

Burlington Design Advisory Board

645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DAB
Phone: (802) 865-7188

Matthew Bushey
Ron Wanamaker
Eric Morrow
Karyn Norwood
Emily Morse
Jay White, Alt.
Kathleen Ryan, Alt.



DESIGN ADVISORY BOARD Tuesday May 11, 2021 3:00 PM REMOTE MEETING

Zoom: <https://us02web.zoom.us/j/86018206909?pwd=VWhEUEJiTmVNbElhRGozUGY5Nm9qQT09>

Webinar ID: 860 1820 6909

Passcode: 349264

Or Telephone: +1 929 205 6099 or +1 301 715 8592 or +1 312 626 6799 or +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799

Agenda

Session I – 3:00 PM – 3:30 PM

- 1. 21-0799CA; 157 South Champlain Street (FD5, Ward 3C) 157 South Champlain Street, LLC**
New five-story building with 32 new residential units

Session II – 3:30 PM – 4:00 PM

- 2. 21-0963SP; 278 Main Street (RH, Ward 8E) COTS, and Duncan Wisniewski Architecture**
Sketch plan review: 16-unit addition.

Session III – 4:00 PM – 4:30 PM

- 3. Historic Preservation Review Committee Meeting**
Redstone Historic District technical corrections.

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Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
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Fax: (802) 865-7195

*William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Layne Darfler, Planning Technician
Alison Davis, Zoning Clerk
Theodore Miles, Zoning Specialist
Charlene Orton, DPI Administrator*



MEMORANDUM

To: The Design Advisory Board
From: Mary O'Neil, AICP, Principal Planner
RE: ZP21-0799CA, 157-159 South Champlain Street
Date: May 11, 2021

File: 21-0799CA
Location: 155-157 South Champlain Street
Zone: FD5 **Ward:** 3C
Parking District: Mixed Use Multi Modal
Date application accepted: March 25, 2021
Applicant/ Owner: Nathan Dagesse
Request: Construct 5 story Multi-family Large building with 32 residential units on vacant lot.



Background:

- **Non-applicability of Zoning Permit Requirements 13-0071NA;** Demolish historic building pursuant to Sec.3.1.2(c) 9 per Dangerous Building Order. July 2012.
- **VR 2003-037;** Variance to rear yard setback requirements for proposed multi-unit housing project. (151-157 South Champlain Street). Application **denied**, March 17, 2003.

- **Zoning Permit 00-318;** Amend previously approved ZP #00-009 to eliminate rear portion of the commercial structure. New footprint size to be approximately 35'6 x 25'. Previous building footprint to become additional parking with a two foot strip of grass to surround the building. Use of this commercial structure is specifically not included in this application. January 2000.
- **Zoning Permit 00-009;** Remove existing rear addition to the commercial structure, Replacing in-Kind in order to remove contaminated soils. No change in size or coverage or use. July 1999.
- **Request to appear before the Zoning Board of Adjustment** for conversion of 159 South Champlain Street. No further detail. Application withdrawn April 1986.

Overview: The applicant proposes a 5 story residential building with 32 units (7 IZ units) on the existing, vacant irregular lot. As this is an identified brownfield, the Phase II investigation has been completed and the Vermont Department of Environmental Conservation (DEC) site manager has agreed that further investigation is not needed. The parcel is poised for a Correction Action Plan (CAP.) That process will continue through review, public comment and implementation. DEC is very interested in seeing this site be redeveloped, and has been a key partner in forwarding this plan.

The project is within Form District 5, so the review is largely administrative. As the applicant is asking for additional height per Section 14.6.4 (f) of the Comprehensive Development Ordinance, a recommendation from the Design Advisory Board is required.

The Design Advisory Board's role is limited to:

1. A recommendation relative to the request for additional height above that allowed by administrative authority;

Applicable Standards for Design Advisory Board review:

Article 14 Downtown Code

Section 14.3.5-D Building Height & Bulk (Form District 5)

14.3.5-D- BUILDING HEIGHT & BULK

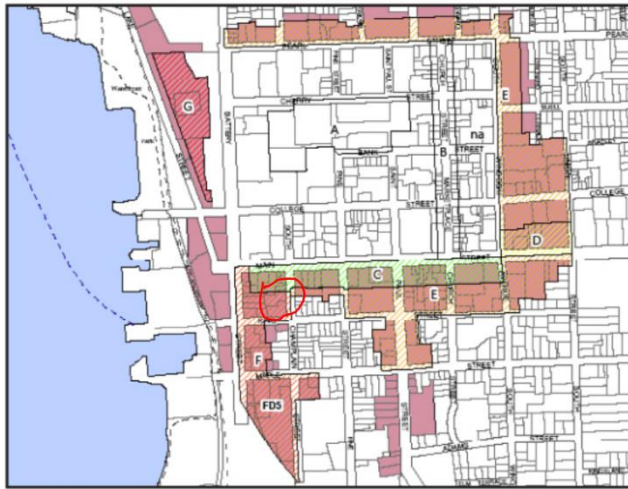
BUILDING HEIGHT A	
Principal Buildings (See Sec. 14.2.6 Regulating Plan Special Requirements - Map 2 for specific reference areas)	<u>Subject to Administrative Review:</u> • 3 Stories min. • 3 Stories max., not to exceed 35-ft in area "F" along Battery St.; otherwise, • 4 Stories max., not to exceed 45-ft; and, • 6 Stories max., not to exceed 65-ft in area "C" along Main St. <u>Subject to DRB Review per Sec. 14.6.4 f:</u> • see below¹

¹ Subject to Regulating Plan Special Requirements Map 2 (see [Sec. 14.2.6](#)), any Building with a Principal Frontage in the area identified as:

- "C" may be increased to 10 Stories not to exceed 105-ft.
- "D" may be increased to 8 Stories not to exceed 85-ft.
- "E" may be increased to 6 Stories not to exceed 65-ft.
- "F" may be increased to 5 Stories not to exceed 55-ft.
- "G" may be increased beyond 50-ft from the Lake St. Frontage Line in order to establish a second Frontage along Battery Park Extension of no more than 1 Story not to exceed 20-feet.

Additional height granted by the DRB per [Sec. 14.6.5-d](#) must not extend into a 45-degree angular plane projecting over the property measured from a height of 35 feet at any required side or rear setback along a Form District boundary shared with a residential district.

The subject parcel is within the area identified as "F" on Map 2 – *Specific Height Areas* and is



THE DIAGRAM ABOVE IS AN EXCERPT OF REGULATING PLAN SPECIAL REQUIREMENTS MAP 2 - SPECIFIC HEIGHT AREAS. (SEE SEC. 14.2.6)

therefore eligible to request of the DRB building height up to 55'. In addition, Section 5.2.6 (b) allows the administrative officer a 5% increase in building height to accommodate changing grades of the site.

6. The administrative officer may allow for up to a 5% variation in the maximum building height to account for grade changes across the site. In no event however, shall such additional height enable the creation of an additional story beyond the maximum permitted.

The proposed building height is 57', is within the DRB allowance (55') with

consideration of the additional 5% (2.75') allowable per 5.2.6 (b). No additional stories are proposed above the 5 story limitation with DRB approval.



Section 14.6.4 Building Height

(f) Design and Public Space Standards Required for Additional Building Height

i. *Design Standards:* The maximum building height and mass is permitted By Right by the underlying Form District, as may be modified by the chosen Building Type and Frontage Type. However, there are a number of ways that building shape, articulations, and choice of materials can be used to reduce the perceived height and mass of taller buildings, and ensure a high quality of design that complements the character of the Downtown and Waterfront area. After consultation with **the Design Advisory Board** and a Public Hearing, the Development Review Board shall evaluate any proposal seeking additional Building height under each of the following additional design standards, and find affirmatively that:

- a. *The proposed building presents a design that emphasizes slender, vertically-oriented proportions to assure a rich visually interesting experience as viewed within the context of the downtown skyline; reinforces opportunities for establishing points of reference for visual orientation; and provides visual interest and human scale at the pedestrian level through the use of a variety of scales, materials, fenestration, massing, or other architectural design techniques;*

From the applicant: To mitigate the impact of the requested additional 2'-0" of building height beyond the allowed 55' the primary façade along South Champlain Street is broken up into (3) bays with the middle bay broken up again into (3) smaller bays or vertically oriented segments. The north and south bays are stepped back 11'-7". The thin projecting terraces, horizontally delineated in these bays (the north terraces projecting past the north façade) further erode the northeast and southeast corners of the building reducing the perceived mass and height. The middle bay maintains vertically oriented proportions by cladding the center of the middle bay with a light granite flanked by north and south bays of dark brick. Visual interest is created by the contrasting materials and the relief provided by the detailing of the material and the projecting sills and lintels. The higher percentage of windows (void), the larger size of the windows and the stepped back first floor further help to reduce the perceived height of the building.

and,

- b. *Upper story proportions of the building are oriented and tapered and/or separated into separate masses in order to retain sky view between individual building elements from the public thoroughfare.*

See above. There is a parking area immediately south of this parcel, and a building of smaller volume immediately north; providing opportunities for sky view between individual building elements from the public thoroughfare.

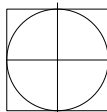


ii. *Active Public Space and Restrooms*

A minimum of 20 sf/1,000 sf of the gross floor area above 85 feet shall be dedicated to active and publicly accessible upper story rooftops and terraces, and/or street-level public restrooms as follows:

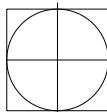
- a. *Upper story rooftops and terraces must incorporate active public use such as outdoor dining with seating or other uses and activities that invite use by the public, and be located above the 7th floor. At least 25% of the space must be accessible to the general public during all regular business hours without expectation of payment or purchase.*

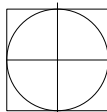
The building does not include floor area above 85'. Not applicable.



East Elevation

157 SOUTH CHAMPLAIN ST.
BURLINGTON, VERMONT





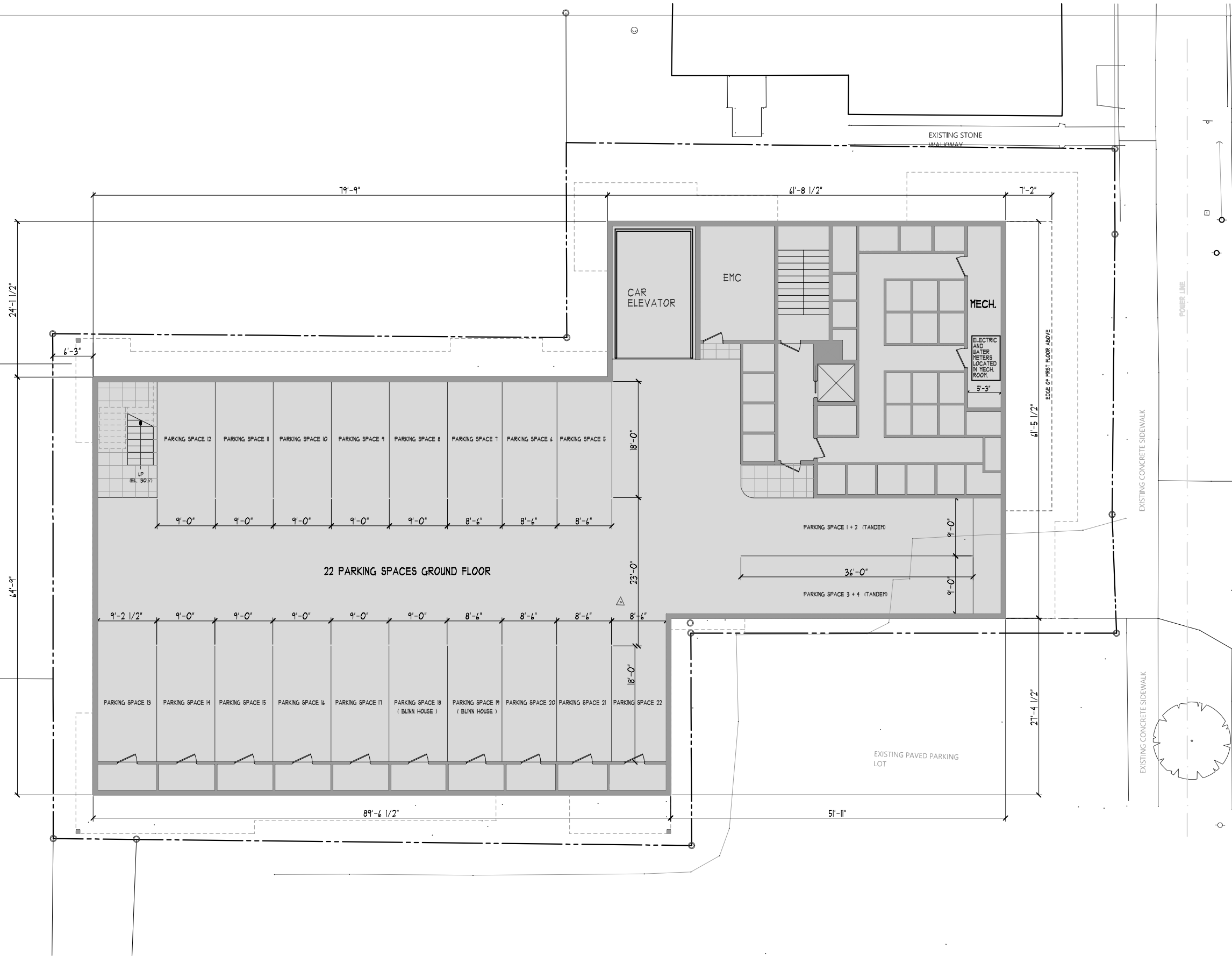
West Elevation

157 SOUTH CHAMPLAIN ST.
BURLINGTON, VERMONT

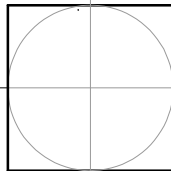
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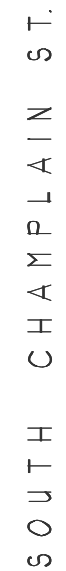
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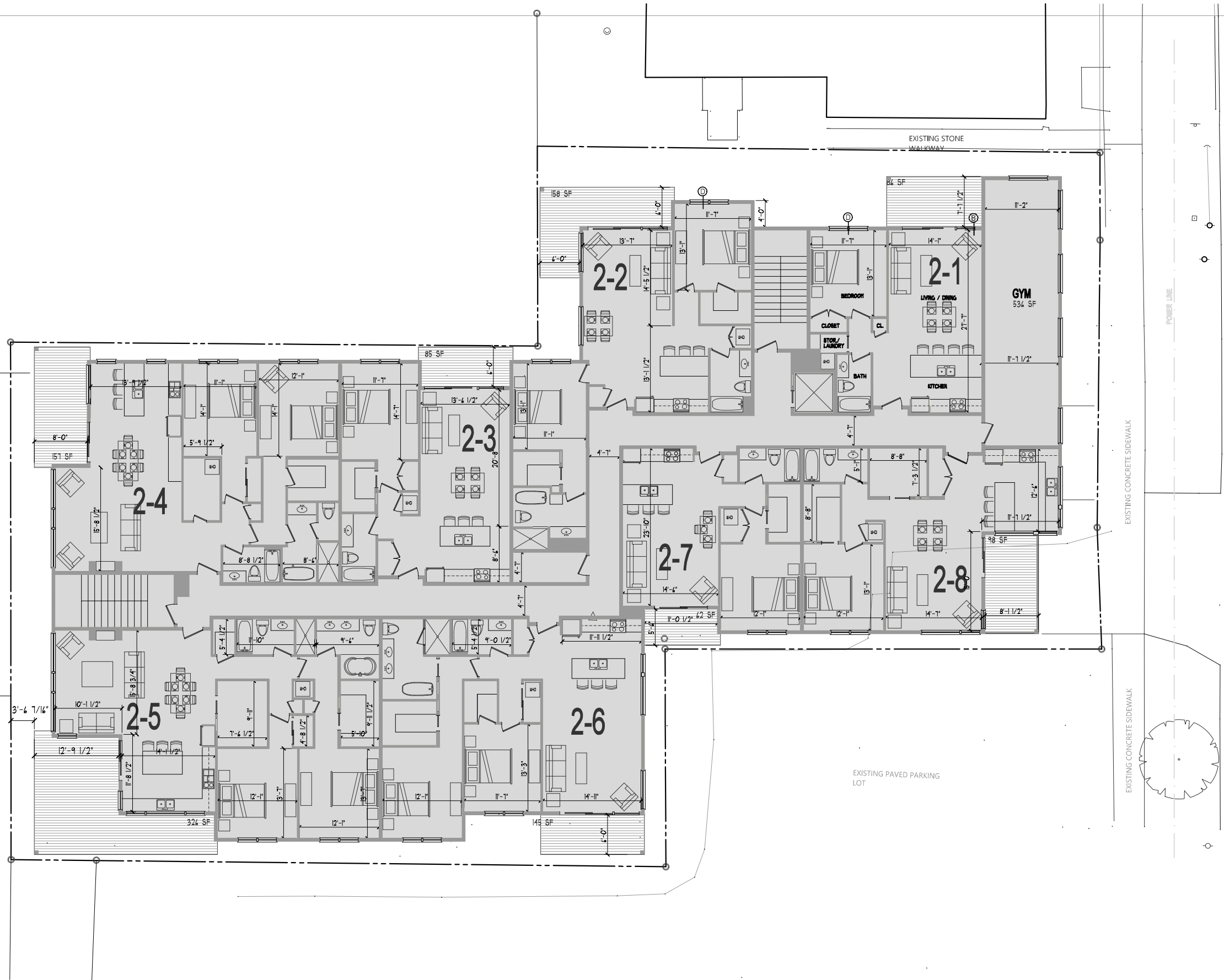




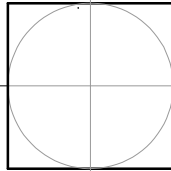
SOUTH CHAMPLAIN ST.







