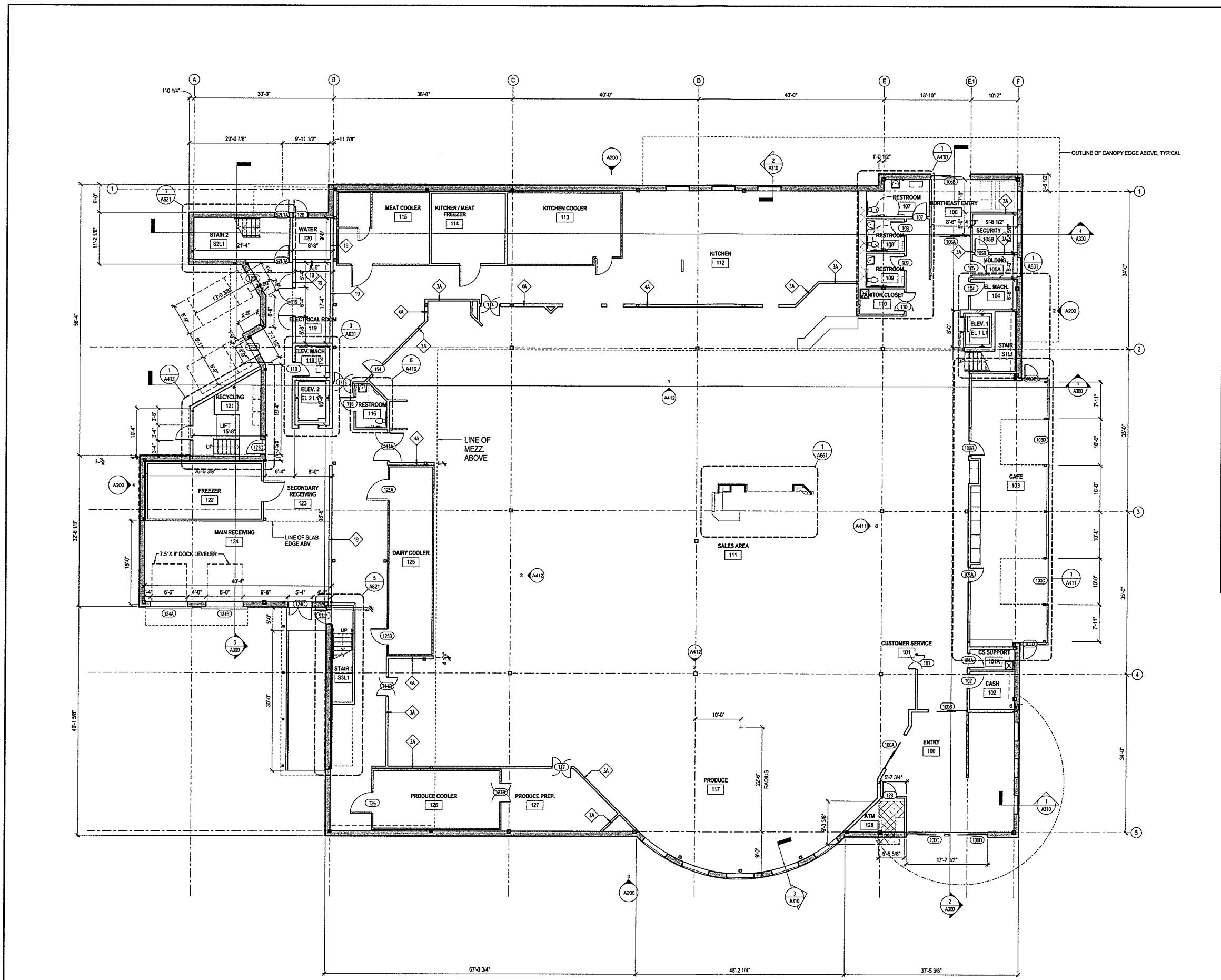


A LIGHT POLE FOOTING - FLUSH
SCALE 1/2" = 1'-0" d-light footing - flush.dwg

NOTE: POLE BASE IS TO BE ONE CONTINUOUS POUR.
THE CONTRACTOR WILL TAKE SPECIAL CARE TO
ENSURE CONCRETE POLE BASES ARE INSTALLED
ABSOLUTELY VERTICAL AND LEVEL.



B LIGHT POLE FOOTING - RAISED
SCALE 1/2" = 1'-0" d-light footing - raised.dwg



FLOOR PLAN GENERAL NOTES

ALSO SEE SYMBOL LEGEND ON COVER SHEET.

1. DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF GWS OR OTHER FINISH UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TO FACE OF CLADDING UNLESS NOTED OTHERWISE.
2. PLANS ARE TO BE VIEWED IN CONJUNCTION WITH CIVIL, LANDSCAPE, STRUCTURAL, MEPP, AND ALL OTHER TRADES. AS APPROPRIATE. DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE COMMENCING WORK. ALL NON-ARCHITECTURAL INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.
3. REFER TO CIVIL PLANS FOR LIMIT OF WORK.
4. REFER TO GDOO LIFE SAFETY PLANS FOR LOCATIONS OF SMOKE AND FIRE RESISTANT RATED CONSTRUCTION.
5. THE DISTANCE FROM THE HINGE SIDE OF THE DOOR TO THE FACE OF ADJACENT PERPENDICULAR WALL SHALL BE 6 INCHES (INCLUDING FRAME) UNLESS NOTED OTHERWISE.
6. ALL VERTICAL AND HORIZONTAL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE SEALED WITH UL-LISTED FIRESAFING AND/OR SEALANT ASSEMBLIES TO MAINTAIN RATING.
7. KEEP STANDPIPES AND ASSOCIATED ASSEMBLIES CLEAR OF THE REQUIRED PATH OF EGRESS.

FLOOR PLAN LEGEND

ALSO SEE SYMBOL LEGEND ON COVER SHEET

EXISTING WALL / COLUMN TO REMAIN

NEW METAL STUD / GYPSUM WALLBOARD WALL

NEW MASONRY WALL

NEW STEEL / CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.

FIRE EXTINGUISHER CABINET:
FEC-1: SEMI-RECESSED CABINET W/ FE-1
FEC-2: SURFACE MOUNT CABINET W/ FE-1

FIRE EXTINGUISHER ON WALL BRACKET:
FE-1: MULTI-PURPOSE DRY CHEM. EXTINGUISHER (TYPE A-B-C)
FE-2: KITCHEN GREASE EXTINGUISHER (TYPE K)

GWS COLUMN ENCLOSURE

METAL COLUMN ENCLOSURE

PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, TLT'S TYP.)

Room name: ROOM NAME - SEE A800 FOR FINISHES
ROOM NUMBER

WALL TAG - SEE SHEETS A003, A004
WALL TYPE
WHERE A WALLTYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.

DOOR TAG - SEE SHEET A800
DOOR NUMBER

WINDOW OR CURTAINWALL TAG
SEE SHEET A810
WINDOW OR CURTAINWALL TYPE

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DEPARTMENT OF PLANNING & ZONING

APR 22 2016

CITY MARKET SOUTH END

Burlington, Vermont

PROJECT NO: A1536.00

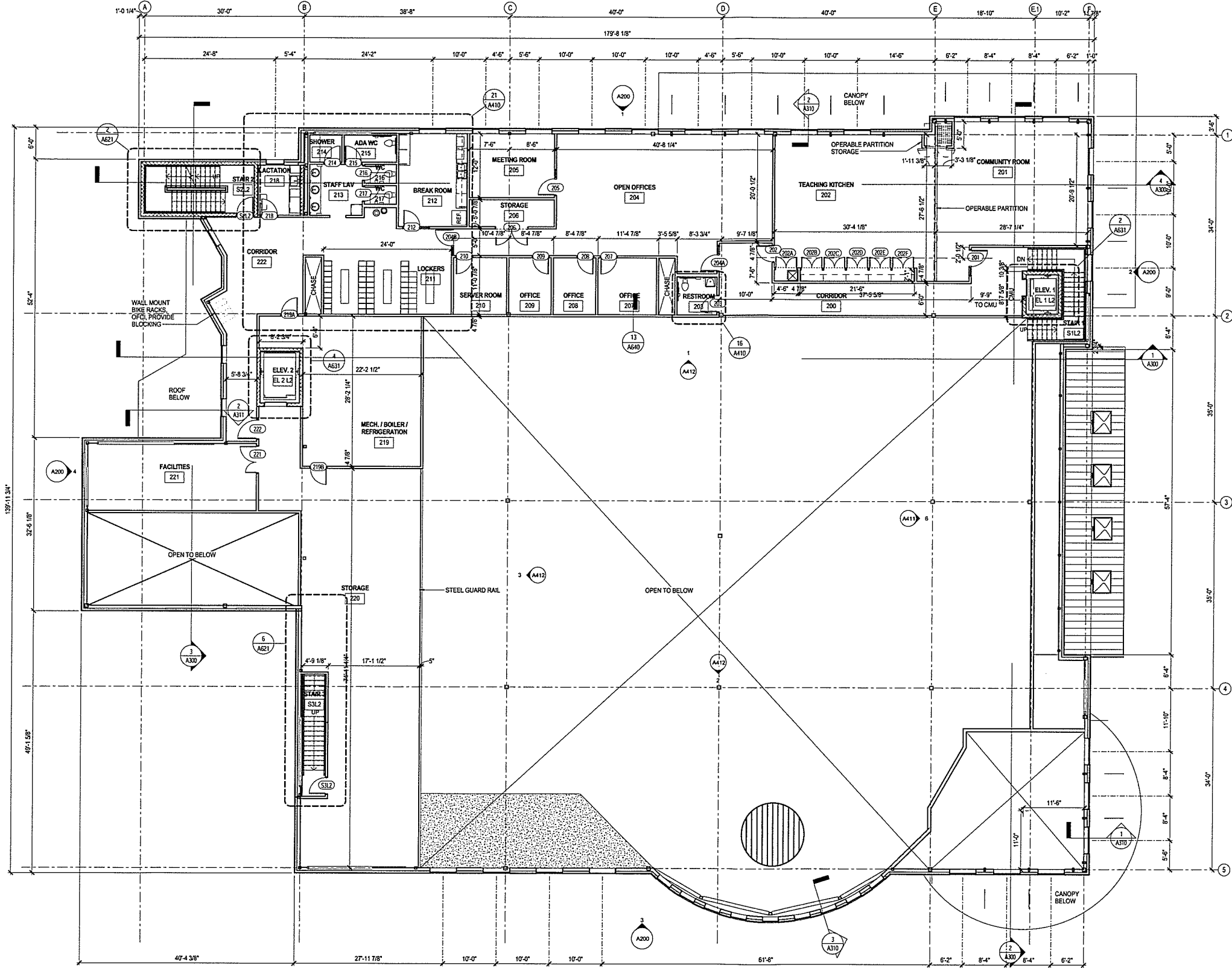
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DRAWN BY: FFF	CHECKED BY: BL

DATE LOG

Schematic Design	02/12/2016
Design Development	04/13/2016
Final Plans	04/22/2016

SHEET CONTENTS

1ST FLOOR PLAN



- FLOOR PLAN GENERAL NOTES**
- ALSO SEE SYMBOL LEGEND ON COVER SHEET.
1. DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF GWB OR OTHER FINISH UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TO FACE OF CLADDING UNLESS OTHERWISE NOTED.
 2. PLANS ARE TO BE VIEWED IN CONJUNCTION WITH CIVIL, LANDSCAPE, STRUCTURAL, MEPP, AND ALL OTHER TRADES AS APPROPRIATE. DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE COMMENCING WORK. ALL NON-ARCHITECTURAL INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.
 3. REFER TO CIVIL PLANS FOR LIMIT OF WORK.
 4. REFER TO G200 LIFE SAFETY PLANS FOR LOCATIONS OF SMOKE AND FIRE RESISTANT RATED CONSTRUCTION.
 5. THE DISTANCE FROM THE HINGE SIDE OF THE DOOR TO THE FACE OF ADJACENT PERPENDICULAR WALL SHALL BE 6 INCHES (INCLUDING FRAME) UNLESS NOTED OTHERWISE.
 6. ALL VERTICAL AND HORIZONTAL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE SEALED WITH UL-LISTED FIRESTOPPING AND/OR SEALANT ASSEMBLIES TO MAINTAIN RATING.
 7. KEEP STANDPIPES AND ASSOCIATED ASSEMBLIES CLEAR OF THE REQUIRED PATH OF EGRESS.

- FLOOR PLAN LEGEND**
- ALSO SEE SYMBOL LEGEND ON COVER SHEET
- EXISTING WALL / COLUMN TO REMAIN
 - NEW METAL STUD / GYPSUM WALLBOARD WALL
 - NEW MASONRY WALL
 - NEW STEEL / CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.
 - FIRE EXTINGUISHER CABINET:
 - FEC-1: SEMI-RECESSED CABINET W/ FE-1
 - FEC-2: SURFACE MOUNT CABINET W/ FE-1
 - FIRE EXTINGUISHER ON WALL BRACKET:
 - FE-1: MULTIPURPOSE DRY CHEM. EXTINGUISHER (TYPE A-B-C)
 - FE-2: KITCHEN GREASE EXTINGUISHER (TYPE K)
 - GWB COLUMN ENCLOSURE
 - METAL COLUMN ENCLOSURE
 - PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, TLT-S TYP.)
- Room name** - ROOM TAG - SEE A300 FOR FINISHES
- ROOM NAME
 - ROOM NUMBER
 - WALL TAG - SEE SHEETS A003, A004
 - WALL TYPE
 - WHERE A WALLTYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.
 - DOOR TAG - SEE SHEET A800
 - DOOR NUMBER
 - WINDOW OR CURTAINWALL TAG
 - SEE SHEET A810
 - WINDOW OR CURTAINWALL TYPE