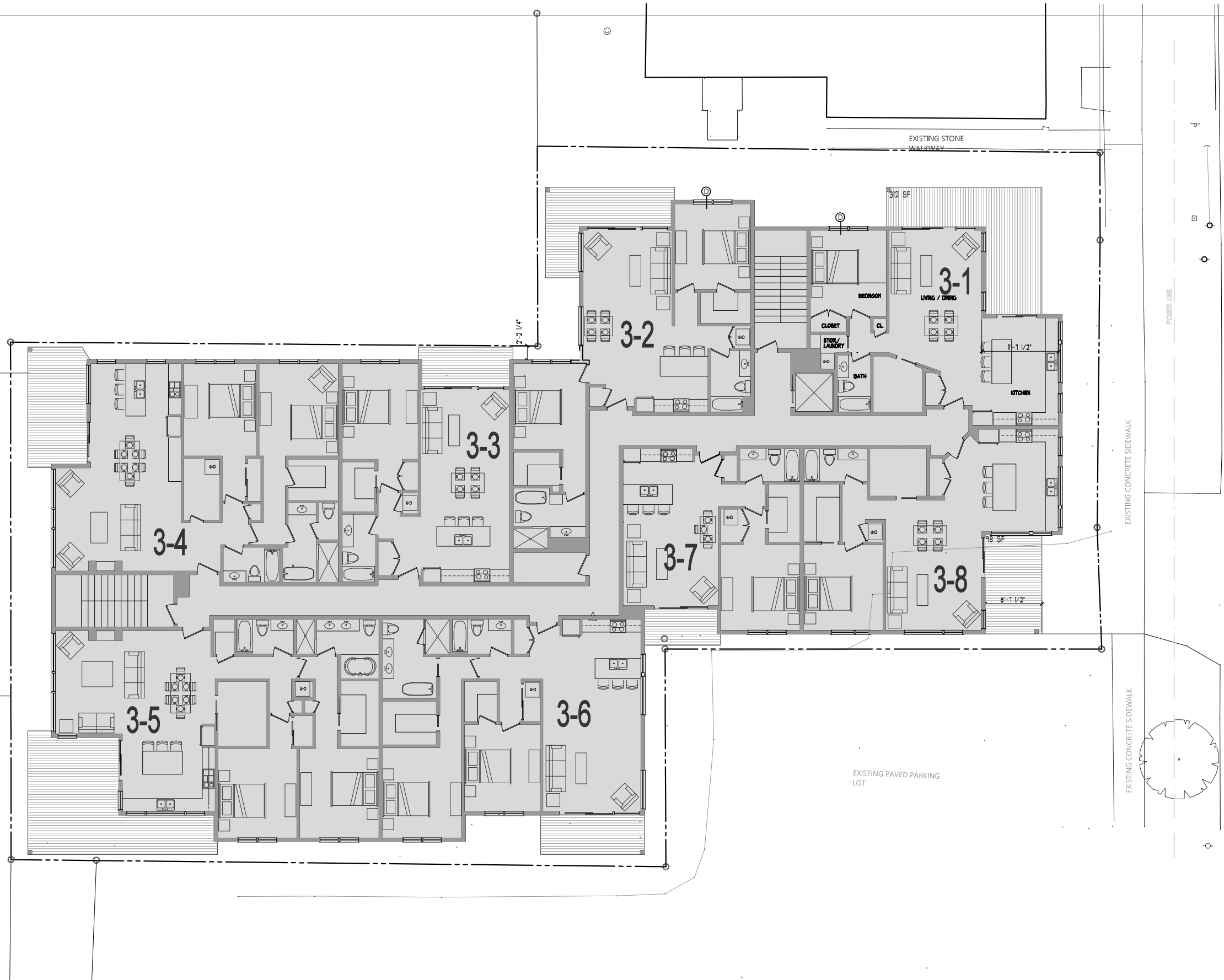
SOUTH CHAMPLAIN ST.



DRAWING	PROPOSED SECOND FLOOR PLAN	
PROJECT	157 SOUTH CHAMPLAIN ST. BURLINGTON, VERMONT	

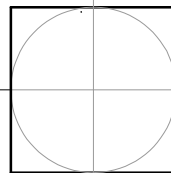
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SOUTH CHAMPLAIN ST.

EXISTING DRIVEWAY

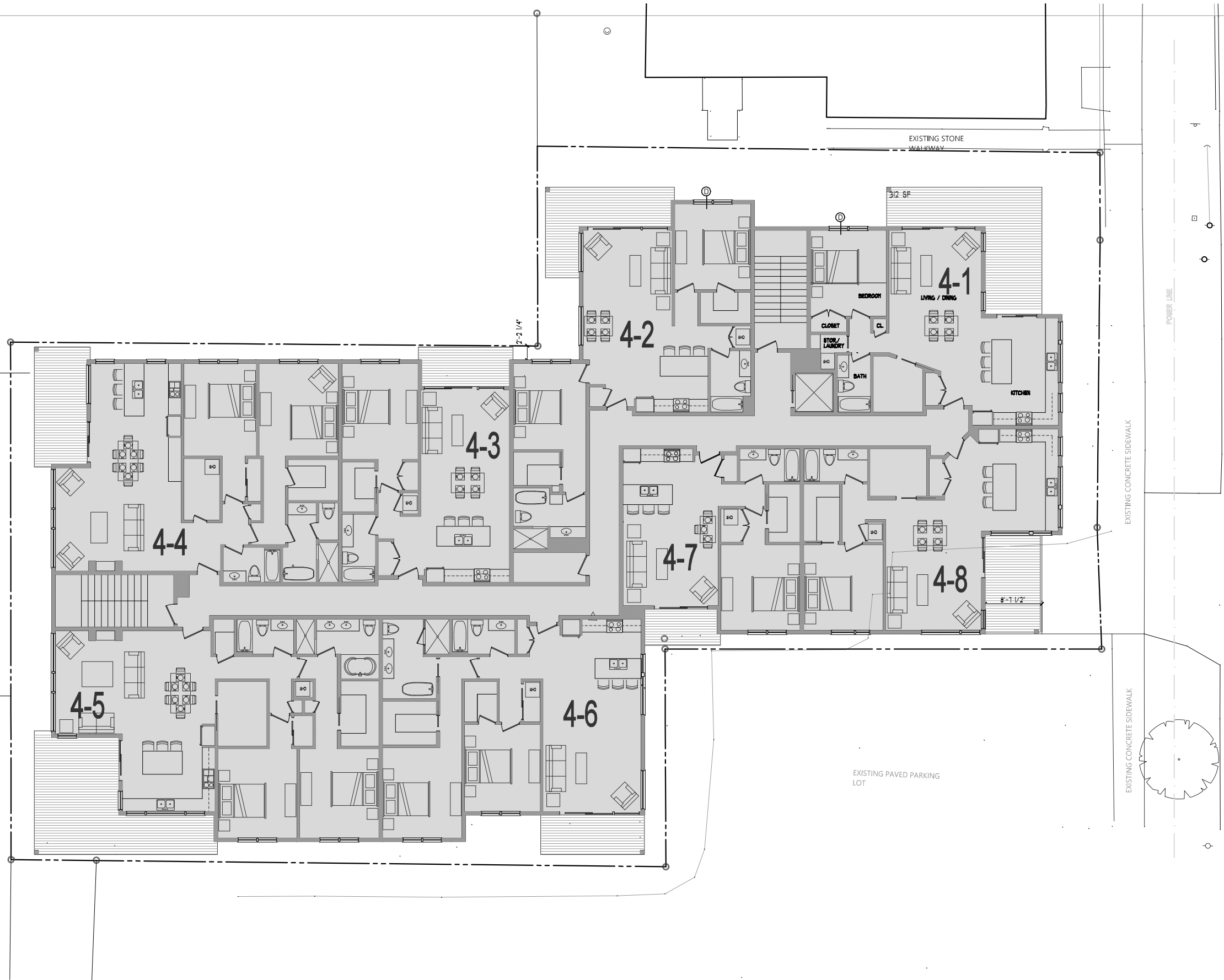


PROPOSED THIRD FLOOR PLAN

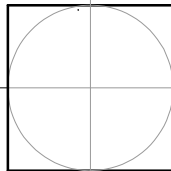
157 SOUTH CHAMPLAIN ST.
BURLINGTON, VERMONT

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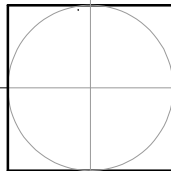


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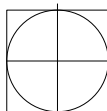




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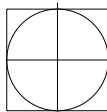
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PERSPECTIVE - NW

157 SOUTH CHAMPLAIN ST.
BURLINGTON, VERMONT

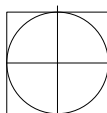
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PERSPECTIVE - NE

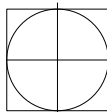
157 SOUTH CHAMPLAIN ST.
BURLINGTON, VERMONT

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157 SOUTH CHAMPLAIN ST.
BURLINGTON, VERMONT

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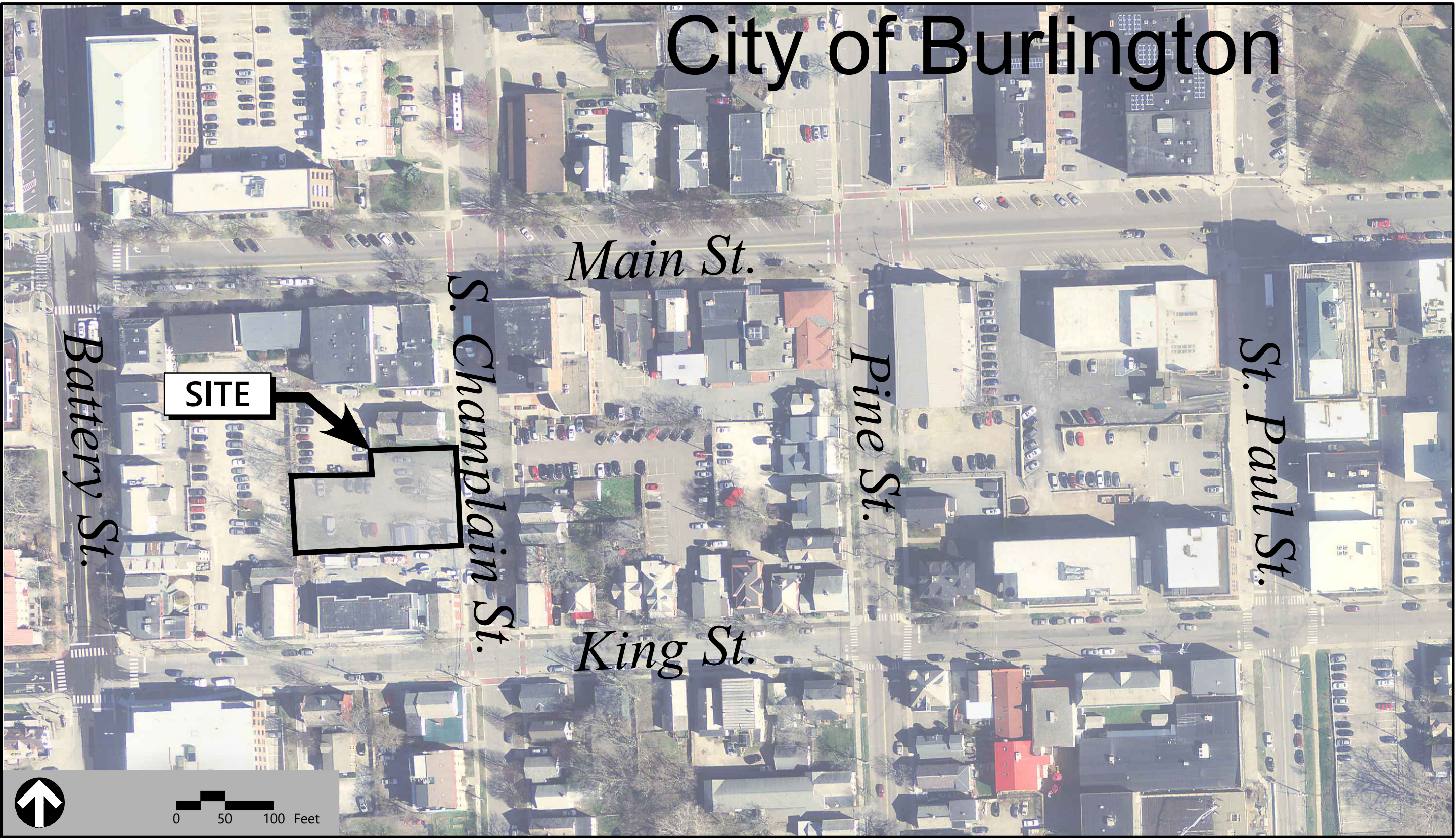


Site Plans

Issued for	Local Review
Date Issued	April 7, 2021
Latest Issue	April 7, 2021

157 South Champlain Street

157 S. Champlain St.
Burlington, VT



40 IDX Dr
Building 100 Suite 200
South Burlington, VT 05403
802.497.6100

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No.	Drawing Title	Latest Issue
C1.00	Existing Conditions Plan	April 7, 2021
C2.00	Site Layout Plan	April 7, 2021
C3.00	Grading and Drainage Plan	April 7, 2021
C4.00	Utility Plan	April 7, 2021
C5.00	Erosion Prevention and Sediment Control Plan	April 7, 2021
C6.01	Site Details	April 7, 2021
C6.02	Erosion Prevention and Sediment Control Details	April 7, 2021
C6.03	Storm Drainage and Utility Details	April 7, 2021
C6.04	Storm Drainage and Utility Details	April 7, 2021
L1.00	Landscape Plan	April 7, 2021
L1.01	Landscape Details	April 7, 2021
L1.02	Landscape Details	April 7, 2021
L2.00	Lighting Plan	April 7, 2021

Reference Drawings

No.	Drawing Title	Latest Issue
D-1	City of Burlington Water System Details	December 11, 2018
SW1	Proposed Stormwater Management Plan	March 19, 2021
SW2	Existing Conditions Stormwater Plan	March 19, 2021

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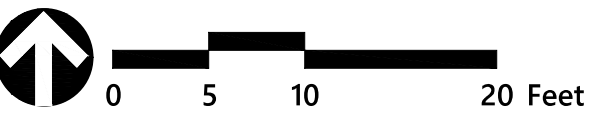
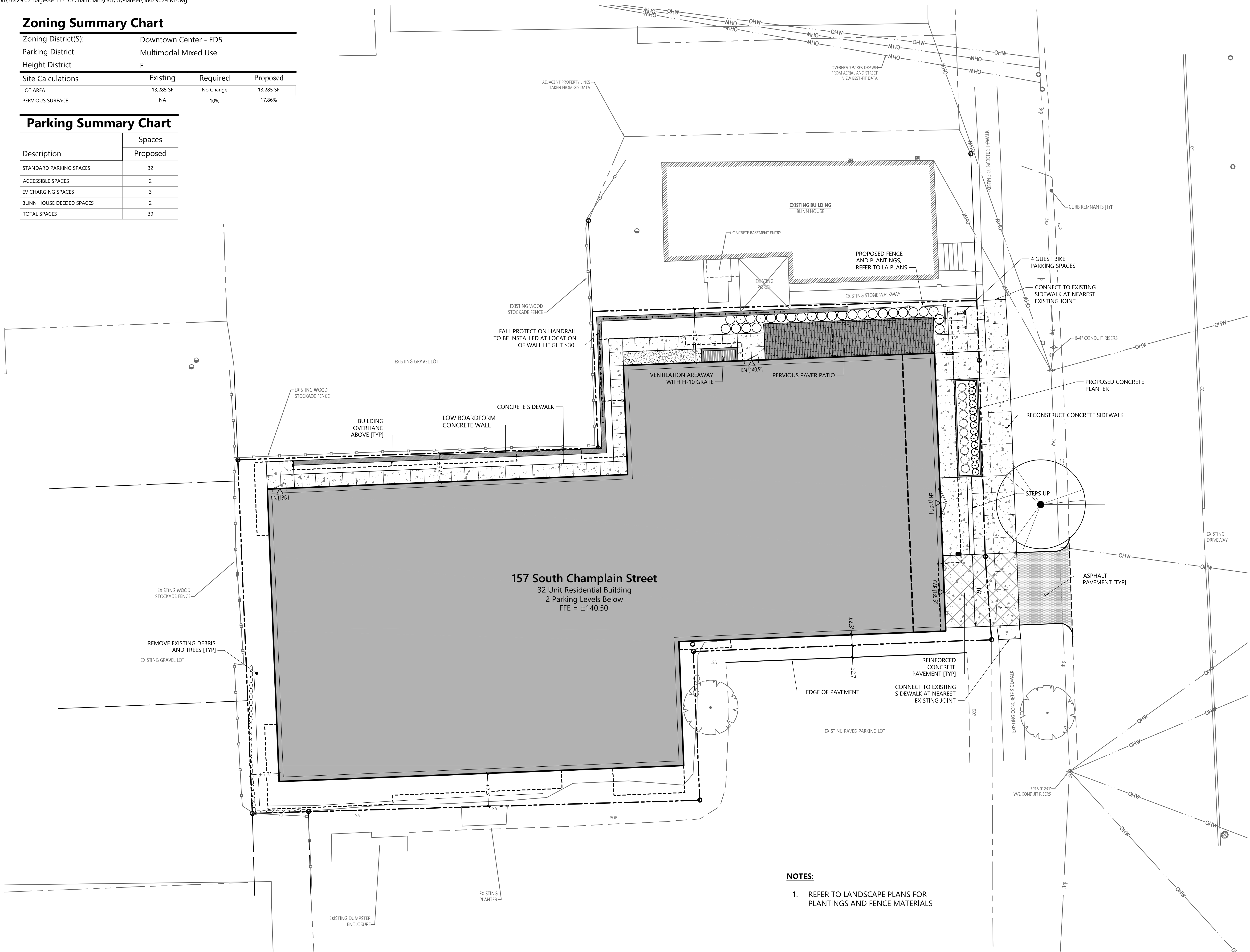
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Zoning Summary Chart

Zoning District(S):	Downtown Center - FD5		
Parking District	Multimodal Mixed Use		
Height District	F		
Site Calculations	Existing	Required	Proposed
LOT AREA	13,285 SF	No Change	13,285 SF
PERVIOUS SURFACE	NA	10%	17.86%

Parking Summary Chart

Description	Spaces
	Proposed
STANDARD PARKING SPACES	32
ACCESSIBLE SPACES	2
EV CHARGING SPACES	3
BLINN HOUSE DEEDED SPACES	2
TOTAL SPACES	39



Dagesse Company

157 South Champlain Street
Burlington, VT 05401

No.	Revision	Date	Appvd.