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CITY MARKET SOUTH END

Burlington, Vermont

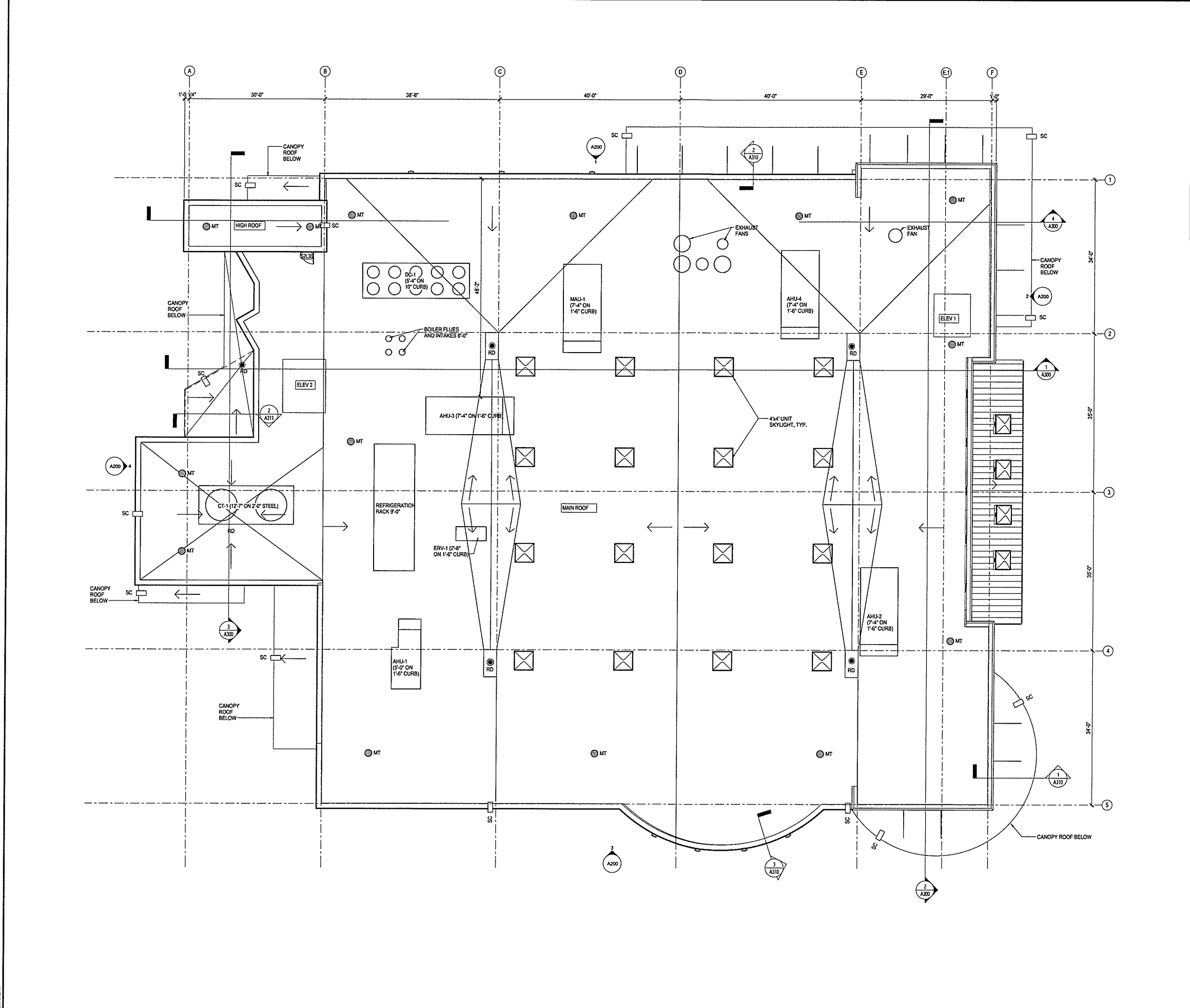
PROJECT NO. A1536.00

DATE: 08/15/12 SCALE: 1/8" = 1'-0"

DESIGNED BY: FFF CHECKED BY: BL

DATE: 02/12/2018
DESIGN DEVELOPMENT: 04/13/2018
PERMIT PLANS: 04/22/2018

MEZZANINE FLOOR PLAN



ROOF PLAN LEGEND

○

RD

●

MT

□

SC

□

SCP

□

SWRL

⋈

RMF

ROOF DRAIN

MAINTENANCE TIEDOWN

SCUPPER

SCUPPER TO PAD ON ROOF BELOW

SCUPPER WITH RAIN LEADER TO PAD ON ROOF BELOW

ROOF MANFOLD

ROOF PLAN GENERAL NOTES

- SEE EXTERIOR WALL SECTION SHEETS AND EXTERIOR ASSEMBLY SHEET FOR ROOF SYSTEM NOTES.
- SEE MEPP FP DRAWINGS & SPECIFICATIONS FOR ROOF TOP EQUIPMENT REQUIREMENTS INCLUDING CURBS.
- SEE PLUMBING DWGS FOR ROOF DRAIN QUANTITIES, SIZES & LAYOUT. CONTACT ARCHITECT IF DISCREPANCIES ARE FOUND.
- SECONDARY ROOF DRAINAGE IS PROVIDED USING SCUPPERS. SEE PLAN FOR SCUPPER SIZE & LOCATIONS.
- ROOF DECK IS TAPERED. INSULATION REQUIRED TO SLOOPE TO DRAIN IS TAPERED AT 1/4" PER FOOT. CRICKETS ARE TAPERED AT 1/2" PER FOOT, UNLESS OTHERWISE NOTED.

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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO
A1536.00

01/08/16

SCALE
1/8" = 1'-0"

AC

BL

DESIGN LOG

Submittal: Design

Design Development

Final Plans

05/12/2016

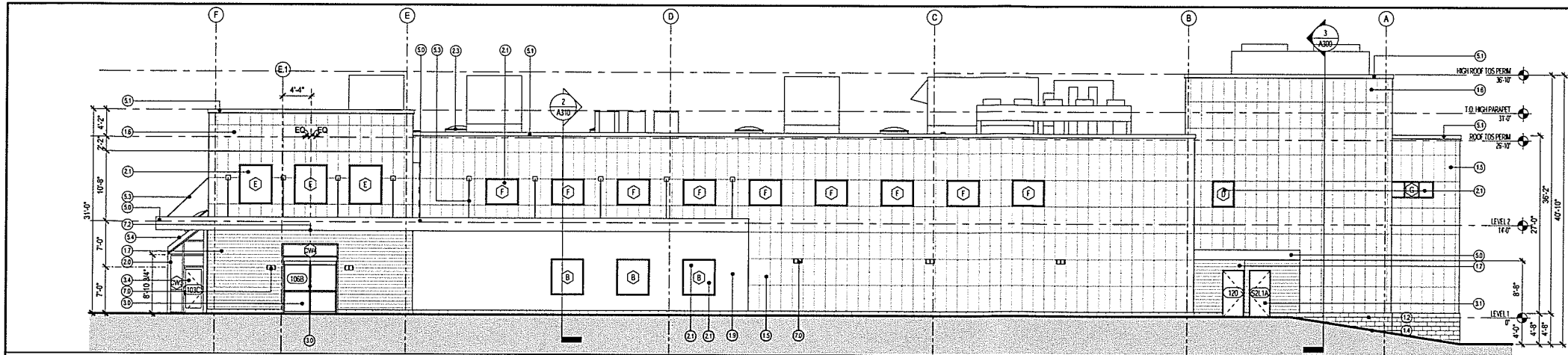
04/15/2016

04/12/2016

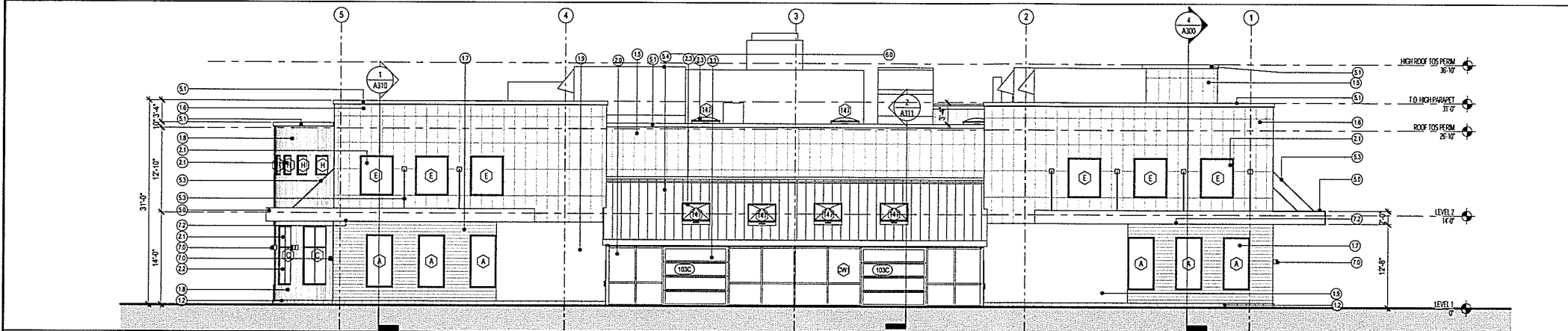
SHEET COMMENTS

ROOF PLAN

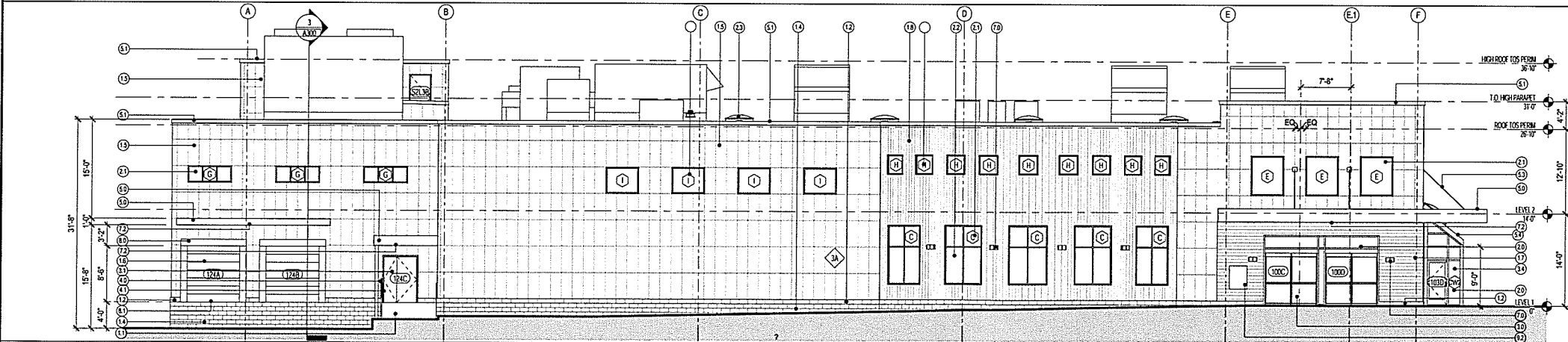
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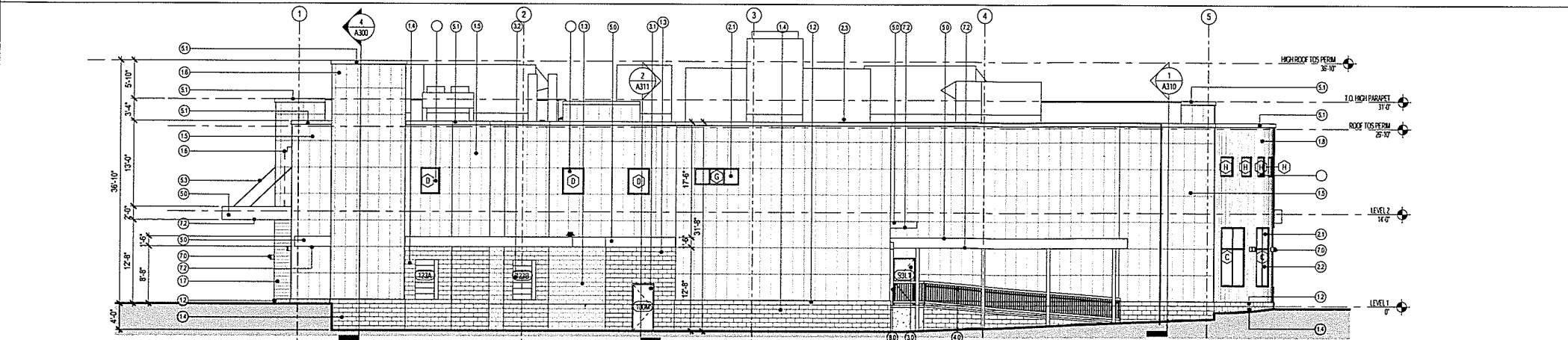
1 NORTH ELEVATION
A200 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A200 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A200 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
A200 SCALE: 1/8" = 1'-0"

KEY	KEYNOTE
1.1	CONCRETE RAMP [03 3000]
1.2	STONE SILL COURSE [04 2000]
1.3	GROUND FACE BLOCK VENEER [04 2000]
1.4	GROUND FACE BLOCK VENEER [04 2000]
1.5	FACE FASTENED ALUMINUM PANEL SYSTEM- CUSTOM FINISH
1.6	FACE FASTENED ALUMINUM PANEL SYSTEM- CUSTOM IMAGES
1.7	STAINED CEDAR HORIZONTAL SIDING
1.8	STAINED CEDAR VERTICAL SIDING
1.9	EXTERIOR GYPSUM (ART WALL BY OWNER)
2.0	ALUMINUM CURTAINWALL VISION GLAZING [08 4413]
2.1	FIBERGLASS WINDOW VISION GLAZING [08 4413]
2.2	FIBERGLASS WINDOW SPANDREL [08 4010]
2.3	UNIT SKYLIGHT [08 8000]
3.0	ALUMINUM ENTRY DOOR SYSTEM [08 1116]
3.1	INSULATED HOLLOW METAL DOOR & THERMALLY BROKEN FRAME
3.2	INSULATED OVERHEAD SECTIONAL DOOR [08 3613]
3.3	ALUMINUM GLAZED OVERHEAD SECTIONAL DOOR
3.4	ALUMINUM STOREFRONT DOOR
4.0	GUARDRAILS [05 5010]
4.1	HANDRAILS [05 5200]
5.0	CANOPY EDGE - PRE-FINISHED METAL FASCIA [05 5002]
5.1	PRE-FINISHED METAL ROOF EDGE [07 5010]
5.3	CANOPY CABLE STAYS AND BRACKETS
5.4	PRE-FINISHED STANDING SEAM METAL ROOF
6.0	MECHANICAL EQUIPMENT, SEE MECHANICAL
7.0	BUILDING MOUNTED SCONCE
7.2	UNDER CANOPY DOWNLIGHTS
8.0	LOADING DOCK SEALS & BUMPERS [11 1300]
8.1	LOADING DOCK LEVELERS
9.2	AUTOMATIC TELLER MACHINE