Designed by	Checked by
RWN	PBS

Local Review

April 7, 2021

Not For Construction

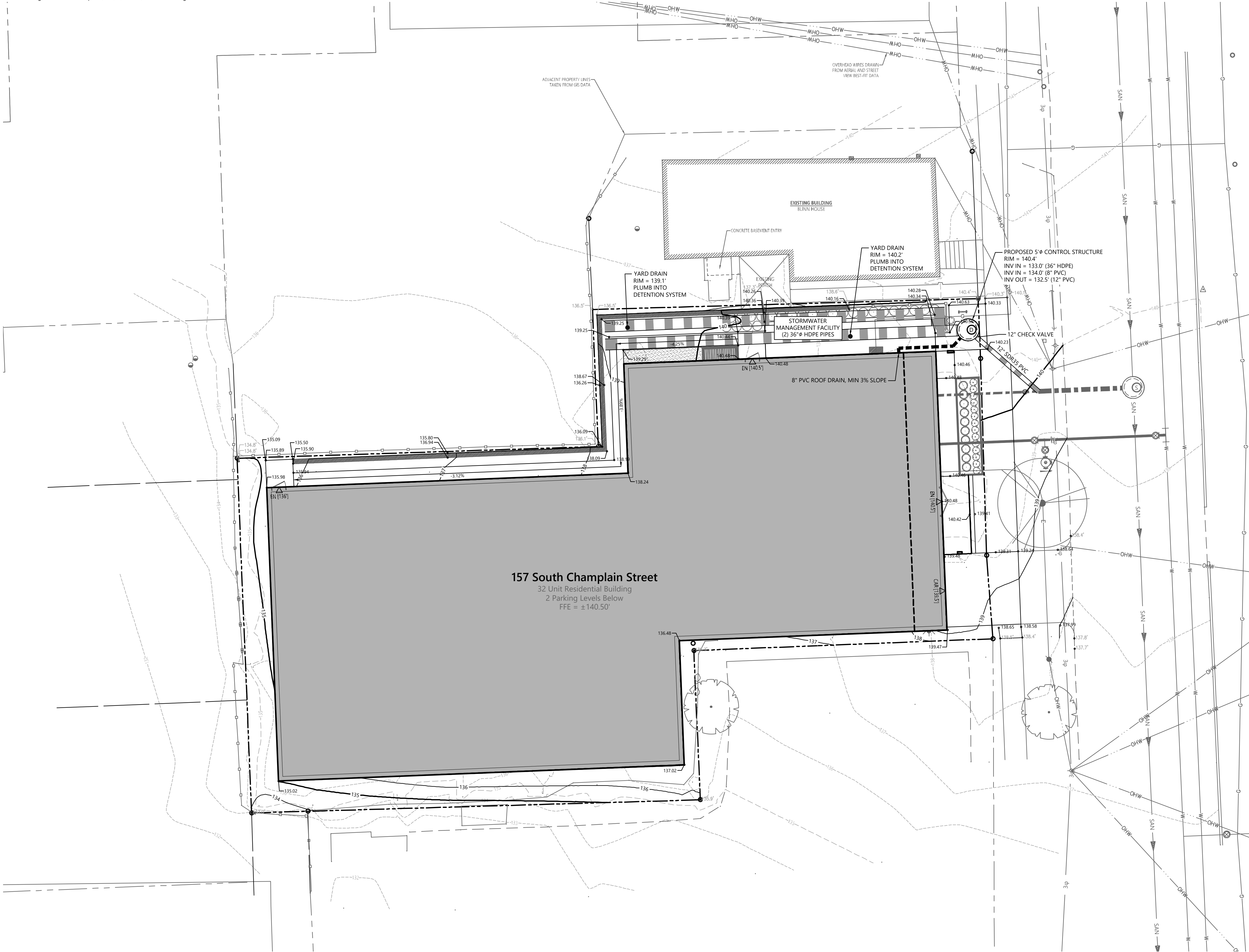
Site Layout Plan

Drawing Number

C2.00

Sheet 3 of 14

Project Number
58429.02

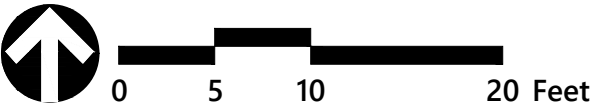




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Drawing Title

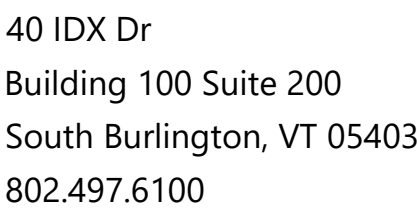
Grading and Drainage Plan

Drawing Number

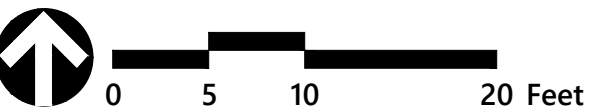
C3.00

Sheet 4 of 14

Project Number
58429.02



1. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
2. ALL WATER AND WASTEWATER WORK SHALL CONFORM WITH THE PROJECT SPECIFIC WATER AND WASTEWATER PERMIT ISSUED BY THE VERMONT DEPARTMENT OF CONSERVATION (VTDEC). VTDEC WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES (EPR CHAPTER 1, "WATER/WASTEWATER RULES"), VTDEC WATER SUPPLY RULE (EPR CHAPTER 21), AND FOR WORK WITHIN 10 FEET OF THE BUILDING (OR AS APPLICABLE) THE VERMONT PLUMBING CODE, LATEST EDITIONS.
3. ALL WORK AND MATERIALS WITHIN CITY RIGHT OF WAY SHALL BE COORDINATED WITH CITY OF BURLINGTON DEPARTMENT OF PUBLIC WORKS PRIOR TO BEGINNING WORK
4. ALL WORK, MATERIALS, AND METER LOCATIONS ASSOCIATED WITH NEW UTILITY SERVICE CONNECTIONS SHALL BE COORDINATED WITH THE UTILITY SERVICE PROVIDER.



157 South Champlain Street
Burlington, VT 05401

No.	Revision	Date	Appvd.

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Local Review	April 7, 2021

Utility Plan

C4.00

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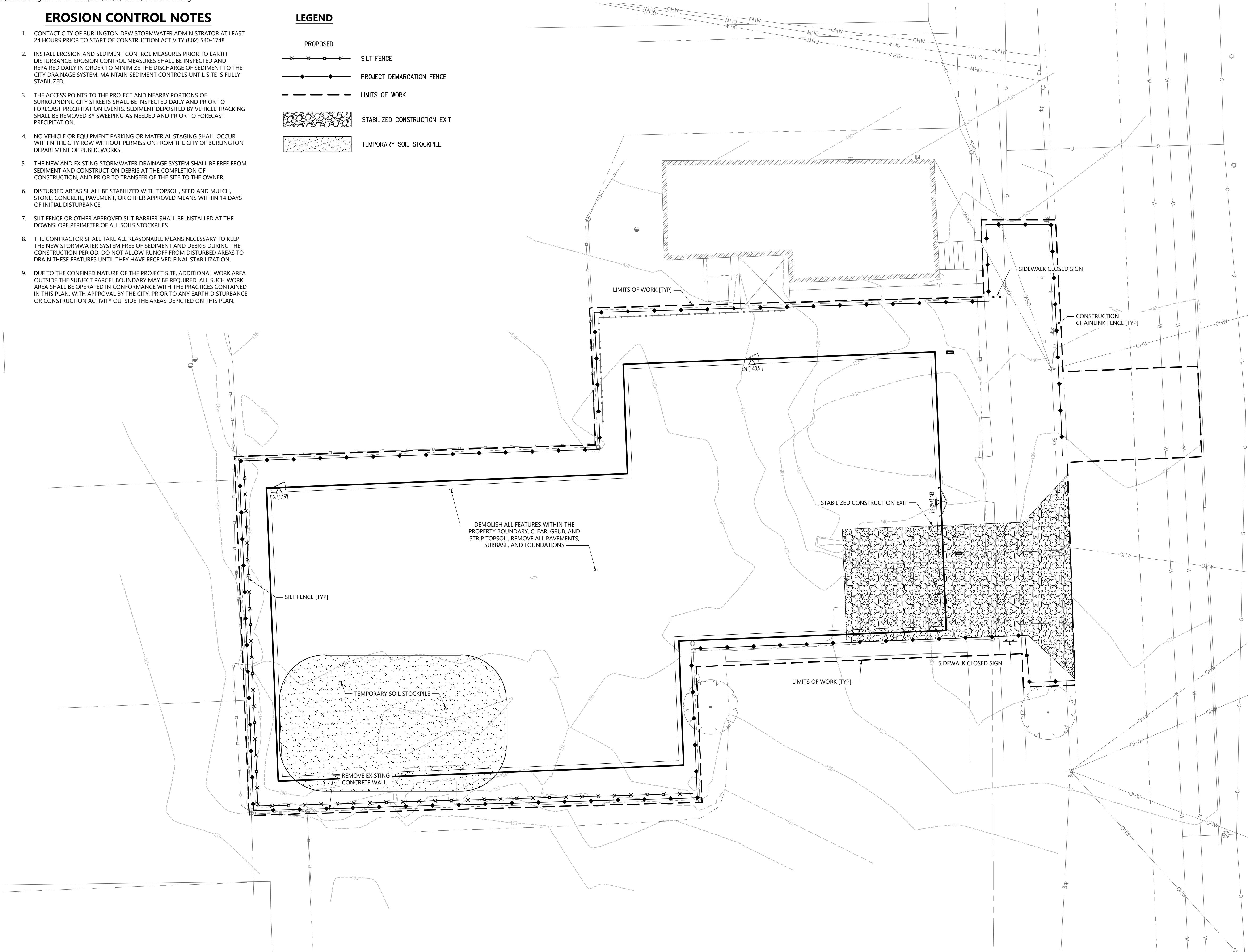
Project Number
58429.02

EROSION CONTROL NOTES

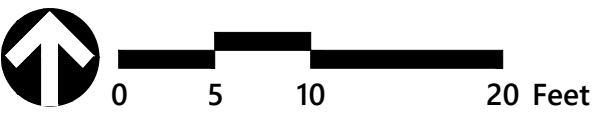
- CONTACT CITY OF BURLINGTON DPW STORMWATER ADMINISTRATOR AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION ACTIVITY (802) 540-1748.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO EARTH DISTURBANCE. EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED DAILY IN ORDER TO MINIMIZE THE DISCHARGE OF SEDIMENT TO THE CITY DRAINAGE SYSTEM. MAINTAIN SEDIMENT CONTROLS UNTIL SITE IS FULLY STABILIZED.
- THE ACCESS POINTS TO THE PROJECT AND NEARBY PORTIONS OF SURROUNDING CITY STREETS SHALL BE INSPECTED DAILY AND PRIOR TO FORECAST PRECIPITATION EVENTS. SEDIMENT DEPOSITED BY VEHICLE TRACKING SHALL BE REMOVED BY SWEEPING AS NEEDED AND PRIOR TO FORECAST PRECIPITATION.
- NO VEHICLE OR EQUIPMENT PARKING OR MATERIAL STAGING SHALL OCCUR WITHIN THE CITY ROW WITHOUT PERMISSION FROM THE CITY OF BURLINGTON DEPARTMENT OF PUBLIC WORKS.
- THE NEW AND EXISTING STORMWATER DRAINAGE SYSTEM SHALL BE FREE FROM SEDIMENT AND CONSTRUCTION DEBRIS AT THE COMPLETION OF CONSTRUCTION, AND PRIOR TO TRANSFER OF THE SITE TO THE OWNER.
- DISTURBED AREAS SHALL BE STABILIZED WITH TOPSOIL, SEED AND MULCH, STONE, CONCRETE, PAVEMENT, OR OTHER APPROVED MEANS WITHIN 14 DAYS OF INITIAL DISTURBANCE.
- SILT FENCE OR OTHER APPROVED SILT BARRIER SHALL BE INSTALLED AT THE DOWNSLOPE PERIMETER OF ALL SOILS STOCKPILES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEANS NECESSARY TO KEEP THE NEW STORMWATER SYSTEM FREE OF SEDIMENT AND DEBRIS DURING THE CONSTRUCTION PERIOD. DO NOT ALLOW RUNOFF FROM DISTURBED AREAS TO DRAIN THESE FEATURES UNTIL THEY HAVE RECEIVED FINAL STABILIZATION.
- DUE TO THE CONFINED NATURE OF THE PROJECT SITE, ADDITIONAL WORK AREA OUTSIDE THE SUBJECT PARCEL BOUNDARY MAY BE REQUIRED. ALL SUCH WORK AREA SHALL BE OPERATED IN CONFORMANCE WITH THE PRACTICES CONTAINED IN THIS PLAN, WITH APPROVAL BY THE CITY, PRIOR TO ANY EARTH DISTURBANCE OR CONSTRUCTION ACTIVITY OUTSIDE THE AREAS DEPICTED ON THIS PLAN.

LEGEND

- PROPOSED
- SILT FENCE
 - PROJECT DEMARCATION FENCE
 - LIMITS OF WORK
 - STABILIZED CONSTRUCTION EXIT
 - TEMPORARY SOIL STOCKPILE



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Dagesse Company
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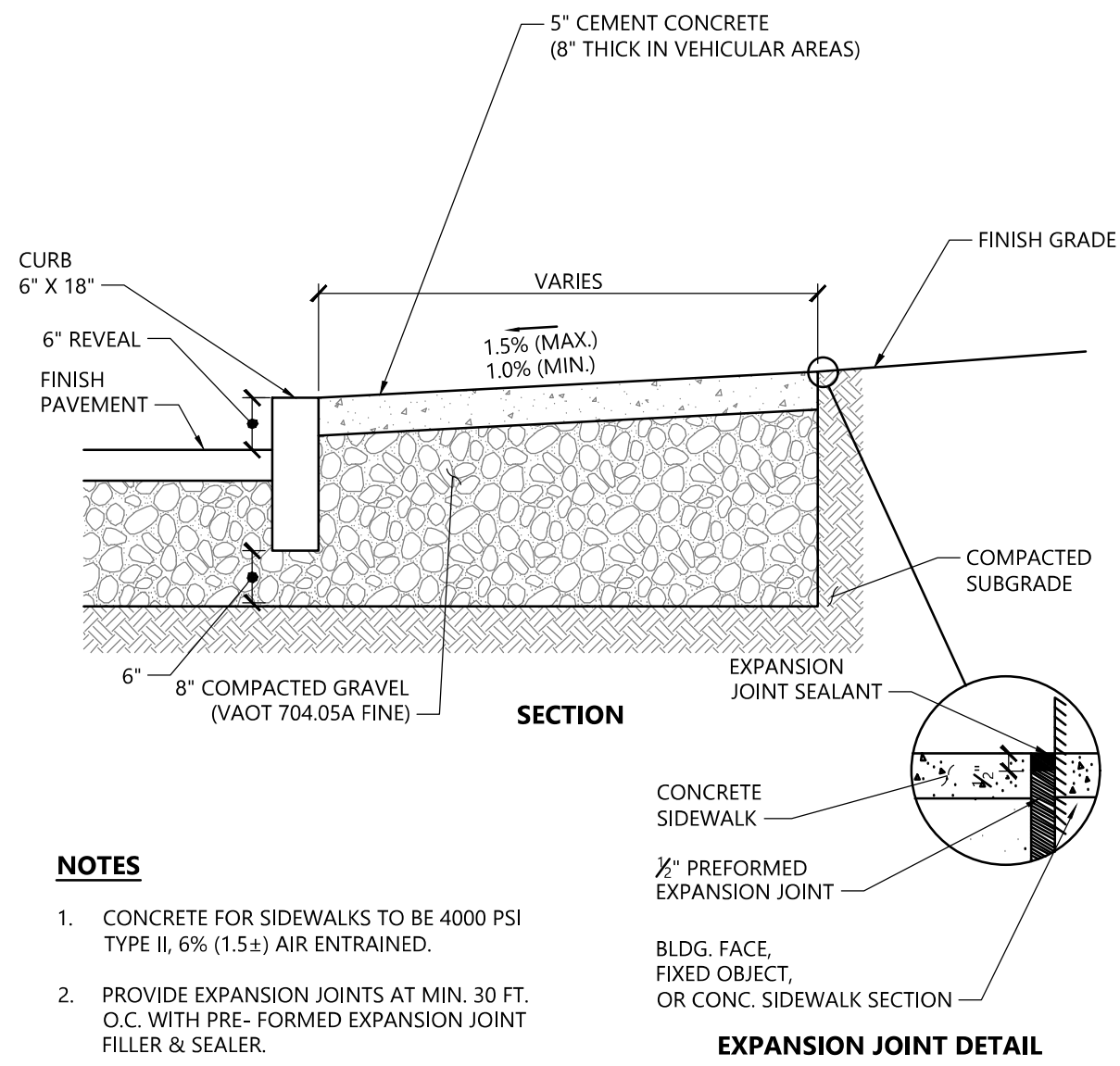
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Drawing Title
Erosion Prevention and Sediment Control Plan

Drawing Number

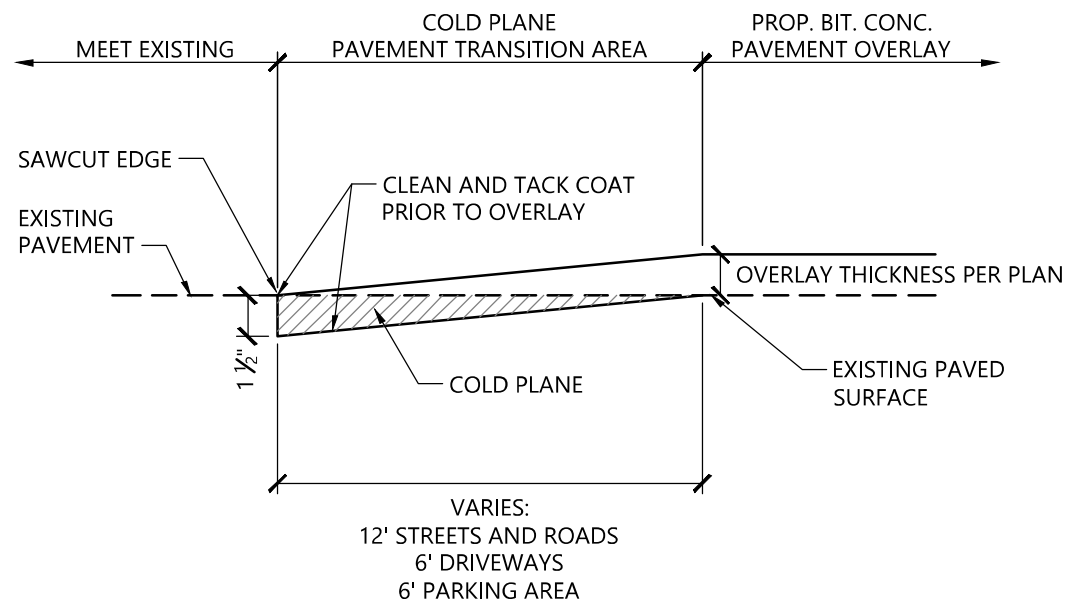
C5.00

Sheet 6 of 14

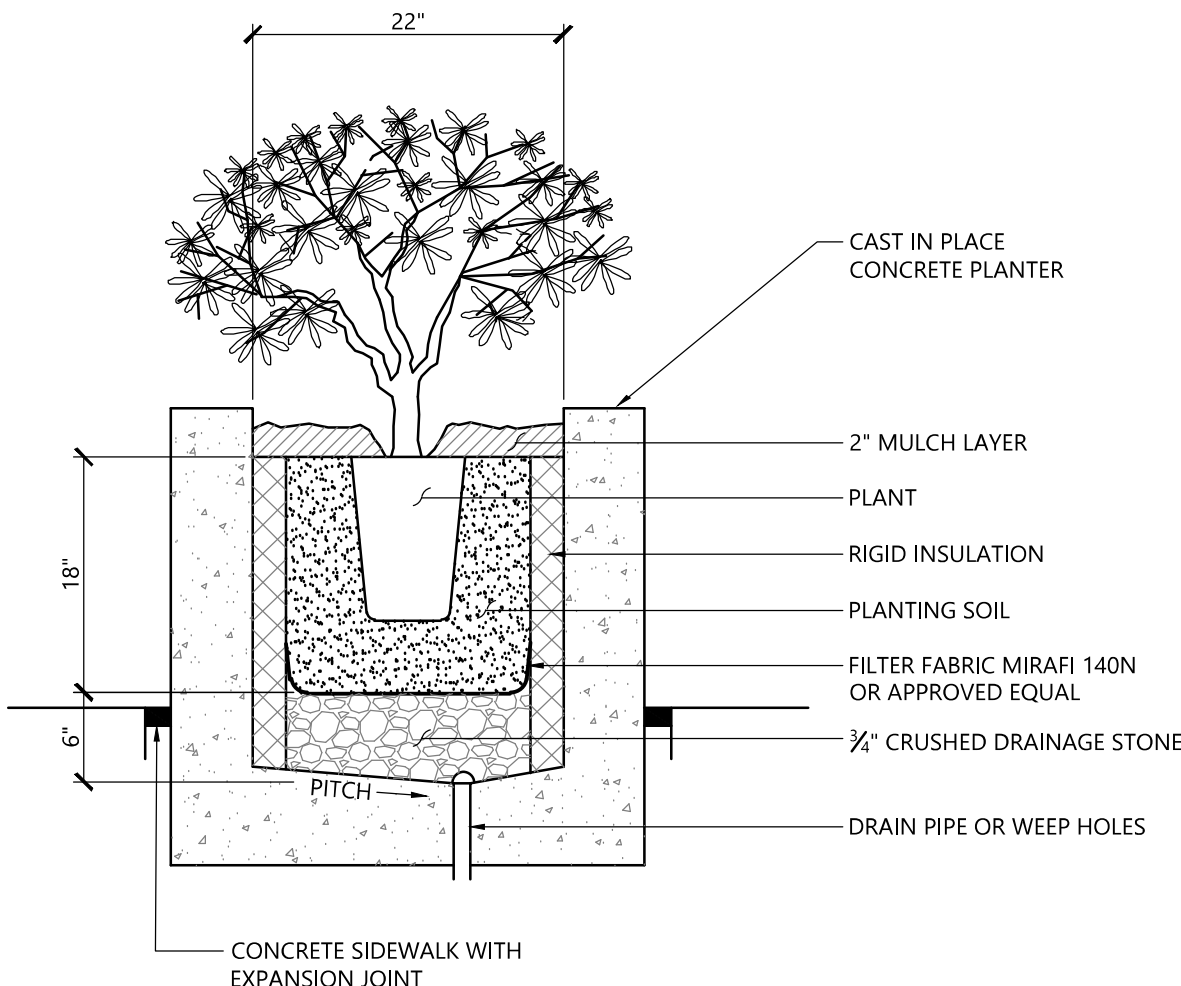
Project Number
58429.02



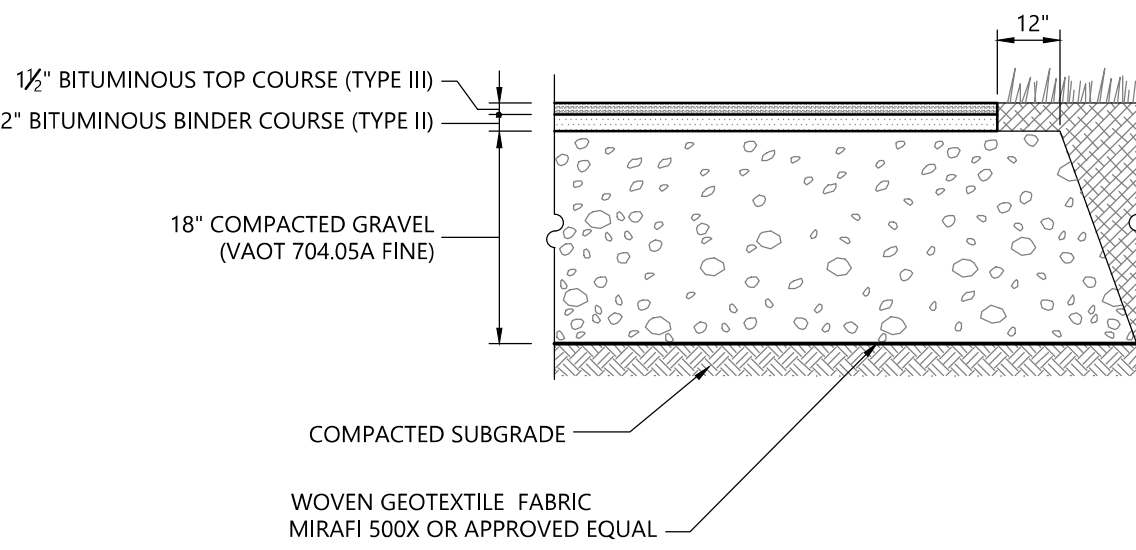
Cast-In-Place Concrete Curb (CC) & Sidewalk 1/16
N.T.S. Source: VHB LD_420



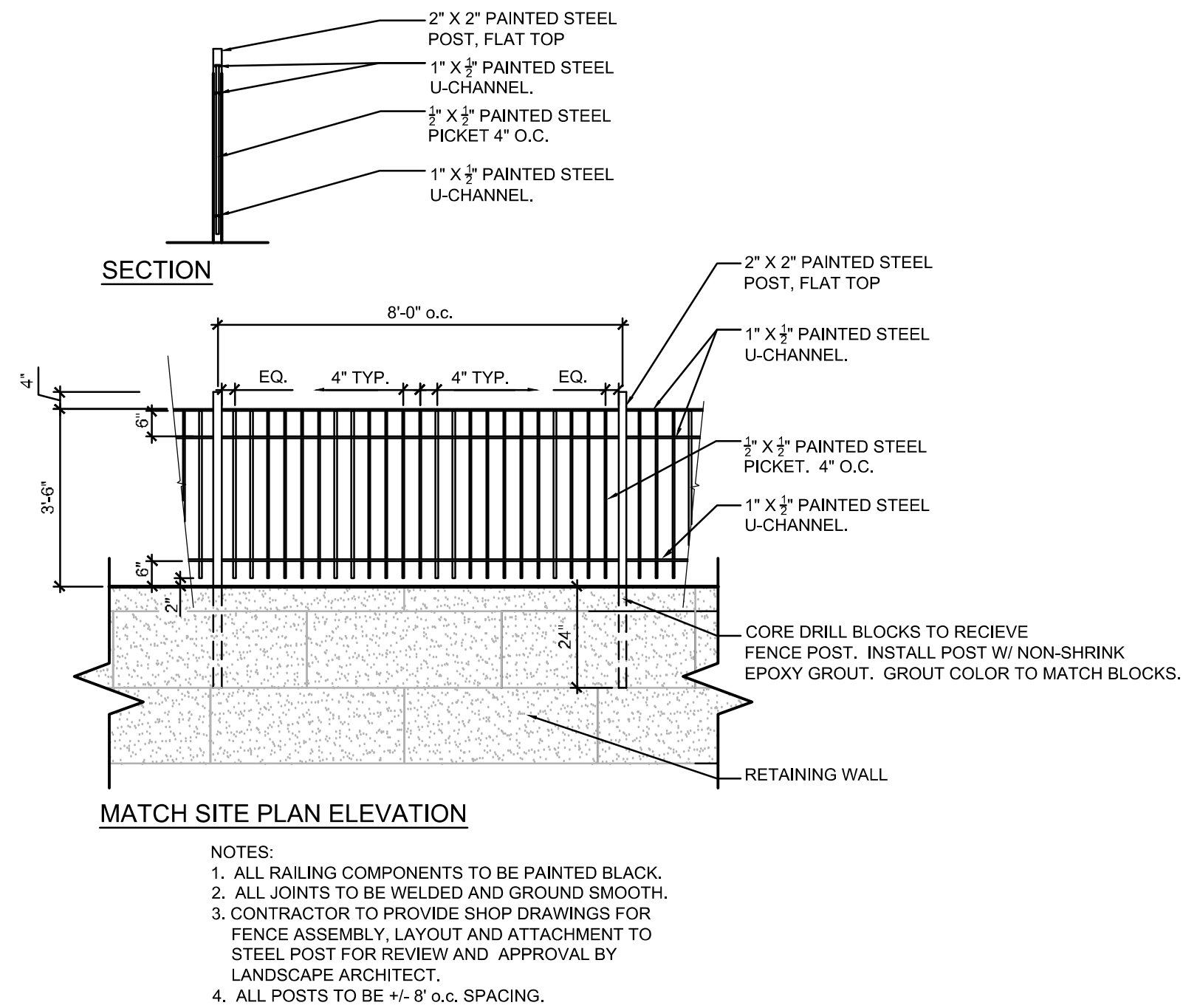
Pavement Overlay Transition Section 1/16
N.T.S. Source: VHB LD_435



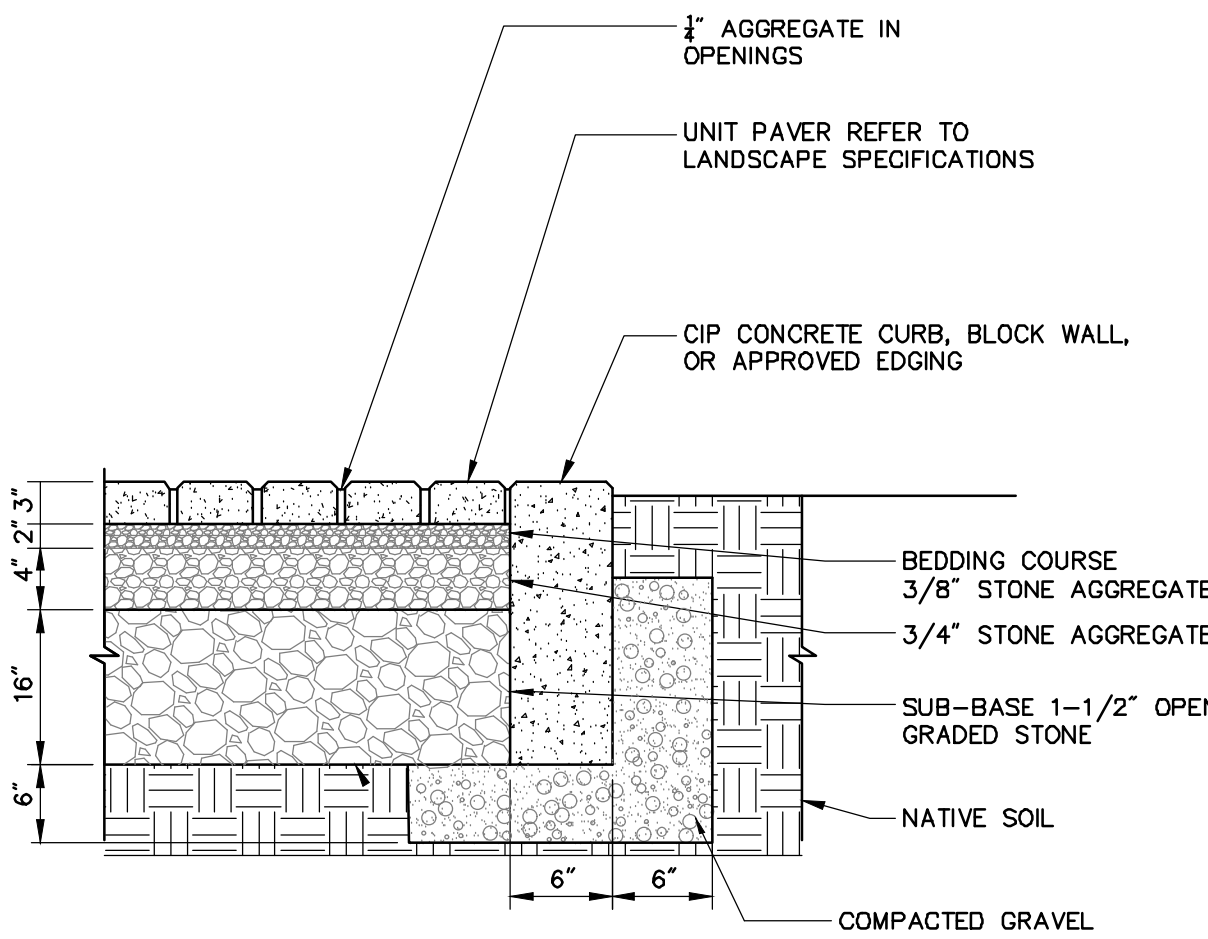
Planter Cross Section 1/16
N.T.S. Source: VHB LD_608



Standard Duty Flexible Pavement 4/18
N.T.S. Source: VHB LD



Fall Protection Handrail 4/21
N.T.S. Source: VHB LD_VT



Pervious Paver Typical Section
N.T.S.

Dagesse Company

157 South Champlain Street
Burlington, VT 05401

No.	Revision	Date	Apprd.

Designed by	RWN	Checked by	PBS
Issued for		Date	

Local Review April 7, 2021

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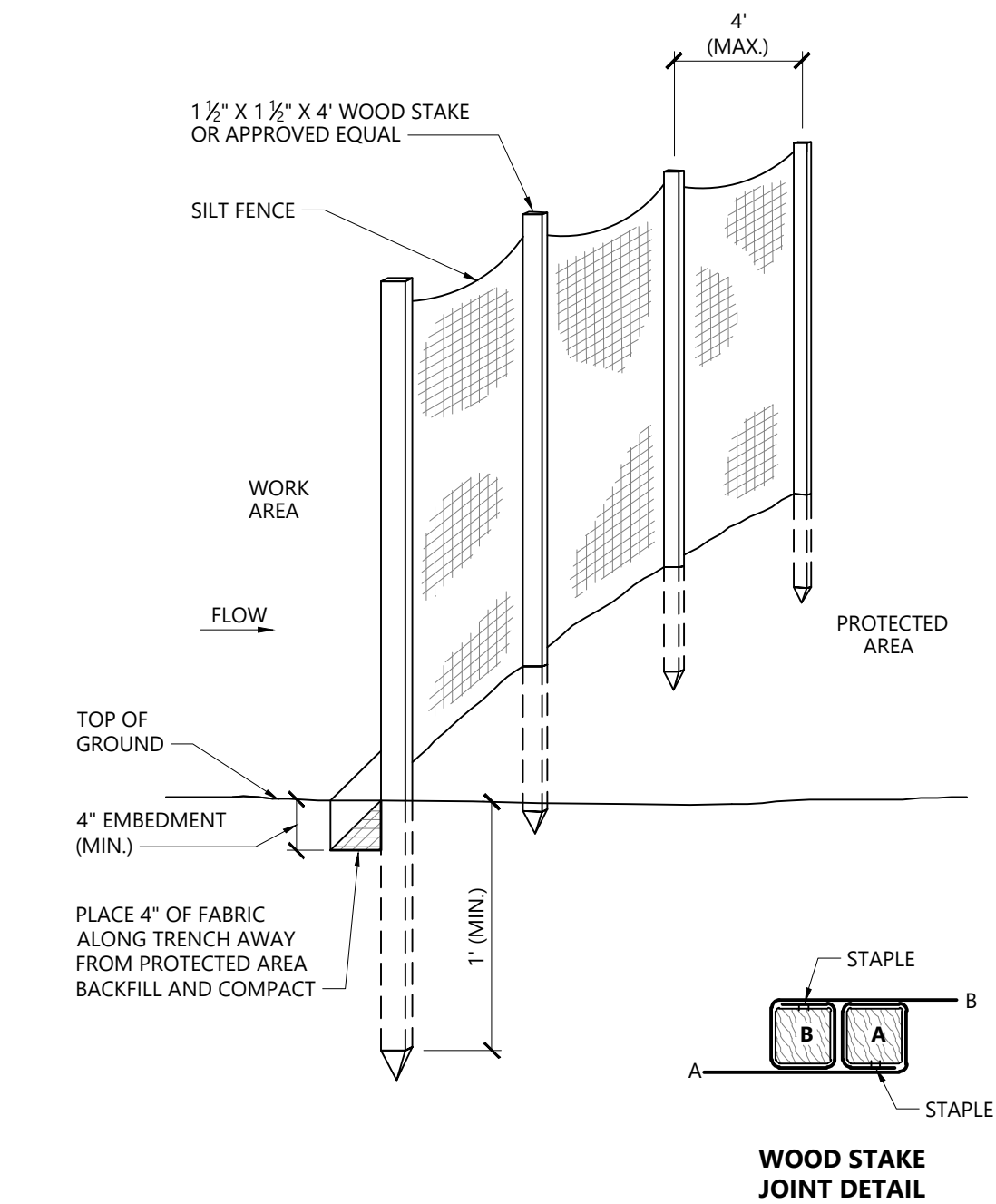
Drawing Title
Site Details

Drawing Number

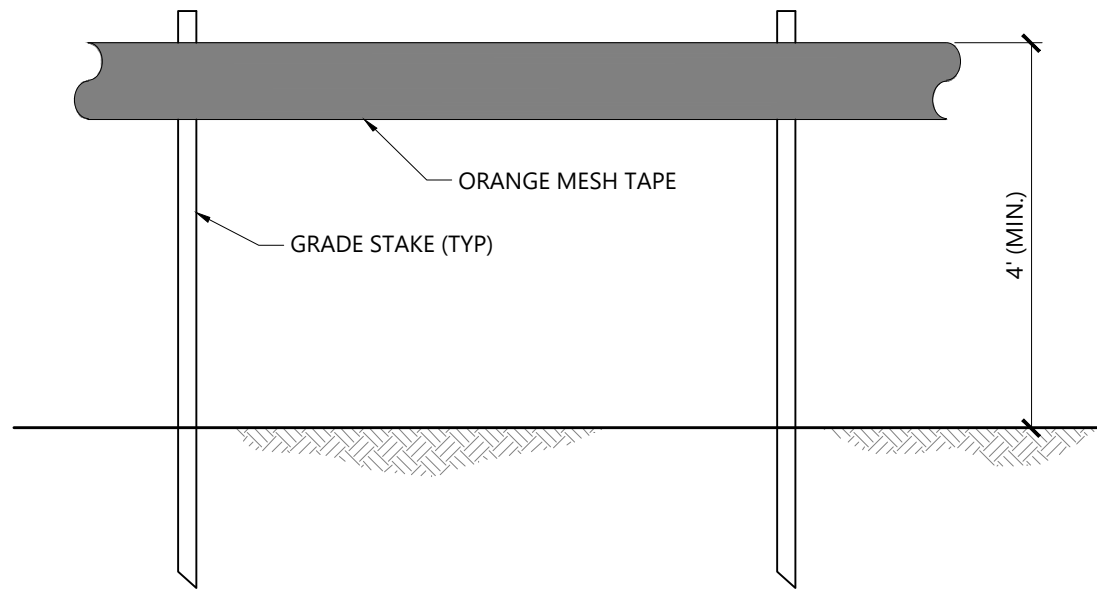
C6.00

Sheet 7 of 14

Project Number
58429.02



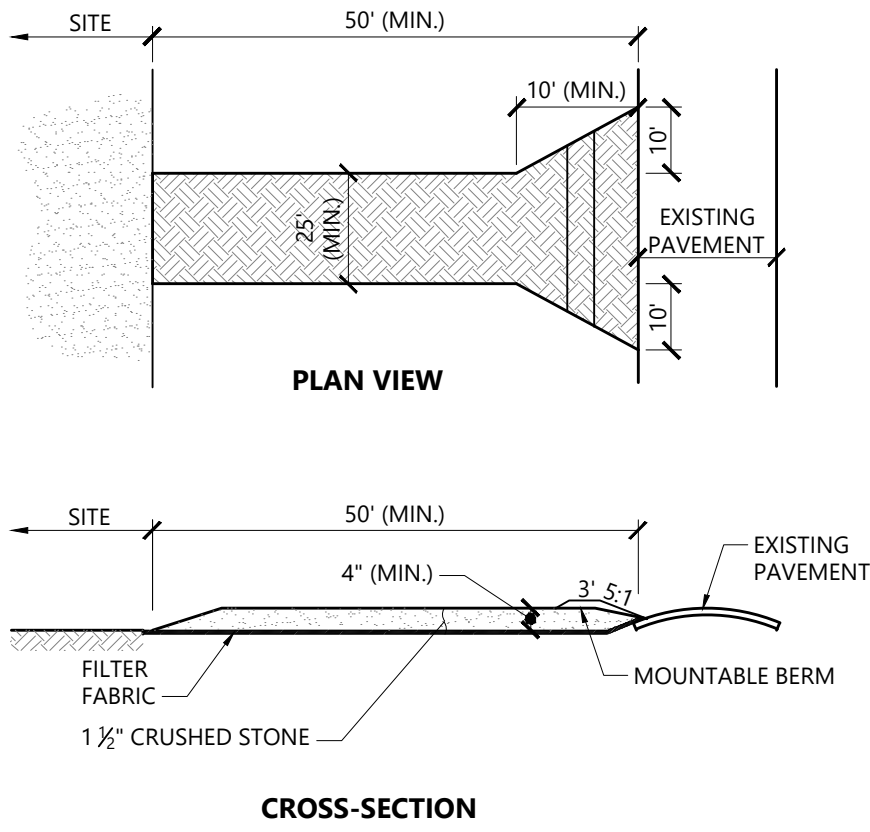
Silt Fence Barrier 1/16
N.T.S. Source: VHB LD_650



NOTES

1. BARRIER MESH TAPE SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT AREA TO DEMARCAT THE LIMIT OF DISTURBANCE. NO EARTHWORK OR STORAGE OF MATERIALS SHALL BE CONDUCTED BEYOND THIS LIMIT WITHOUT PRIOR APPROVAL FROM THE OSPC.
2. USE 3" ORANGE BARRIER MESH TAPE.
3. TAPE OR ROPE MAY BE FASTENED TO STAKES, TREES, OR OTHER APPROPRIATE FIXED OBJECTS.
4. PROJECT DEMARCATON SHALL NOT CROSS ACTIVE ACCESS ROUTES (E.G. ROADS).
5. PROJECT DEMARCATON SHALL REMAIN IN PLACE AND BE MAINTAINED/REPLACED AS NEEDED UNTIL FINAL STABILIZATION IN THE AREA HAS BEEN ACHIEVED.