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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.
A1536.00

DATE: 08/17/12 SCALE: 1/8" = 1'-0"

COMPILED BY: BL CHECKED BY: BL

DESIGNED BY: BL DATE: 08/15/2011

DESIGN DEVELOPMENT: BL DATE: 09/15/2011

PERMIT PLANS: BL DATE: 04/23/2015

EXTERIOR
ELEVATIONS

APR 22 2016

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CITY MARKET
SOUTH END

Burlington,
Vermont

A1536.00

01/04/15

As Indicated

AC

BL

02/12/2015

04/15/2015

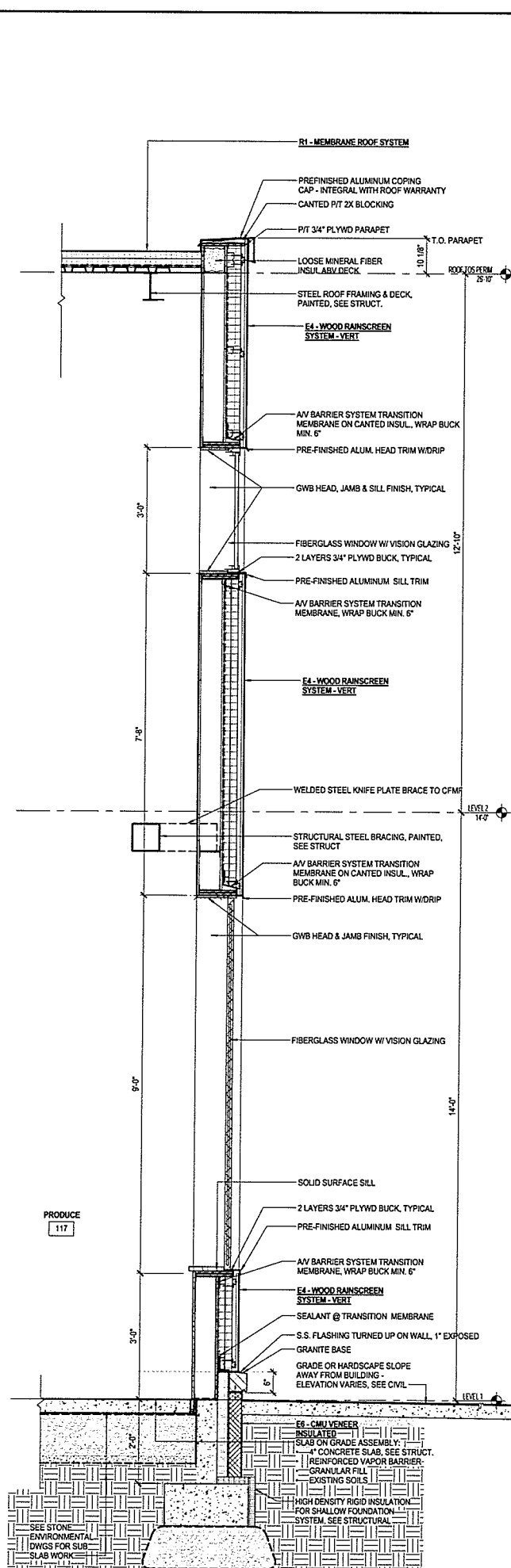
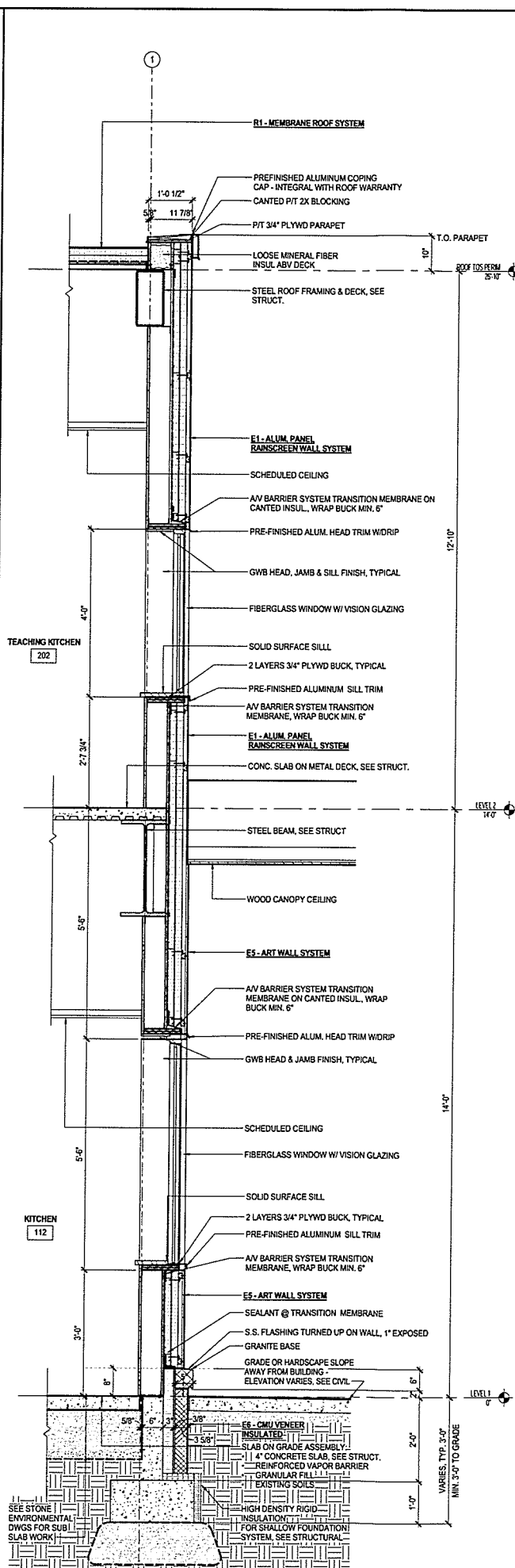
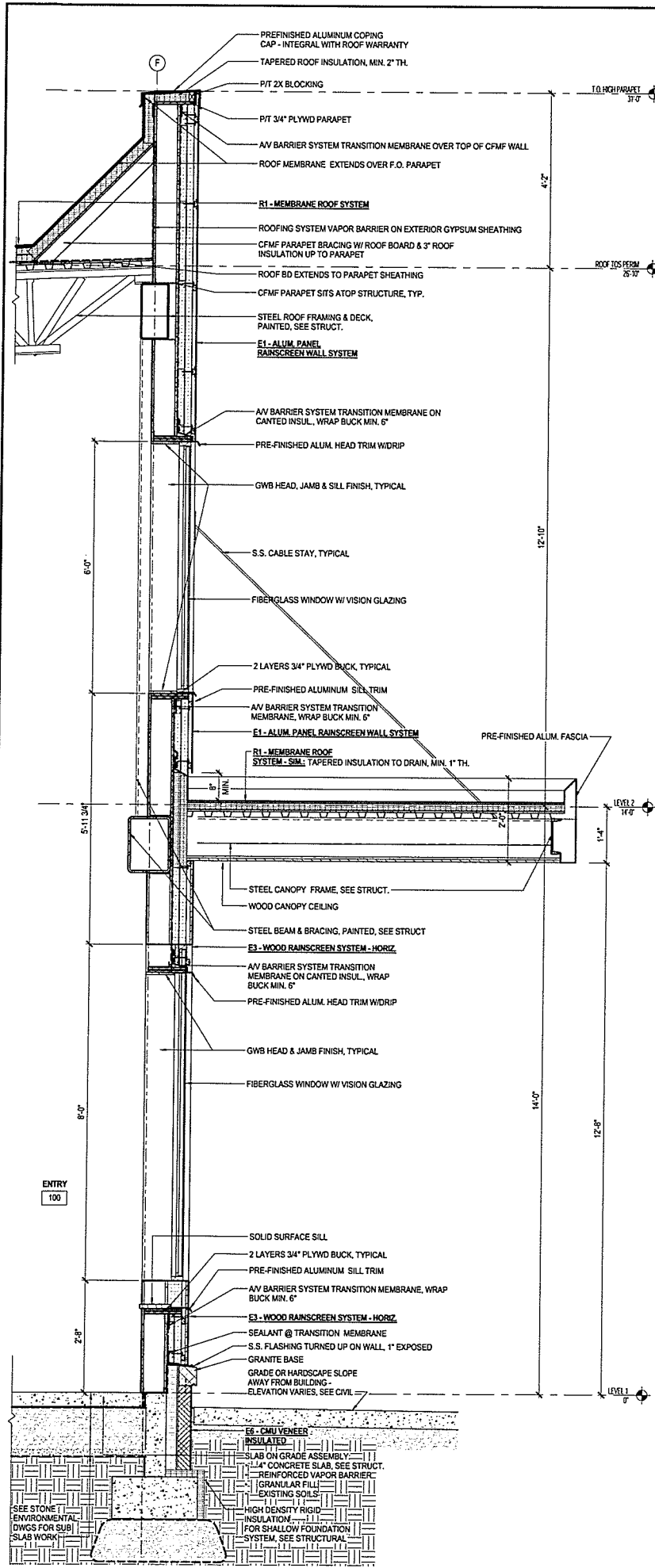
04/22/2015