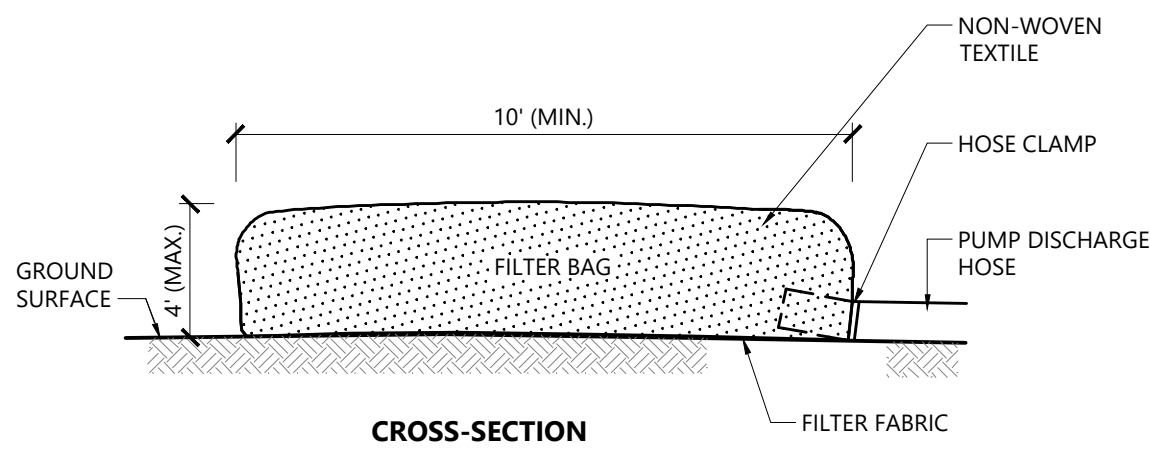
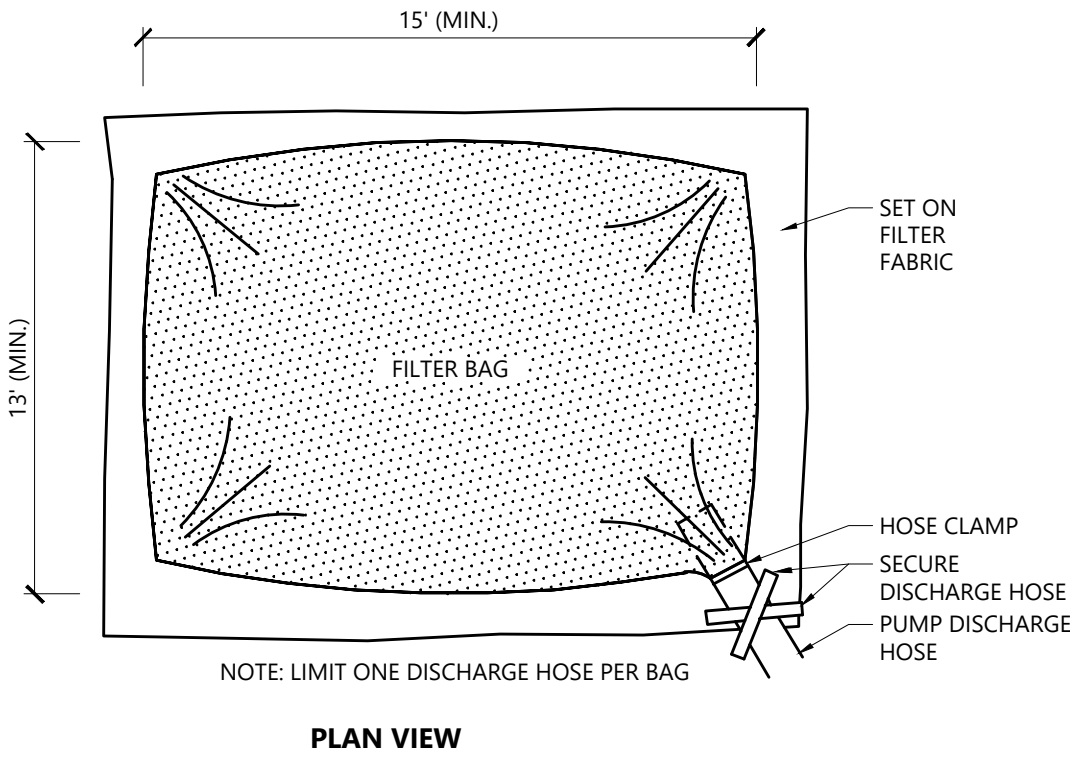
Barrier Mesh Tape or Rope 08/16
N.T.S. Source: VHB LD_VT



NOTES

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

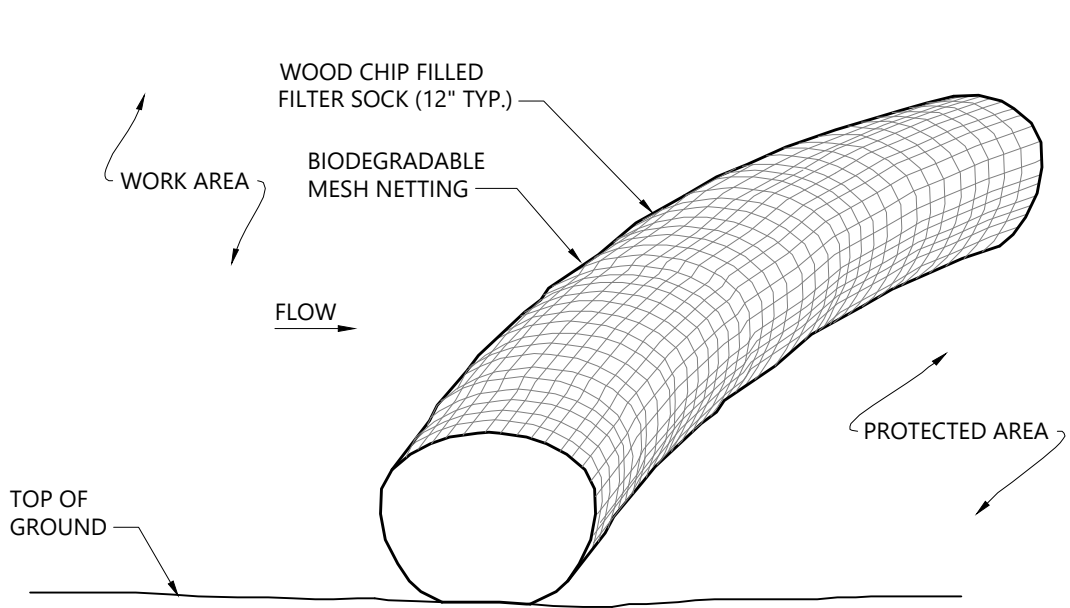
Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682



NOTES

1. BAG TO BE USED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

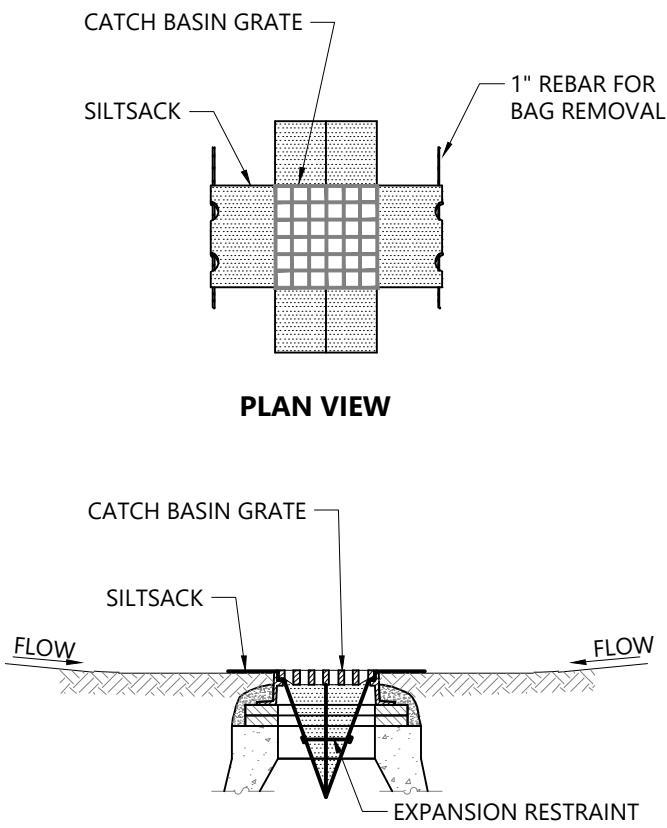
Dewatering Filter Bag 1/16
N.T.S. Source: VHB LD_691



NOTES

1. FILTER SOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL.
2. FILTER SOCK SHALL BE ANCHORED WITH GRAVEL BAGS.
3. FILTER SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock - Erosion Control Barrier 1/16
N.T.S. Source: VHB LD_658



NOTES

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND STRAW BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

Siltsock Sediment Trap 1/16
N.T.S. Source: VHB LD_674

Dagesse Company

157 South Champlain Street
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Local Review

April 7, 2021

Not For Construction

Drawing Title
**Erosion Prevention and
Sediment Control Details**

Drawing Number

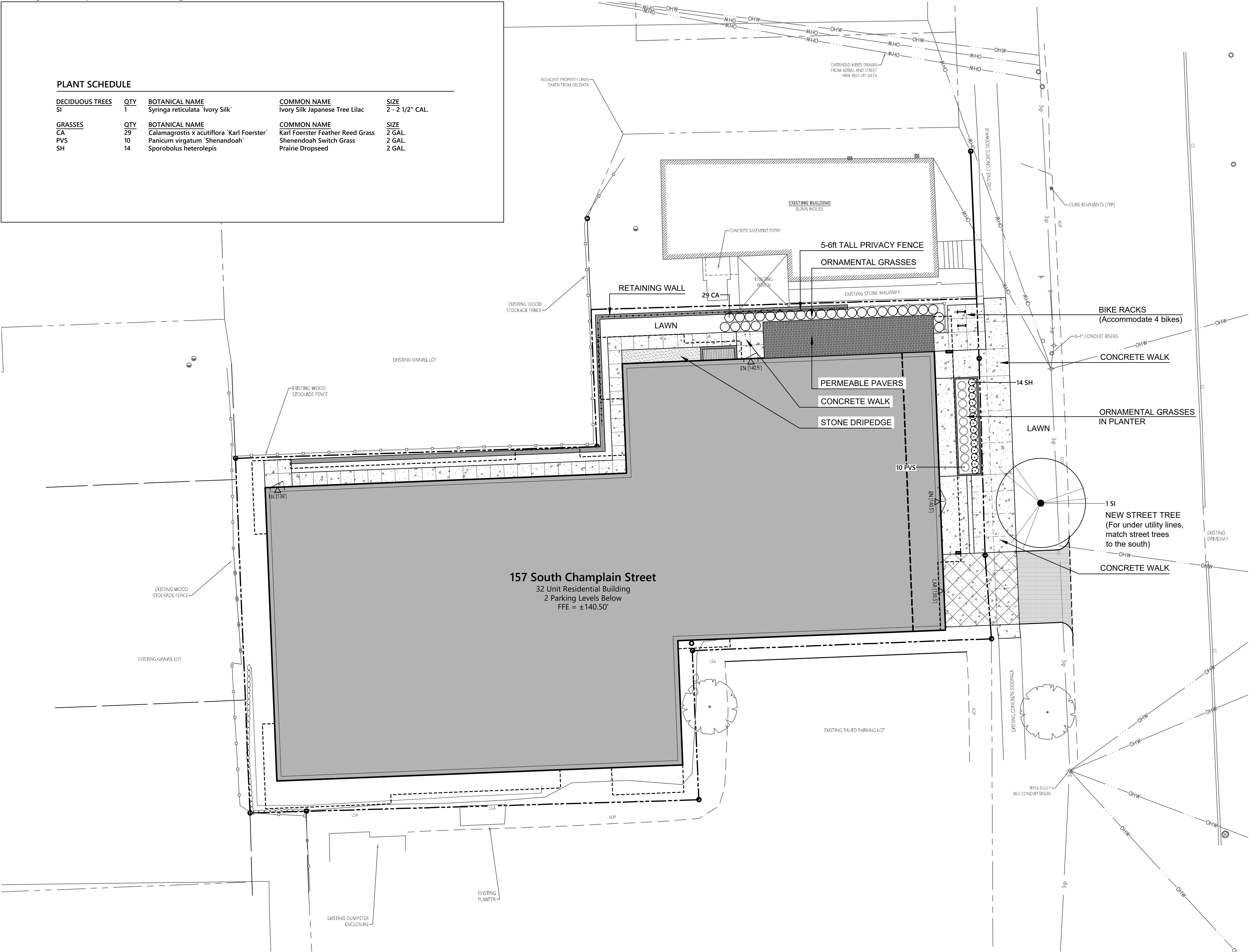
C6.01

Sheet 8 of 14

Project Number
58429.02

PLANT SCHEDULE

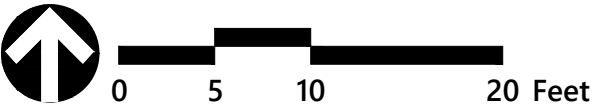
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
SI	1	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2 - 2 1/2" CAL.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CA	29	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 GAL.
PVS	10	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 GAL.
SH	14	Sporobolus heterolepis	Prairie Dropseed	2 GAL.





vhb.com

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802.497.6100



Dagesse Company

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Burlington, VT 05401

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Issued for	Local Review	Date	April 7, 2021
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Not For Construction

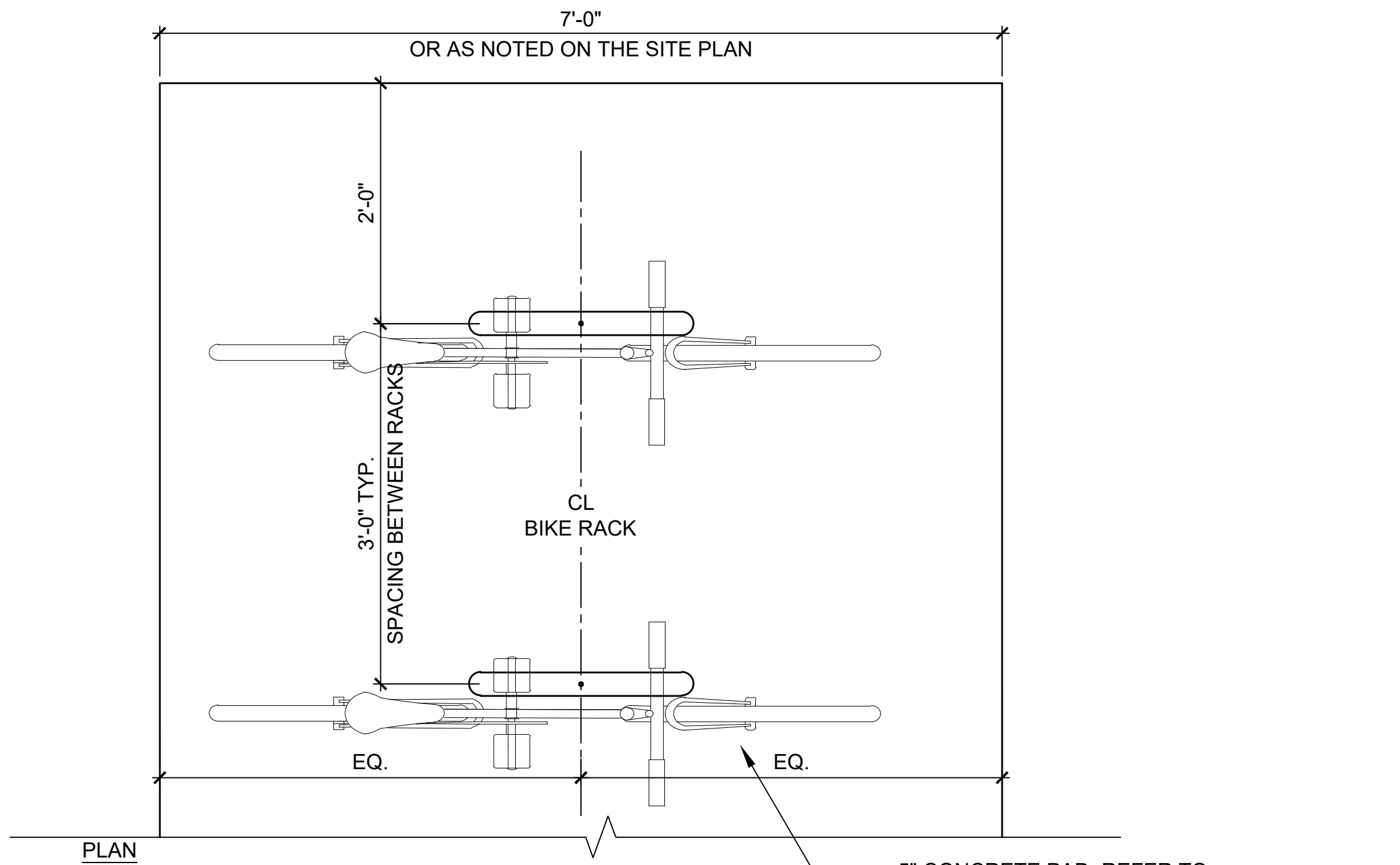
Drawing Title
Landscape Plan

Drawing Number

L1.00

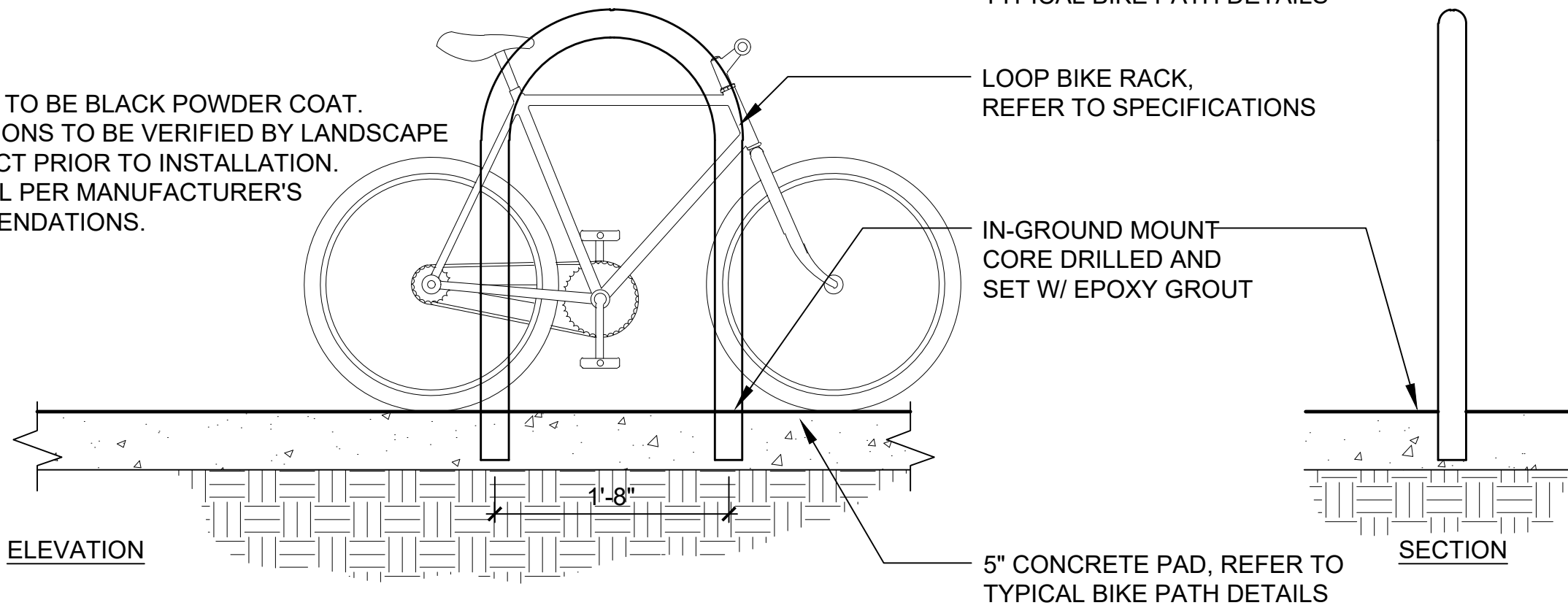
Sheet 11 of 14

Project Number
58429.02



NOTES:

1. COLOR TO BE BLACK POWDER COAT.
2. LOCATIONS TO BE VERIFIED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



BIKE RACK

SCALE 1" = 1'

NOTES:

1. ALL WOOD FENCE COMPONENTS TO BE WESTERN RED CEDAR
2. WOOD FENCE POSTS TO BE P.T. LUMBER RATED FOR DIRECT GROUND CONTACT
2. ALL ASSOCIATED HARDWARE SHOULD BE SS
4. WOOD FENCE FINISH TO MATCH THE BUILDING CEDAR
6. CONTRACTOR TO PROVIDE SHOP DRAWINGS SHOWING LAYOUT AND INCLUDING ALL PROPOSED MATERIALS AND HARDWARE.