WALL SECTIONS

WALL SECTIONS

EXTERIOR ASSEMBLIES

- R1 - MEMBRANE ROOF SYSTEM**
(IN TO OUT):
• LOW SLOPE (1/4" PER FOOT) 1 1/2" ROOF DECK - SEE STRUCT.
• 1/2" GYPSUM ROOF BOARD
• ADHERED AIR BARRIER
• MIN. 4" POLYSTYROLE INSULATION W/ MIN. 2 LAYERS STAGGERED
• TAPERED INSULATION AS REQUIRED TO FORM CANTS
• 1/2" POLYSTYROLE COVER BOARD
• ADHERED EPDM ROOF MEMBRANE (COLOR TBD)
- R2 - METAL ROOF SYSTEM**
(IN TO OUT):
• 9/12 SLOPE 1 1/2" ROOF DECK - SEE STRUCT.
• 1/2" GYPSUM ROOF BOARD
• ADHERED AIR BARRIER
• 4" RIGID POLYSTYROLE INSUL W/ 9/16" PLYWD NAILBASE
• FELT PAPER
• STANDING SEAM METAL ROOFING
- E1 - ALUM. PANEL RAINSCREEN WALL SYSTEM (CFMF BACKUP)**
(IN TO OUT):
• 5/8" TYPE 'X' GYPSUM
• COLD FORMED METAL FRAMED STUD WALL
• 5/8" GYPSUM SHEATHING
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• AIR GAP
• FACE FASTENED ALUMINUM PANEL SYSTEM WITH CUSTOM GRAPHIC FINISH
- E1R1 - ALUM. PANEL RAINSCREEN WALL SYSTEM (CFMF BACKUP) 1XB RATED**
(IN TO OUT):
• 5/8" TYPE 'X' GYPSUM
• COLD FORMED METAL FRAMED STUD WALL
• 5/8" GYPSUM SHEATHING TYPE 'X'
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• AIR GAP
• FACE FASTENED ALUMINUM PANEL SYSTEM WITH CUSTOM GRAPHIC FINISH
- E2 - ALUM. PANEL RAINSCREEN WALL SYSTEM (CMU BACKUP)**
(IN TO OUT):
• NOM. 8" CMU WALL, SEE STRUCTURAL
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• AIR GAP
• FACE FASTENED ALUMINUM PANEL SYSTEM WITH CUSTOM GRAPHIC FINISH
- E3 - WOOD RAINSCREEN WALL SYSTEM (HORIZONTAL)**
(IN TO OUT):
• 5/8" TYPE 'X' GYPSUM
• COLD FORMED METAL FRAMED STUD WALL
• 5/8" GYPSUM SHEATHING
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• AIR GAP
• FACE FASTENED HORIZONTAL 1XB CEDAR PLANK CLADDING
- E4 - WOOD RAINSCREEN WALL SYSTEM (VERTICAL)**
(IN TO OUT):
• 5/8" TYPE 'X' GYPSUM
• COLD FORMED METAL FRAMED STUD WALL
• 5/8" GYPSUM SHEATHING
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• AIR GAP
• FACE FASTENED VERTICAL 1XB CEDAR PLANK CLADDING
- E5 - ART WALL SYSTEM**
(IN TO OUT):
• 5/8" TYPE 'X' GYPSUM
• COLD FORMED METAL FRAMED STUD WALL
• 5/8" GYPSUM SHEATHING
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• AIR GAP
• 5/8" EXTERIOR GLASS FACED GYPSUM SHEATHING
- E6 - CMU VENEER INSULATED (C.I.P. CONCRETE BACKUP)**
(IN TO OUT):
• CONCRETE FOUNDATION WALL, SEE STRUCTURAL
• AIR & WATER BARRIER ABOVE GRADE
• 3" XPS RIGID INSULATION
• 3/8" SOLID GROUT
• NOM. 4" GROUND FACE CMU
- E7 - CMU VENEER UNINSULATED (C.I.P. CONCRETE BACKUP)**
(IN TO OUT):
• CONCRETE FOUNDATION WALL, SEE STRUCTURAL
• 3/8" SOLID GROUT
• NOM. 4" GROUND FACE CMU
- E8 - CMU VENEER (CMU BACKUP)**
(IN TO OUT):
• NOM. 8" CMU, SEE STRUCTURAL
• AIR & WATER BARRIER
• 3" XPS RIGID INSULATION
• 3/8" SOLID GROUT
• NOM. 4" GROUND FACE CMU
- E9 - CMU WALL**
• NOM. 8" GROUND FACE CMU, SEE STRUCT.
- E10 - GALV. STEEL PANEL (CMU BACKUP)**
(IN TO OUT):
• NOM. 8" CMU, SEE STRUCTURAL
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• FACE FASTENED VERTICAL GALVANIZED STEEL PANELS
- E11 - GALV. STEEL PANEL (CFMF BACKUP)**
(IN TO OUT):
• 5/8" TYPE 'X' GYPSUM
• COLD FORMED METAL FRAMED STUD WALL
• 5/8" GYPSUM SHEATHING
• AIR & WATER BARRIER
• 4" MINERAL FIBER IN TWO LAYERS
• 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING
• FACE FASTENED VERTICAL GALVANIZED STEEL PANELS
- INDICATES AV BARRIER, VAPOR BARRIER, WATERPROOFING
--- INDICATES AV BARRIER TRANSITION MEMBRANE
- NOTE ON MINERAL FIBER BOARD INSULATION: 2" REAR LAYER, 2" FRONT LAYER, INSULATION LAYERS ROTATED 90 DEGREES, JOINTS STAGGERED IN BOTH DIRECTIONS