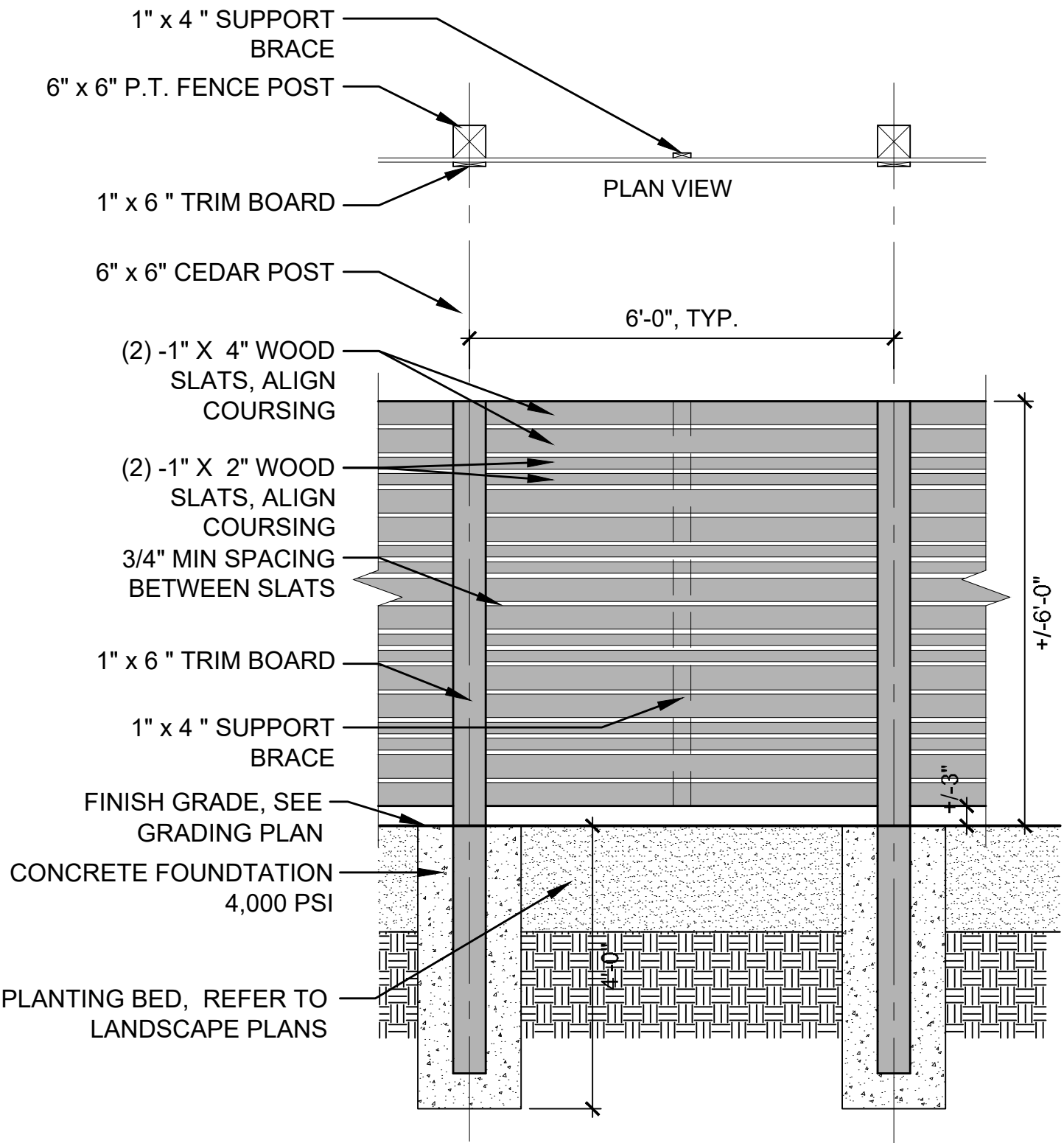


IMAGE FOR REFERENCE ONLY

PRIVACY FENCE

SCALE 1/2" = 1'-0"



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Dagesse Company

157 South Champlain Street
Burlington, VT 05401

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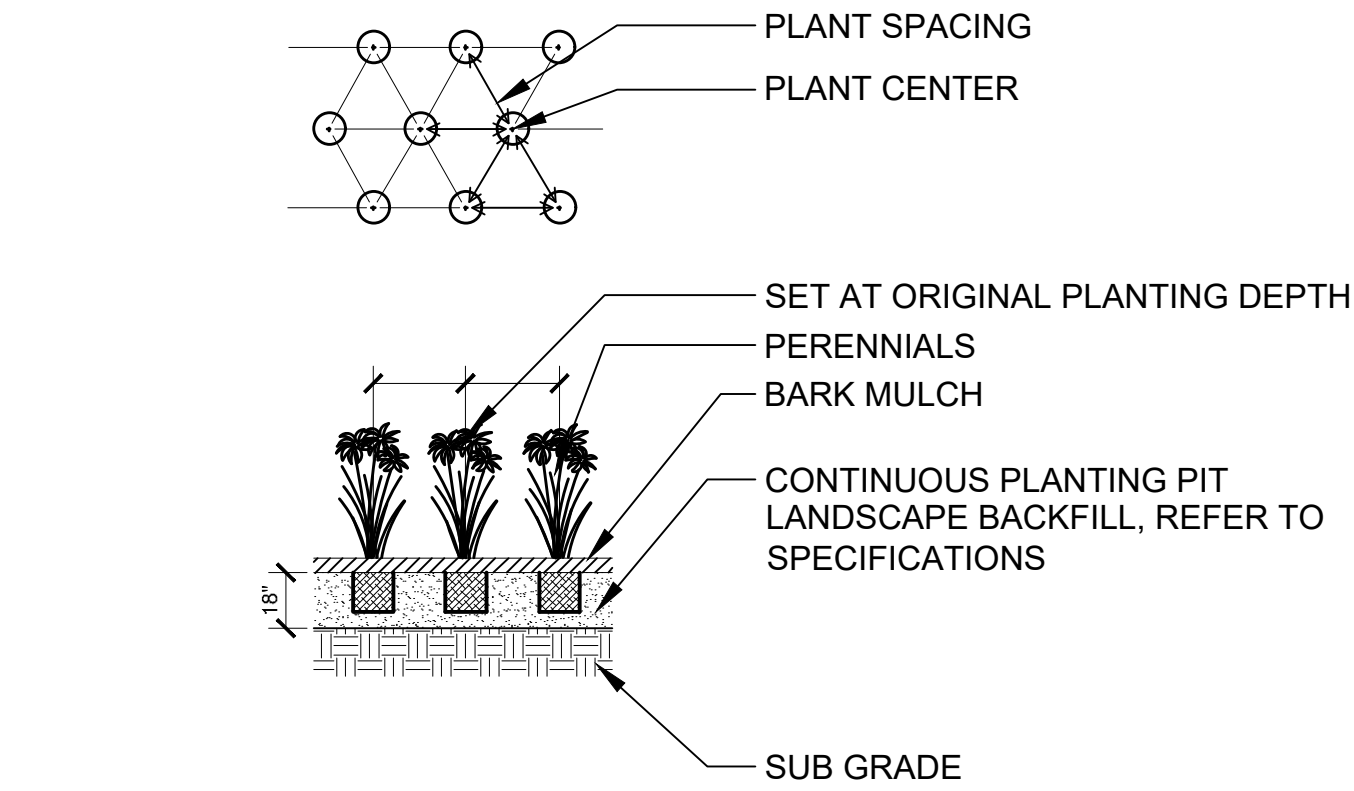
Drawing Title
Landscape Details

Drawing Number

L1.01

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PERENNIAL PLANTING
N.T.S.

- NOTES:
1. REFER TO PLANTING PLAN FOR SPACING AND QUANTITIES.
 2. ALL PLANTING BEDS ARE TO BE CONTINUOUS, COMPLETELY DUG OUT AND BACKFILLED WITH THE PROPER PLANTING BED BACKFILL MATERIAL, REFER TO SOIL PREPARATION SPECIFICATION.

SURROUNDING SOIL SHOULD NOT EXCEED 80% COMPACTION, DRAINAGE WILL BE REQUIRED IF COMPACTED SOILS ARE PRESENT

NYLON STRAP WITH 3/4" GROMMETS, REFER TO SPECIFICATIONS INCIDENTAL TO DECIDUOUS TREES

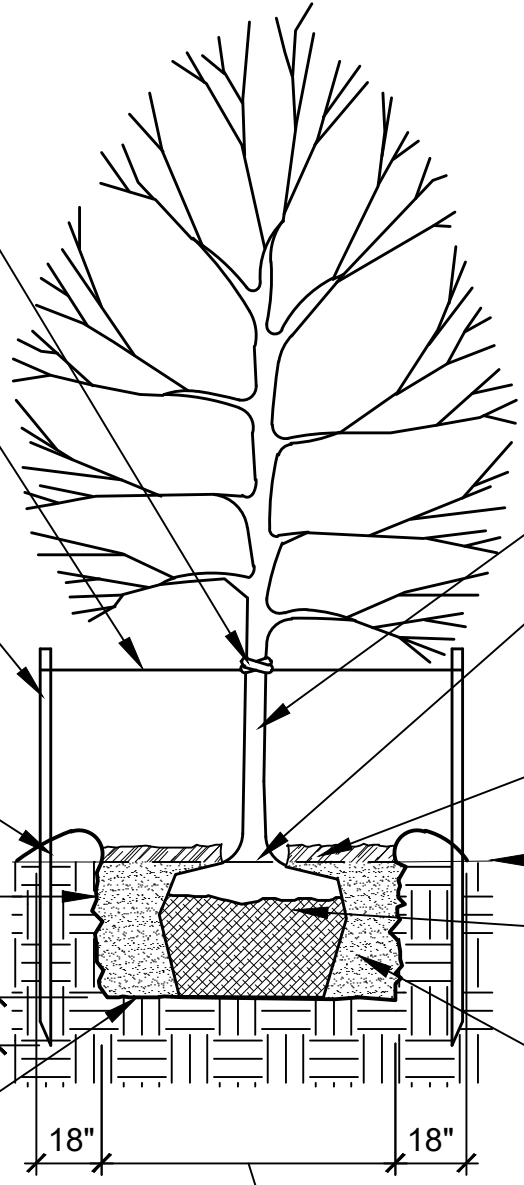
FASTEN WIRE BELOW POINT OF MAJOR BRANCHING OR TO MAJOR OUTSIDE TRUNK.

2 1/2" HARDWOOD STAKES. ALIGN STAKES PARALLEL W/ ROAD/ WALKS OR PARALLEL W/ DIRECTION OF PREVAILING WIND, REFER TO TREE STAKING DETAIL INCIDENTAL TO DECIDUOUS TREES

TEMPORARY WATERING BASIN MADE FROM SOIL

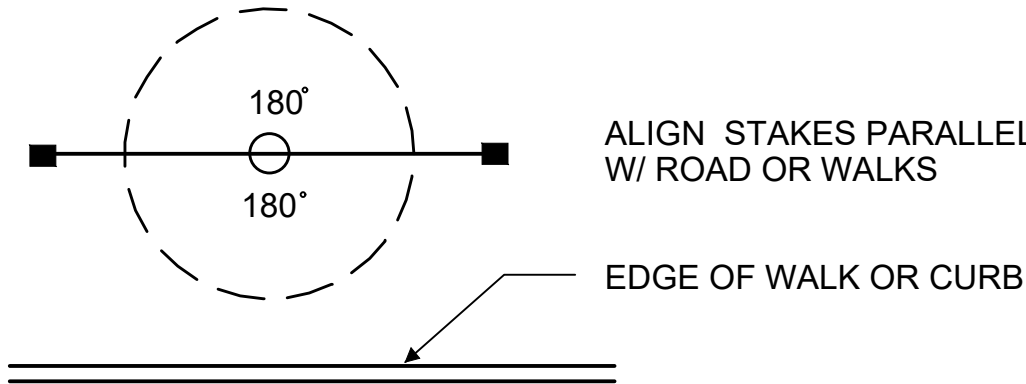
BREAK APART EDGE OF EXCAVATION W/ SHOVEL AND BLEND PLANT MIX W/ EXISTING SOIL TO PROVIDE TRANSITION TO UNDISTURBED GRADE

UNDISTURBED GRADE
EXCAVATE ONLY TO SPECIFIED PLANTING DEPTH TO ENSURE STABLE BASE

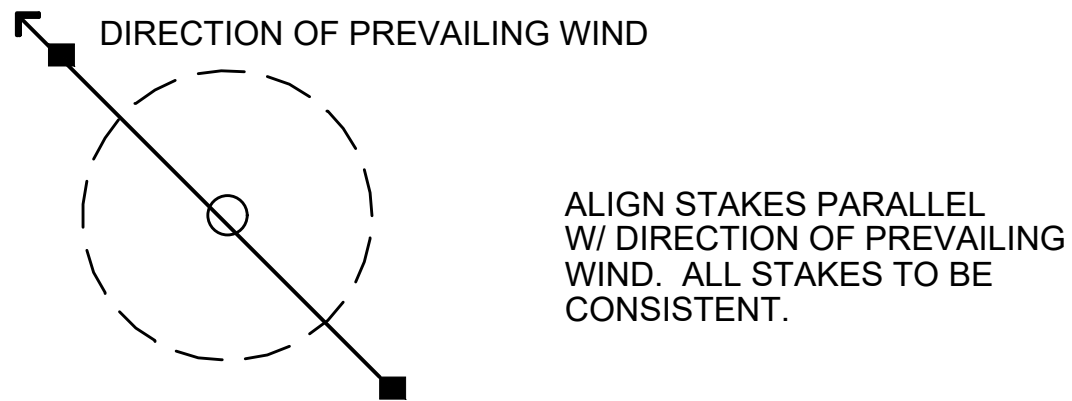


- NOTES:
1. EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING, OR SURVEYORS TAPE TO PREVENT FUTURE GIRDLING.
 2. ALL TREE PLANTING BEDS ARE TO BE CONTINUOUS, COMPLETELY DUG OUT AND BACKFILLED WITH THE PROPER PLANTING BED BACKFILL MATERIAL, REFER TO SOIL PREPARATION SPECIFICATION.
 3. WIDTH OF TREE PIT SHALL BE 3 TIMES THE DIAMETER OF THE ROOT BALL, UNLESS TREE IS BEING PLANTED IN CONTINUOUS LANDSCAPE BEDS / PITS.

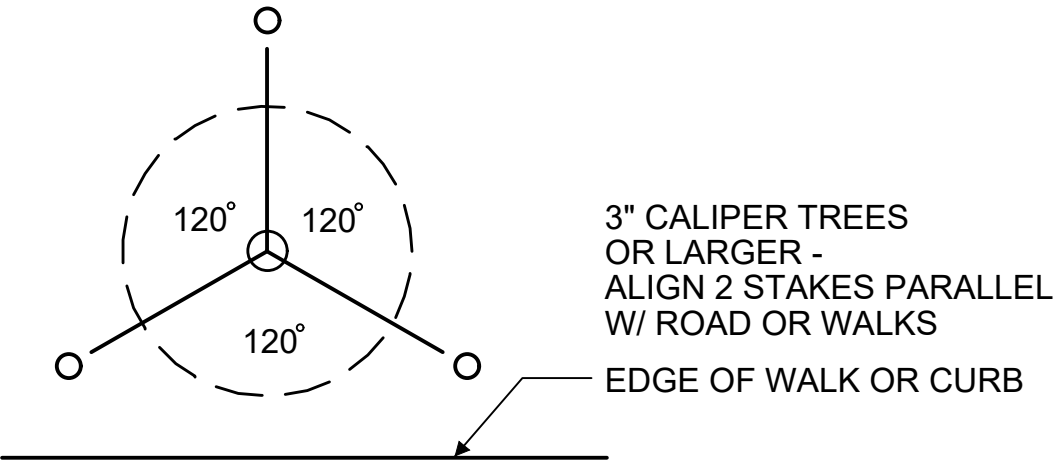
TREE PLANTING
SCALE 1/4" = 1'-0"



A. TREE STAKING ALONG ROAD OR WALKS



B. TREE STAKING IN OPEN SPACES



C. TREE GUYING

TREE STAKING LAYOUT
NO SCALE

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April 7, 2021

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Drawing Title
Landscape Details

Drawing Number

L1.02

Sheet 13 of 14

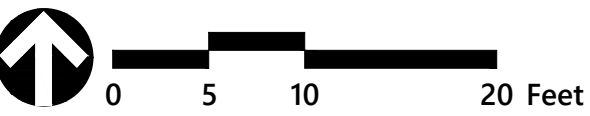
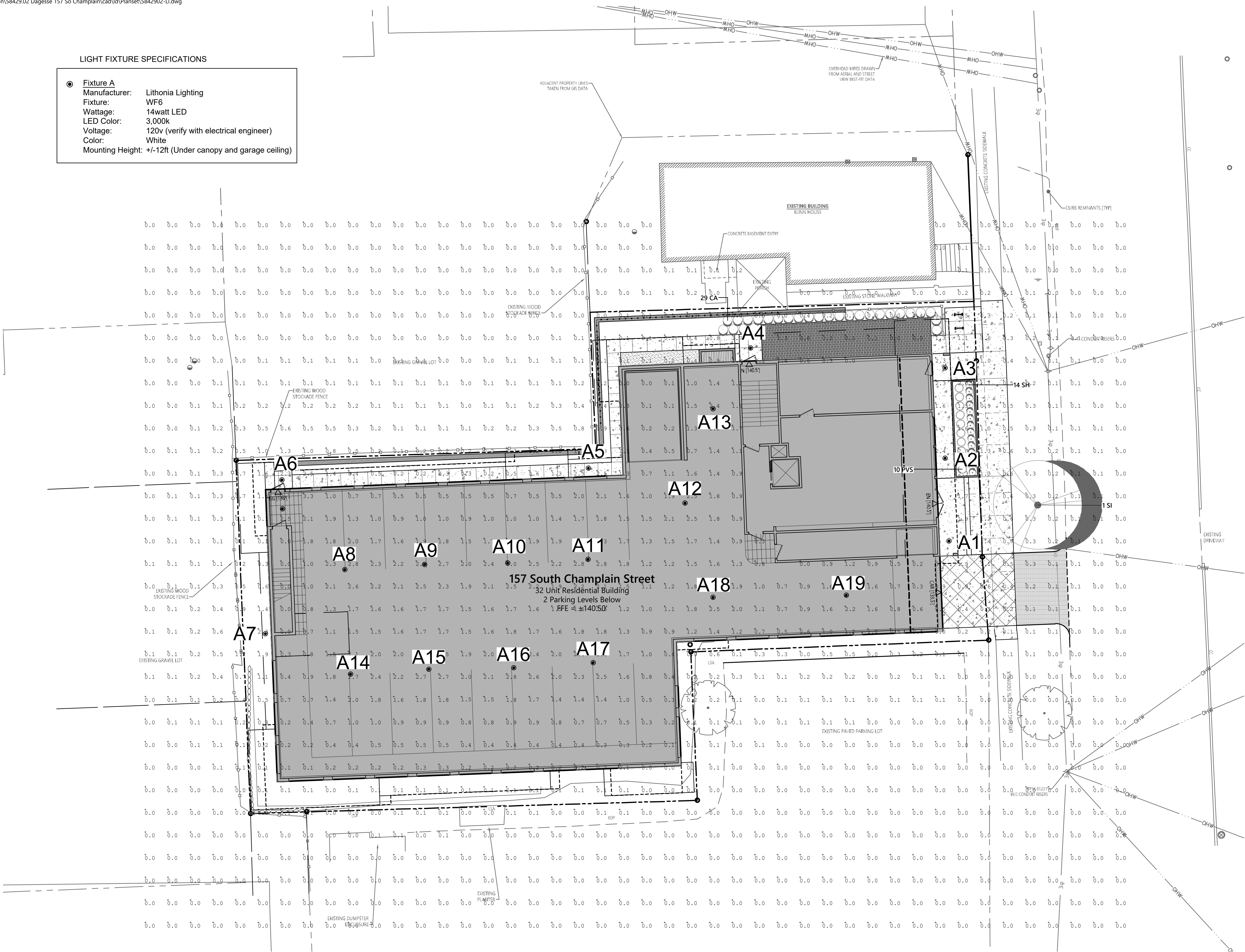
Project Number
58429.02



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LIGHT FIXTURE SPECIFICATIONS

- **Fixture A**
Manufacturer: Lithonia Lighting
Fixture: WF6
Wattage: 14watt LED
LED Color: 3,000k
Voltage: 120v (verify with electrical engineer)
Color: White
Mounting Height: +/-12ft (Under canopy and garage ceiling)



Dagesse Company
157 South Champlain Street
Burlington, VT 05401

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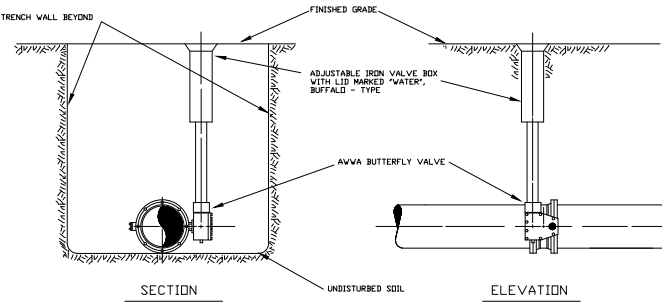
Drawing Title
Lighting Plan

Drawing Number

L2.00

Sheet 14 of 14

Project Number
58429.02



BURIED BUTTERFLY VALVE DETAIL

N.T.S.

NOTES:

Before construction of any utilities or improvements, the Contractor shall notify the Department of Public Works (DPW), IN WRITING, of intent to proceed.

- All water mains, fittings, appurtenances and other materials, and construction shall conform to all applicable AWWA, State and City codes, standards and regulations. In the case of conflict between these construction details and specifications and a code or regulation, the decision of the Vermont Department of Health or VTDEC Water Supply shall be binding.
- All water mains, fittings, appurtenances shall be installed in a workmanlike manner. Installation shall be under the general inspection of the Public Works Department. Before any water line work is commenced by the Contractor, they shall notify the Public Works Department at least five (5) work days in advance of his intention to proceed.
- Connection to an existing water main shall be done under the supervision of, and with the approval of the Public Works Department. It is the Contractor's responsibility to secure ALL necessary permits and permission to make the connection and to coordinate all parties involved in the process. The Public Works Department shall be notified AT LEAST five (5) work days in advance of the intended connection time.
- An inspector employed by the Public Works Department shall be notified at least two (2) days in advance of all water line installations. Said inspector shall be on the premises for all water line installations.
- As-Builts, prepared by the Contractor are required by the Public Works Department at the time of the completion of the water system. The contractor shall provide accurate tie sheets for all new valves, fittings and curb stops. The contractor shall allow the city to access the construction site to obtain additional infrastructure information throughout the project.
- All water mains shall have horizontal and vertical distances as detailed on this drawing.
- All public and private water mains: 1) 4' or greater shall be C-900 pipe (per note 21 below); 2) less than 4' in diameter shall be ULTRA-HIGH WEIGHT, CTS POLYETHYLENE TUBING DESIGNED FOR A WORKING PRESSURE OF 200 PSI (AWWA C-901, ASTM-D-1248 AND ASTM-D-2737). All water line fittings shall be ductile iron, (AWWA C-110), cement-lined. For water lines less than 4 inches in diameter, fittings (other than valves) shall MEET MANUFACTURER'S RECOMMENDATIONS AND MEET VERMONT ACT 193 REQUIREMENTS FOR LEAD CONTENT.
- All buried valves shall conform to AWWA C-504 or C-509, and be resilient wedge gate valves up to 12 inch in size, and either resilient wedge or butterfly valves for larger sizes. All gate valves shall open right (clockwise) and shall have adjustable iron valve boxes extending to the finished grade (see Typical Details).
- Hydrants shall be in accord with AWWA C-502, 3-way post type breakaway Kennedy K81-A, with two (2) 2-1/2' hose nozzles and one (1) 4-1/2' steamer nozzle. Nozzle threads shall be Roxbury double-start. Hydrants shall be provided with a 6'5" bury (riser). In all cases, it is the Contractor's responsibility to check with the Public Works Department to secure approval of the selected hydrant(s) and assure compatibility. All Hydrant drains shall be permanently plugged, or a non-draining hydrant shall be installed. All Hydrants shall be set back a minimum of three (3) feet from paved surfaces. In addition, whenever a traffic hazard appears to exist (in the opinion of the Public Works Department), the hydrant shall be protected by curbing and/or post-stanchions.
- Curb boxes shall be Buffalo type with telescoping top and bolt-on caps.

Stormwater Management Summary

Impervious Surface Summary

Existing: 6,230 SF (0.143 acre)

Proposed: 10,935 SF (0.251 acre)

Peak Flow Summary Table

Storm Event	Existing Peak Discharge (CFS) (Combined Site Discharge, All POIs)	Treatment Target (Qp-1)*	Proposed Conditions Qp (all POIs)	Flow Reduction
1 Year (1.9")	0.44	0.22	0.10	77.3%
10 Year (3.2")	0.75	NA	0.53	29.3%

*Treatment Target = Match Qp-1 from site as if 50% existing impervious converted to meadow.

Conformance with CSO Offset Policy:

The Burlington DPW CSO Offset Policy requires treatment for 0.5 SF existing impervious per 1.0 GPD of proposed WW flow. Project WW demand = 5,460 GPD. Therefore 5,460 GPD * 0.5 SF/GPD = 2,730 SF of existing surfaces require treatment. Within Main Plant CSO-shed, treatment priority is detention of peak flow during Q-1 event.

Summary of Treatment for Existing Surfaces:

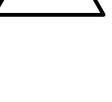
Existing Impervious Surface: 6,230 SF

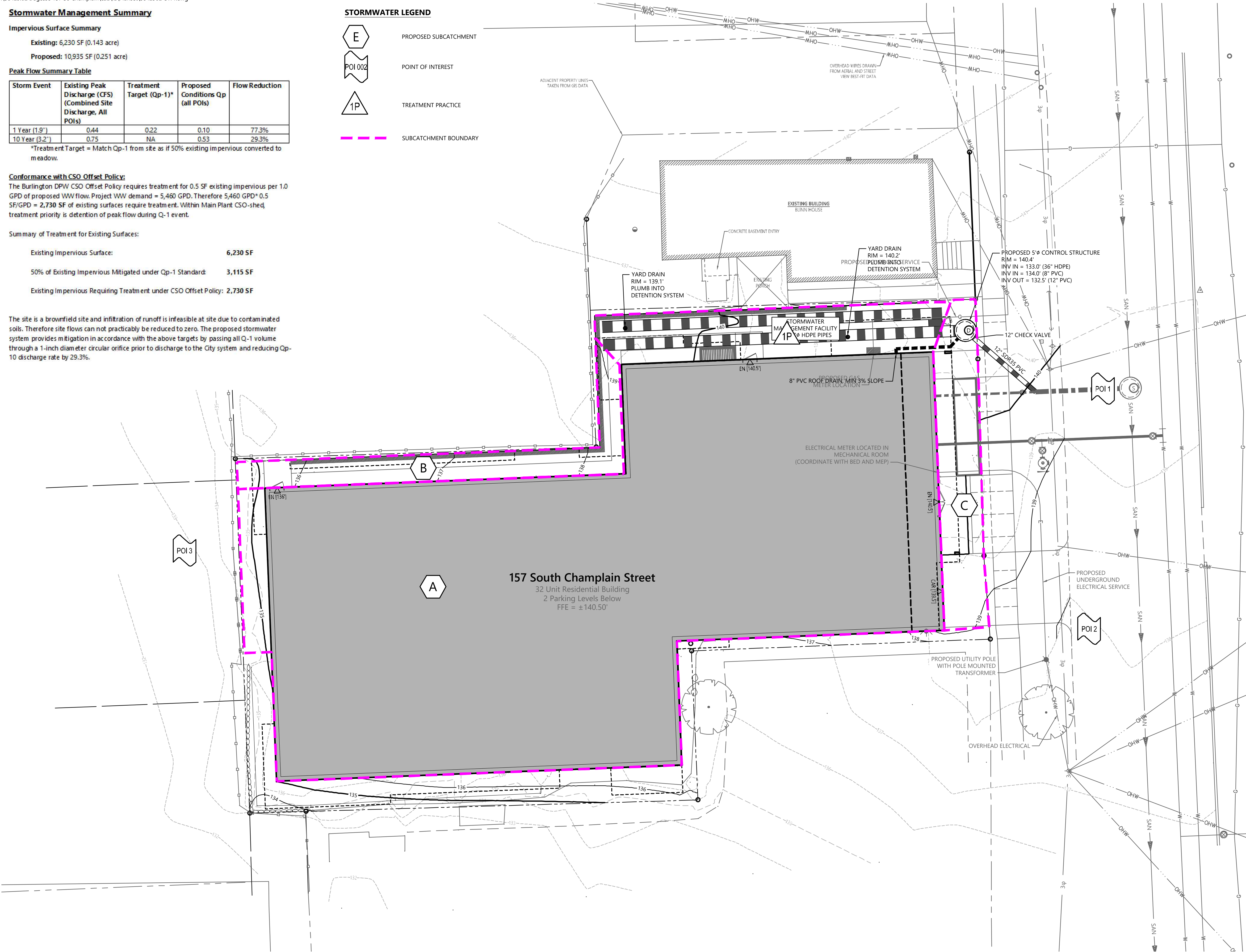
50% of Existing Impervious Mitigated under Qp-1 Standard: 3,115 SF

Existing Impervious Requiring Treatment under CSO Offset Policy: 2,730 SF

The site is a brownfield site and infiltration of runoff is infeasible at site due to contaminated soils. Therefore site flows can not practicably be reduced to zero. The proposed stormwater system provides mitigation in accordance with the above targets by passing all Q-1 volume through a 1-inch diameter circular orifice prior to discharge to the City system and reducing Qp-10 discharge rate by 29.3%.

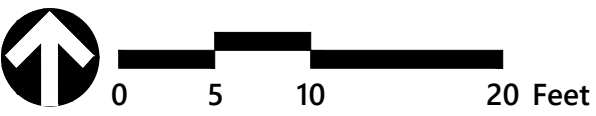
STORMWATER LEGEND

-  PROPOSED SUBCATCHMENT
-  POINT OF INTEREST
-  TREATMENT PRACTICE
-  SUBCATCHMENT BOUNDARY





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Dagesse Company

157 South Champlain Street
Burlington, VT 05401

No.	Revision	Date	Apprd.

Designed by	RWN	Checked by	PS
Issued for		Date	Mar. 19, 2021

Local Review

Not For Construction

Drawing Title

Proposed Stormwater Management Plan

Drawing Number

SW1

Sheet 1 of 2

Project Number
58429.02

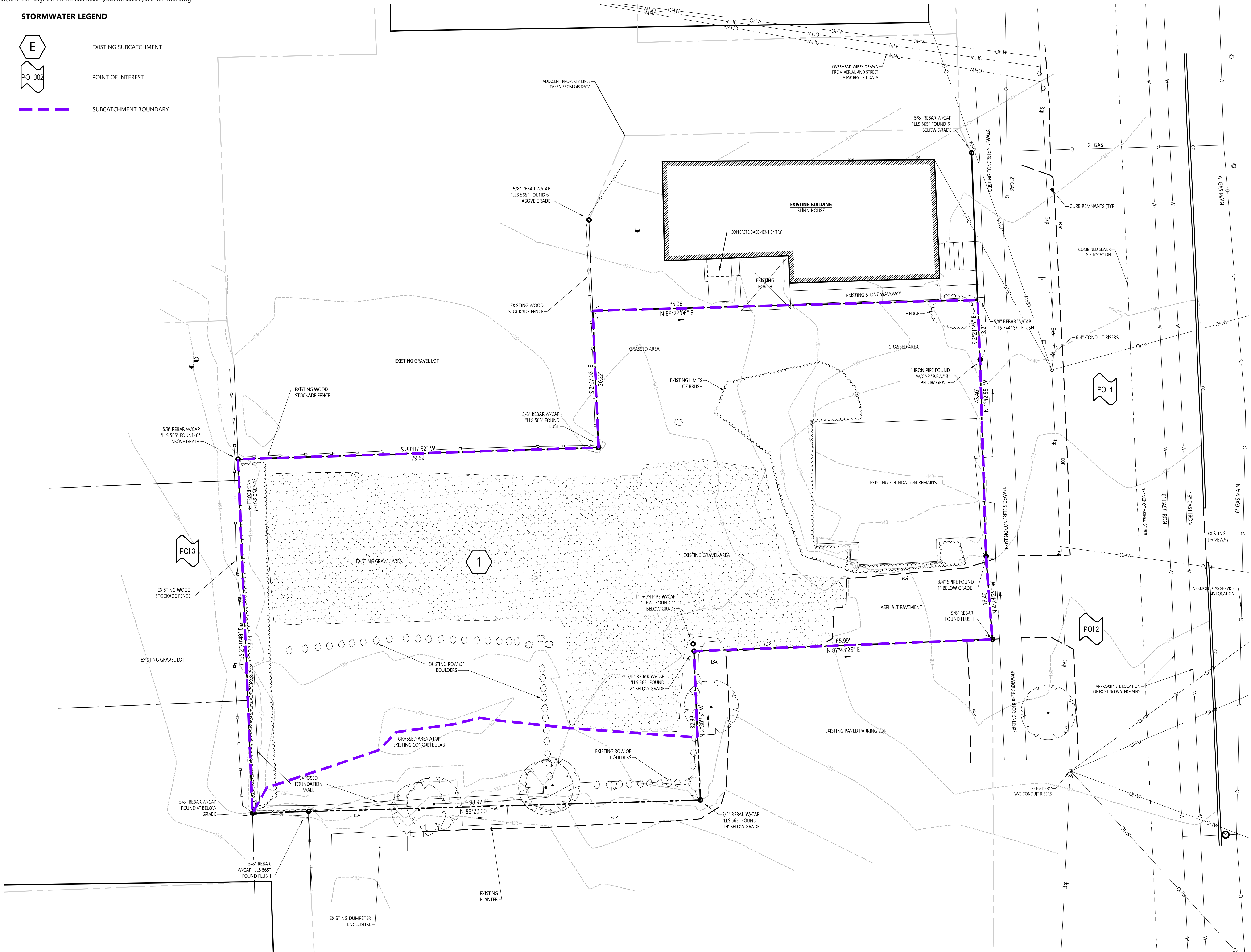
STORMWATER LEGEND



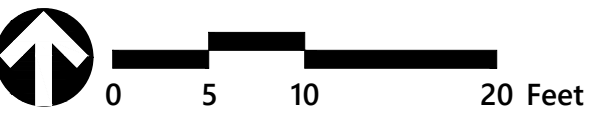
EXISTING SUBCATCHMENT

POINT OF INTEREST

SUBCATCHMENT BOUNDARY



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Burlington, VT 05401

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RWN

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Local Review

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Drawing Title

Existing Conditions Stormwater Plan

Drawing Number

SW2

Sheet 2 of

Project Number
58429.02

Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Layne Darfler, Planning Technician
Alison Davis, Zoning Clerk
Theodore Miles, Zoning Specialist
Charlene Orton, DPI Administrator



MEMORANDUM

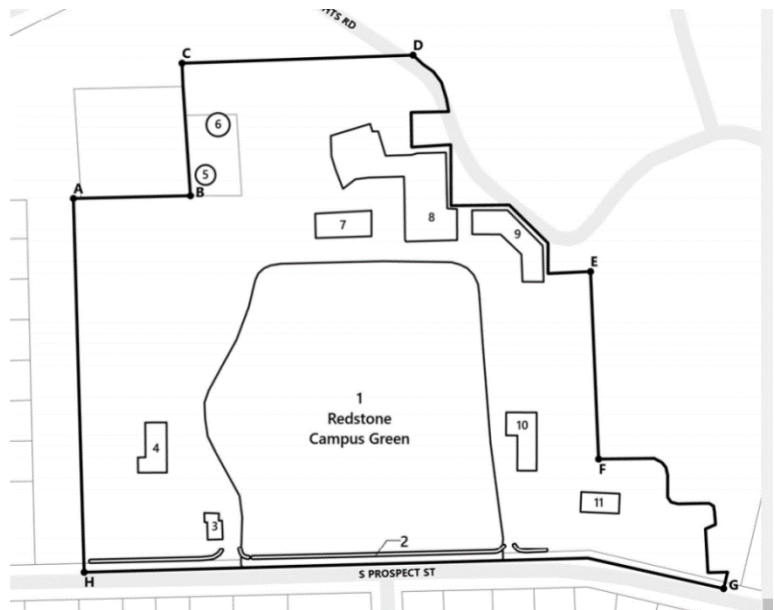
To: The Design Advisory Board/Historic Preservation Review Committee
From: Mary O'Neil, AICP, Principal Planner
RE: Redstone Historic District, technical corrections
Date: May 11, 2021

On March 22, 2021 the City of Burlington received a notice that the Vermont Advisory Council would be reviewing additional documentation for the Redstone Historic District, which was listed in the National Register of Historic Places in 1991. Unfortunately, those materials were not shared with our office, and staff notified them April 19, 2021 of the omission, requesting the Vermont Advisory Council for Historic Preservation (VACHP) remove this item from their April 22, 2021 agenda. The Vermont Division then sent a weblink to the materials for CLG review; and agreed to notify the Advisory Council that CLG comments would be forthcoming.