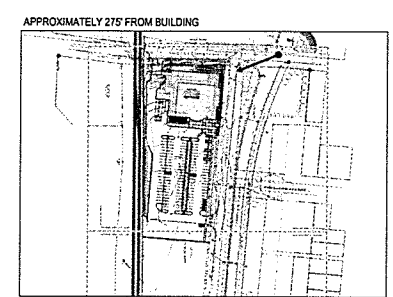




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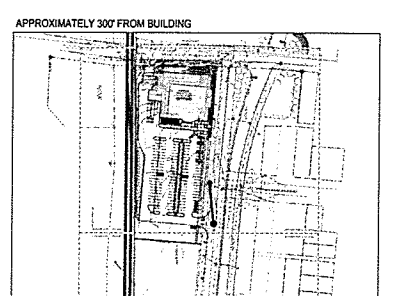
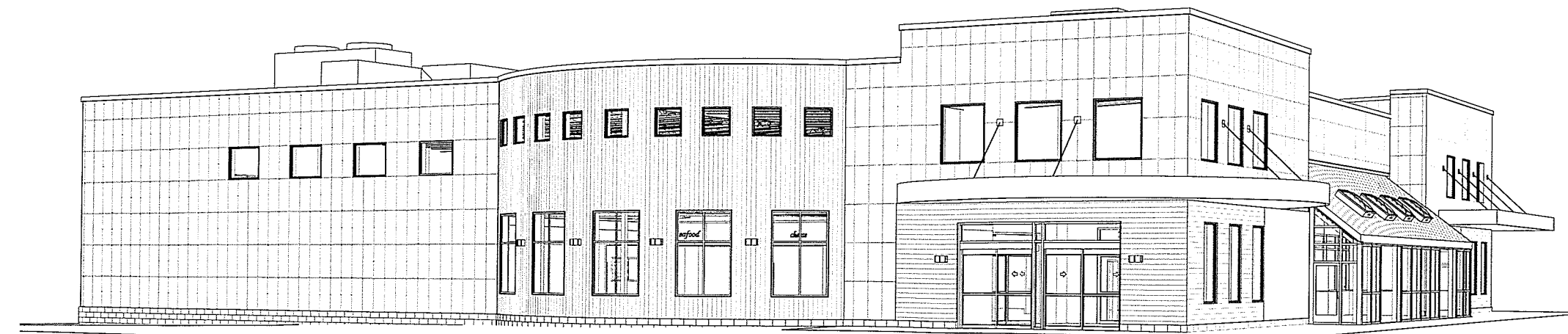
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NOTE: PERSPECTIVES FOR REFERENCE ONLY

1 VIEW FROM PARKWAY AND FLYNN
G401 SCALE:



NOTE: PERSPECTIVES FOR REFERENCE ONLY

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.
A1536.00

DATE
03/30/16

BY
JW

DATE
03/30/16

DATE
04/15/2016

DATE
04/15/2016

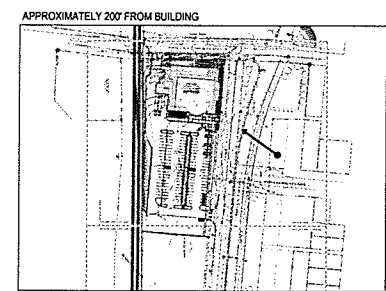
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04/15/2016

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PERSPECTIVE
VIEWS

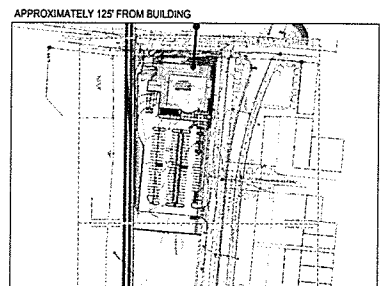
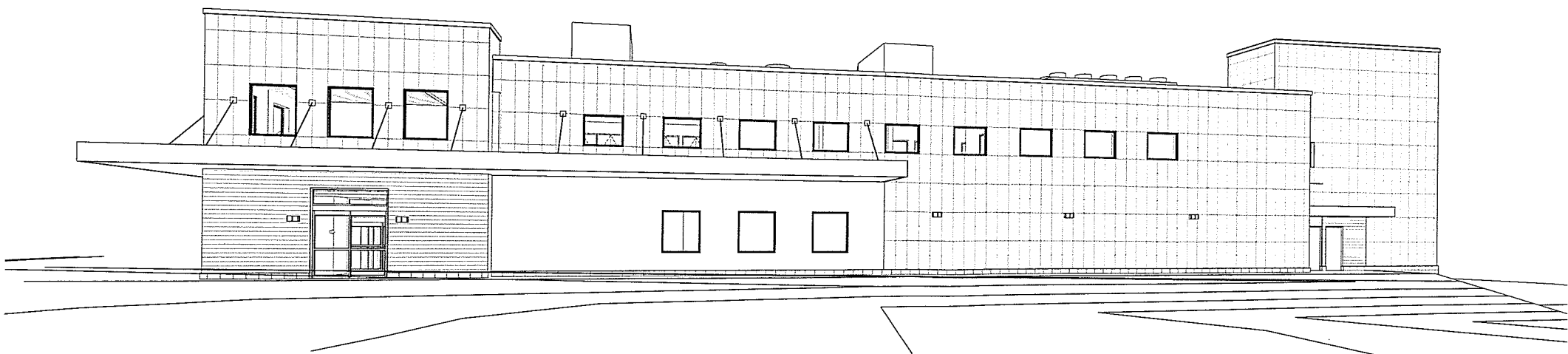
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1 VIEW FROM NEAREST FERGUSON RESIDENCE
SCALE:



NOTE: PERSPECTIVES FOR REFERENCE ONLY

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Burlington,
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PROJECT NO.
A1536.00

DATE: 04/21/16

Author

Checker

Project Name

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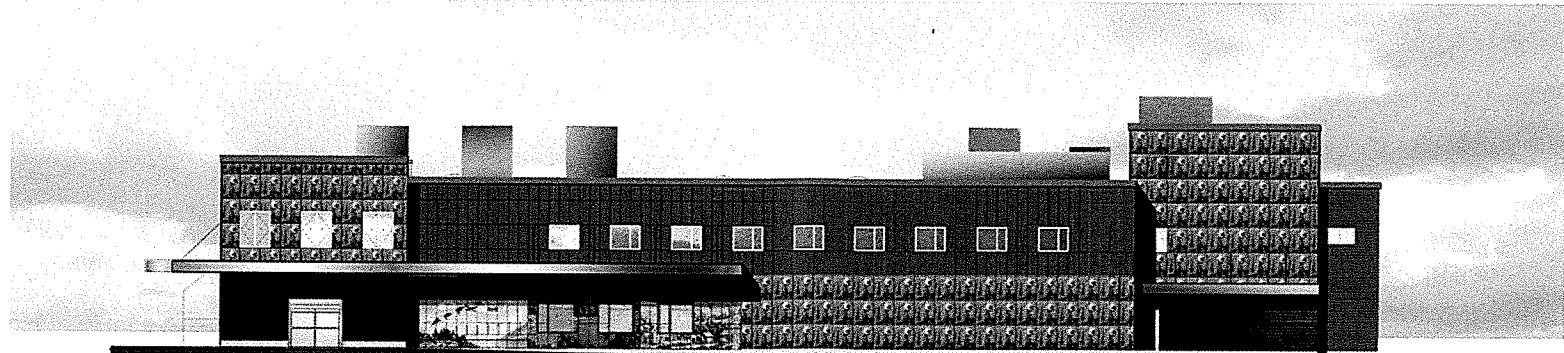
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PROJECT NO:
A1536.00

DATE: 04/21/16	TITLE:
Author	Checker

DATE: 04/21/16	04/21/2016
Design Development	04/21/2016
Final Plans	04/21/2016

COLOR
PERSPECTIVE



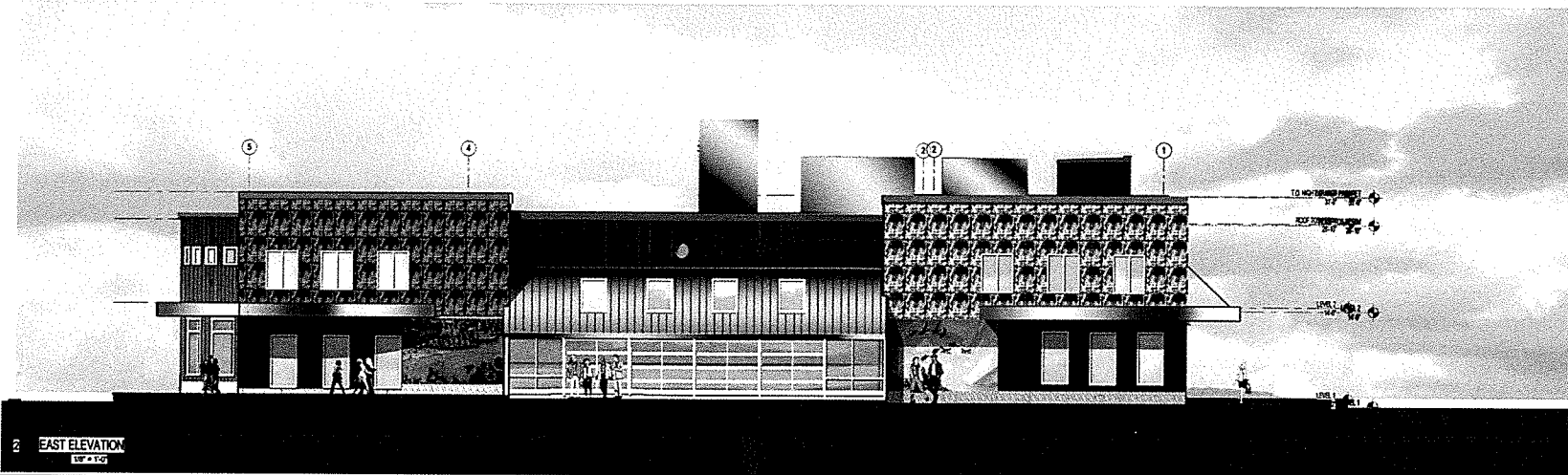
North Elevation

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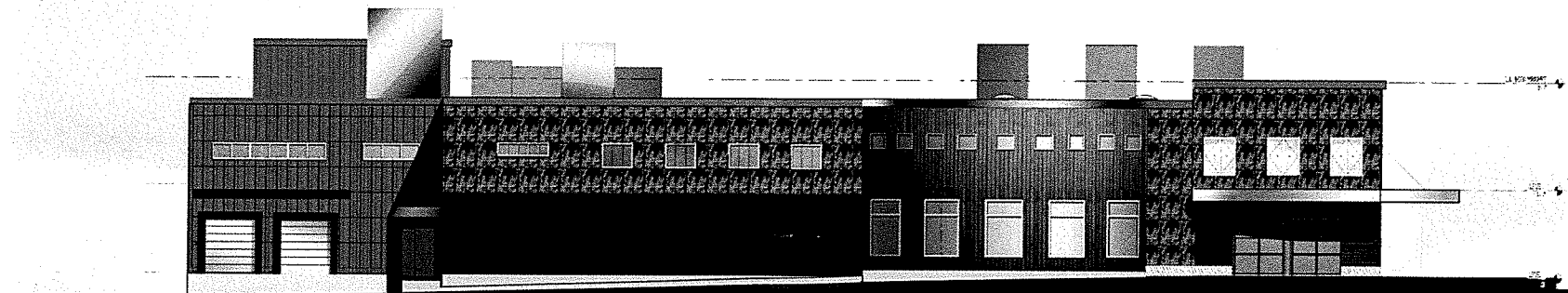
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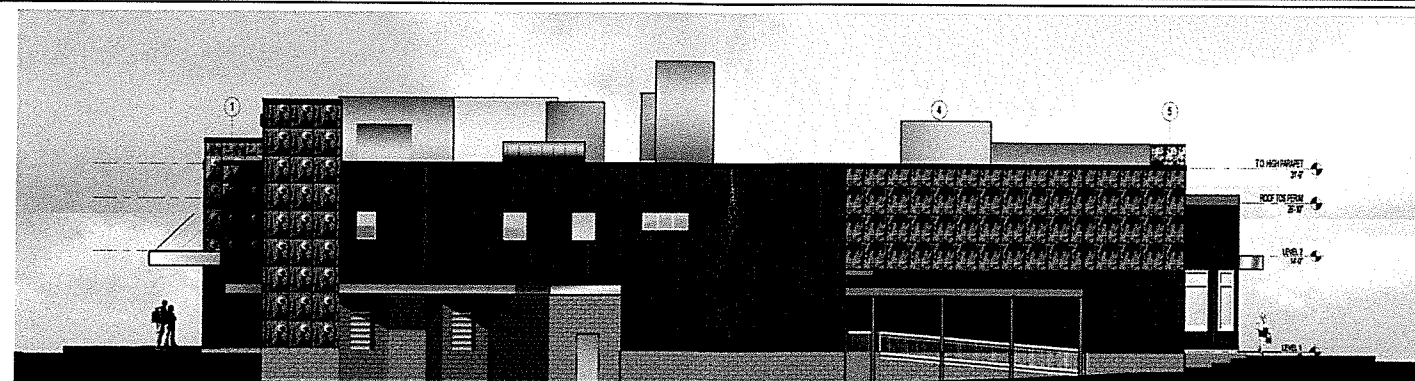
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EAST ELEVATION
1" = 10'



South Elevation



West elevation

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.
A1536.00

DATE: 04/21/16 SCALE:

DESIGNED BY: Author CHECKED BY: Checker

DATE: 04/21/16

DATE: 04/21/16

DATE: 04/21/16

DATE: 04/21/16

DATE: 04/21/16

DATE: 04/21/16

DATE: 04/21/16

DATE: 04/21/16

COLOR
ELEVATIONS