All materials are now posted on the "Pending NRHP Actions" webpage: <https://accd.vermont.gov/historic-preservation/identifying-resources/nrhp/pending>. You can view and download everything from the "Pending NRHP Actions" webpage, under **Redstone Historic District (Additional Documentation), University of Vermont, Burlington, VT**.

The most substantial changes to the documentation in this current nomination versus the 1991 nomination are as follows: the inclusion of Redstone Green (#1) as a contributing site; the treatment of the Music Recital Hall as an addition to Mabel Louise Southwick Hall (#8) rather than as separate resources; and the change in status from non-contributing to contributing for two buildings within the district that were not yet 50 years old when the previous nomination was written: Grace Goodhue Coolidge Hall (#9) and Blundell House (#4).

Because this is an update to an existing NR nomination with no boundary changes, it's considered by NPS to be a "technical correction" and not an actual nomination. The Vermont Division for Historic Preservation welcomes feedback from the CLG commission on the updated



materials. The VDHP asserts having our review occur prior to the VACHP meeting is not essential since it's not a new nomination. There are frequently minor edits that the Division makes to the materials before they are sent off to National Park Service (NPS) for final review, so it will be easy to incorporate comments/suggestions from the Historic Preservation Review Committee.

The Final CLG Report will be forwarded to the Vermont Division for Historic Preservation after review by the HPRC and signature of the Mayor.

Mary O'Neil

From: Colman, Devin <Devin.Colman@vermont.gov>
Sent: Friday, April 30, 2021 2:02 PM
To: Mary O'Neil
Cc: Trieschmann, Laura
Subject: Good news!

[WARNING]: This email was sent from someone outside of the City of Burlington.

Hi Mary,

We were contacted by Champlain College today about their outstanding Act 250 permit requirement to provide funds to update the Battery Street Historic District National Register nomination:

66. The MOU requires the Applicants to fund an updated survey of the Battery Street Historic District and National Register inventory amendment to National Register nomination. The project entails a reconnaissance survey in order to collect architectural data and digital photographs to meet the current standards of the Division and the National Park Service. The Applicants will provide up to \$16,500 to fund this updated survey.

The updated documentation will serve to replace the 1977 nomination, 1984 amendment, and 2014 amendment with a single, comprehensive document prepared to today's NR standards. I'm not sure what project timeline is yet, but once we know more we'll coordinate with you on the next steps in the process. We'll oversee the hiring and contracting of the consultant, but your input will be valuable in terms of public outreach and review of the final product. It will be great to have updated and comprehensive documentation of this core area of the city.

Thanks,
Devin

Devin A. Colman | State Architectural Historian
Vermont Division for Historic Preservation
1 National Life Dr, Davis Bldg, 6th Floor | Montpelier, VT 05620-0501
NEW PHONE NUMBER: 802-585-8246
acd.vermont.gov/historic-preservation
devin.colman@vermont.gov

Tell us how we are doing, please take our State Plan Survey: https://www.surveymonkey.com/r/VDHP_StatePlan

COTS
278 Main Street
Burlington, VT 05401

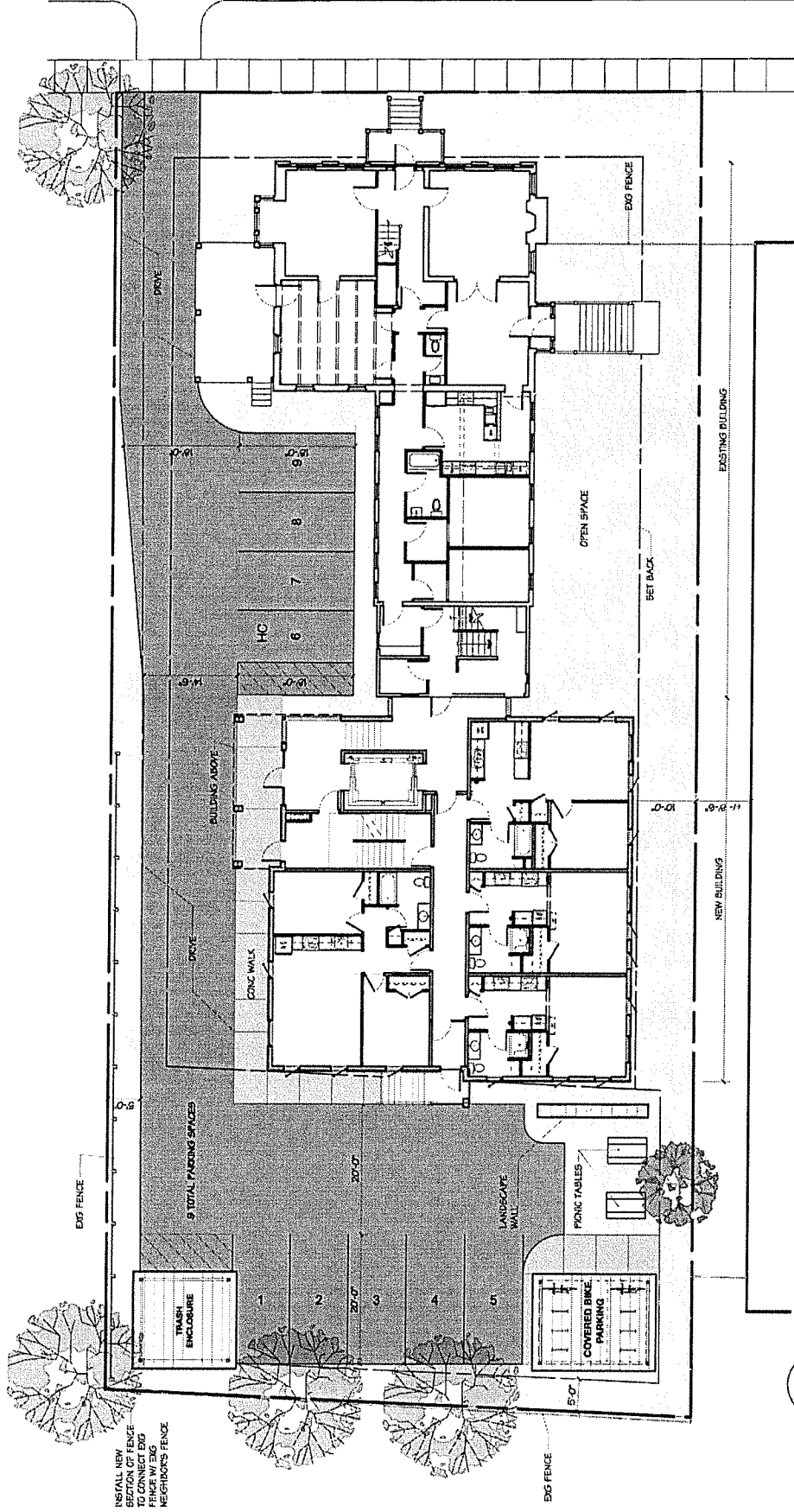
February 23, 2021

ZONING SUMMARY

Existing Uses	Existing shelter for ten homeless families, one room/family, shared bathing, cooking, rooms. This use has been permitted as a Community House, and thus counts as one for density purposes. Total area of existing building: 5,600 SF
Zoning District	Residential High Density (RH); max density is 40 units/acre, maximum lot coverage is 80%. Density increased to 46 units/acre and 92% lot coverage upon compliance with 15% inclusionary zoning requirement.
Primary Permitted Uses	Appendix A allows, among others, residential (duplex, multi-family, assisted living, boarding house (up to 4), Group Home, etc. See Appendix A, Use Table for full list.
Primary Conditional Uses	With CU approval: Emergency Shelter, boarding house (5 or more). See Appendix A, Table for full list.
Lot Size	18,015 SF (.414 acres) as surveyed. Frontage: 90' +/-; Depth: (198' East, 202' West)
Inclusionary Zoning	Applicable when creation of 5 or more units. When applied, IZ increases density in RH to 46 units/acre, and lot coverage to 92%.
Density	Residential density @ 40 units/acre: Lot size 18,015 SF ($18,015 \text{ SF} / 43,560 \text{ SF} = .414 \text{ a}$) $.414 \text{ a} \times 40 = 16.56$ units; 16.56 rounds up to 17 units less one existing = 16 new units. Residential density @ 46 units/acre: Lot size approx. 18,200 SF ($18,200 \text{ SF} / 43,560 \text{ SF} = .418 \text{ a}$) $.418 \text{ a} \times 46 = 19.23$ units; therefore, total allowable number of units is 19.23 rounded down to 19, less one existing = 18 new units. Proposal is for 16 new units.
Lot Coverage	80% increased to 92% w/IZ.
Setbacks	Front: avg of two adjacent lots on both sides, +/- 5'; side: 10% of width, minimum 5' maximum 20'; rear: 25% of lot depth, minimum 20', maximum 75'. Front setback is existing.
Height	Max 35'; however, the Table in Section 9.1.12 allows for an increase in height of 12' with a minimum increase of 5% of units complying with IZ. This increase is easily exceeded by the program intent of the project, which is that all units will meet IZ requirements.
Proposed use	New multi-family units in an addition to the existing building (Community House) on its north end.
Parking requirements	Section 8.1.6 Affordable Housing and Historic Buildings Exemption: <i>Regardless of location, the Minimum Off-Street Parking Requirements found under Section 8.1.8 below shall not apply to any of the following:</i> <i>(a) The creation of permanently affordable inclusionary housing units satisfying the applicable provisions of Article 9 Part 1 - Inclusionary Housing (see Sec. 9.1.10 Income Eligibility and Sec. 9.1.11 Calculating Rents and Selling Prices);</i>

Conclusions

The existing site can be developed to include as much as **18** new housing units; the coverage can be increased to 92%; the allowable building height is increased to **47'** 12"). There are no minimum parking requirements.



1 SITE PLAN

Scale: 1/16" = 1'-0"

278 MAIN STREET
BURLINGTON, VERMONT

Duncan
Wisniewski
ARCHITECTURE

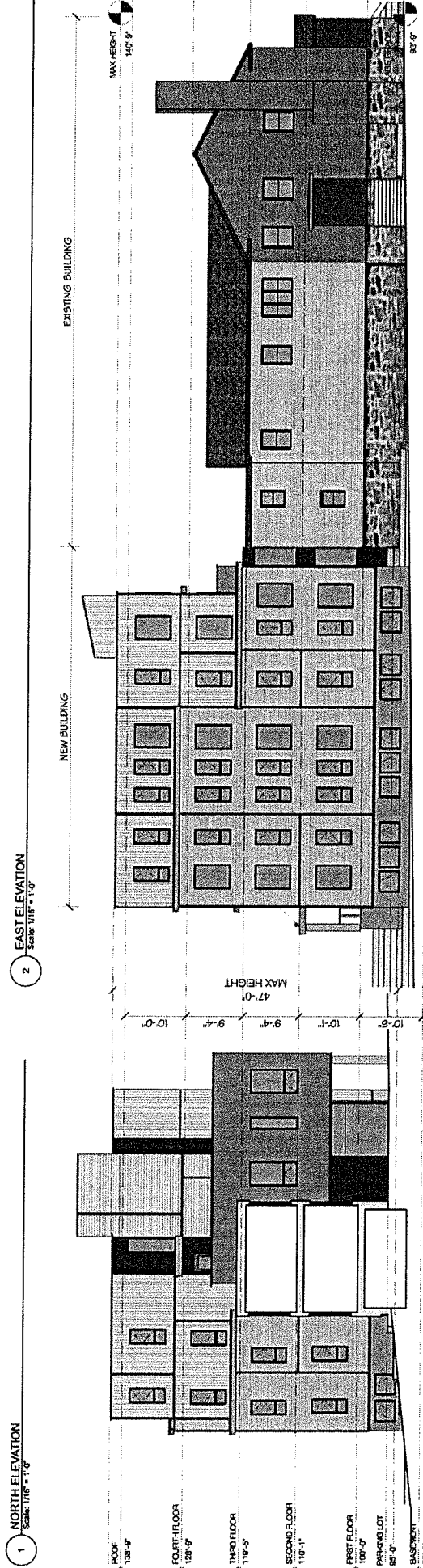
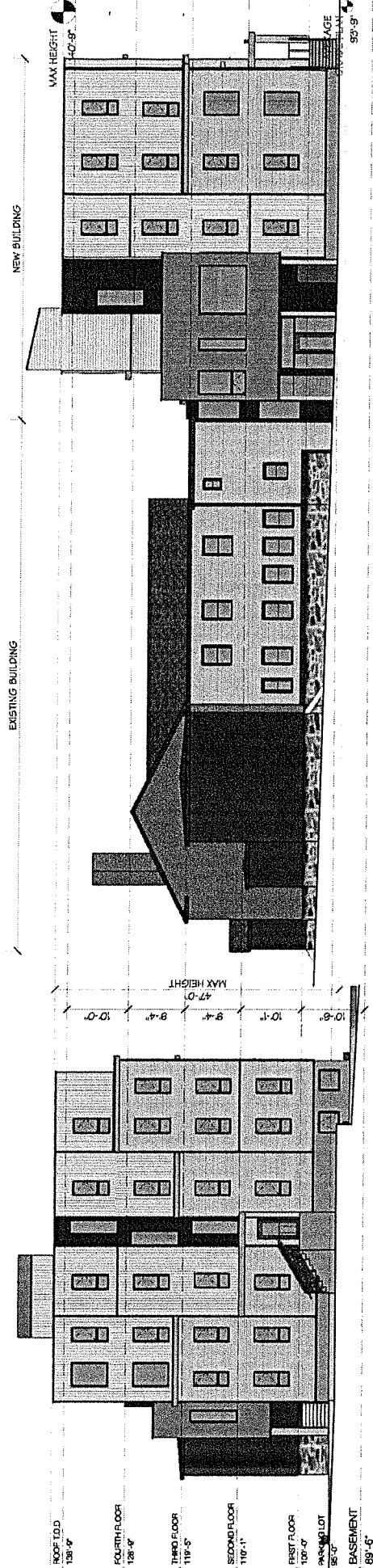
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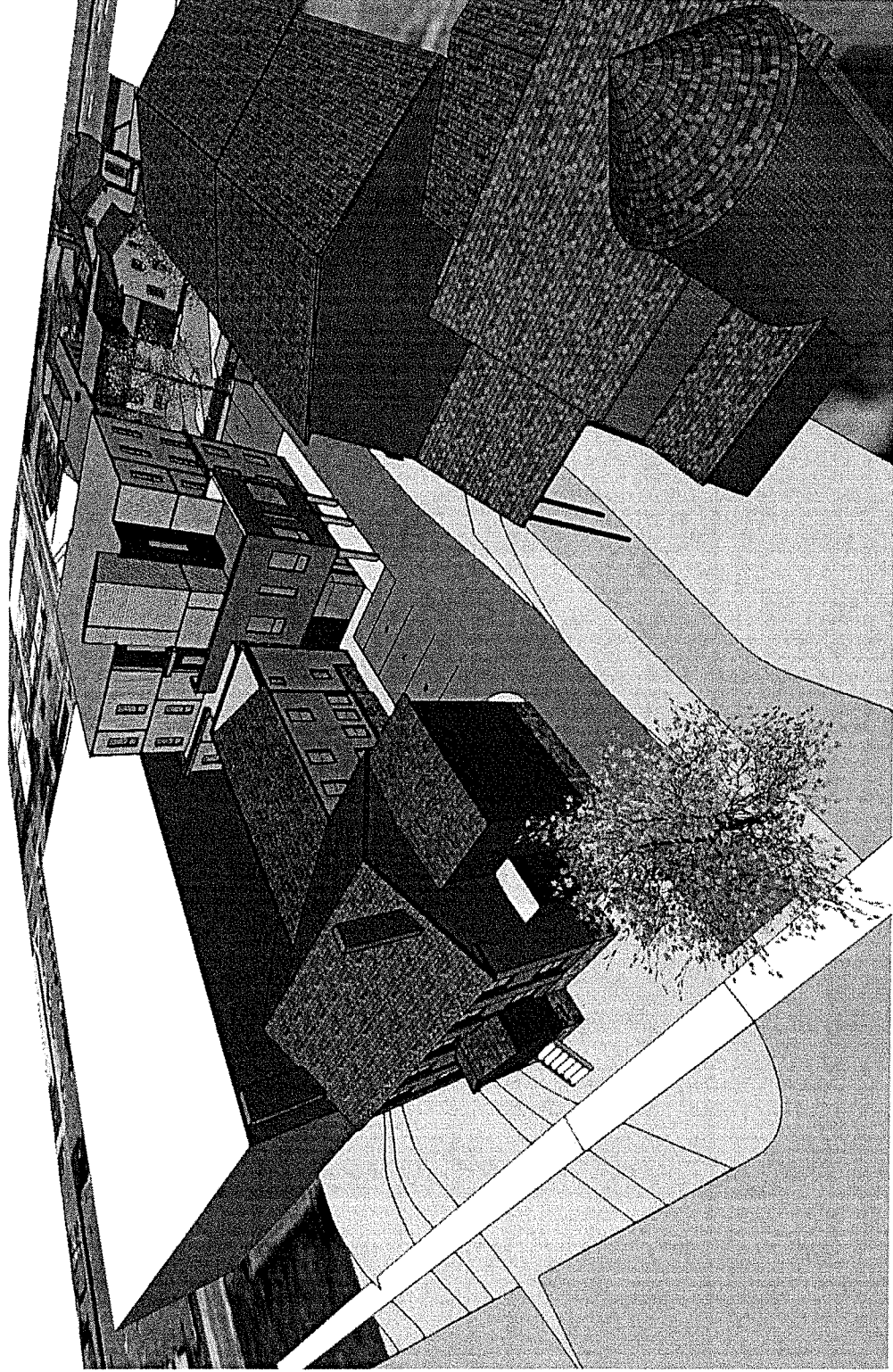
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1

255 SOUTH CHAMPAIN STREET
BURLINGTON, VERMONT 05401
P: 802.654.4693



278 MAIN STREET
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VIEW LOOKING NORTH WEST FROM ABOVE

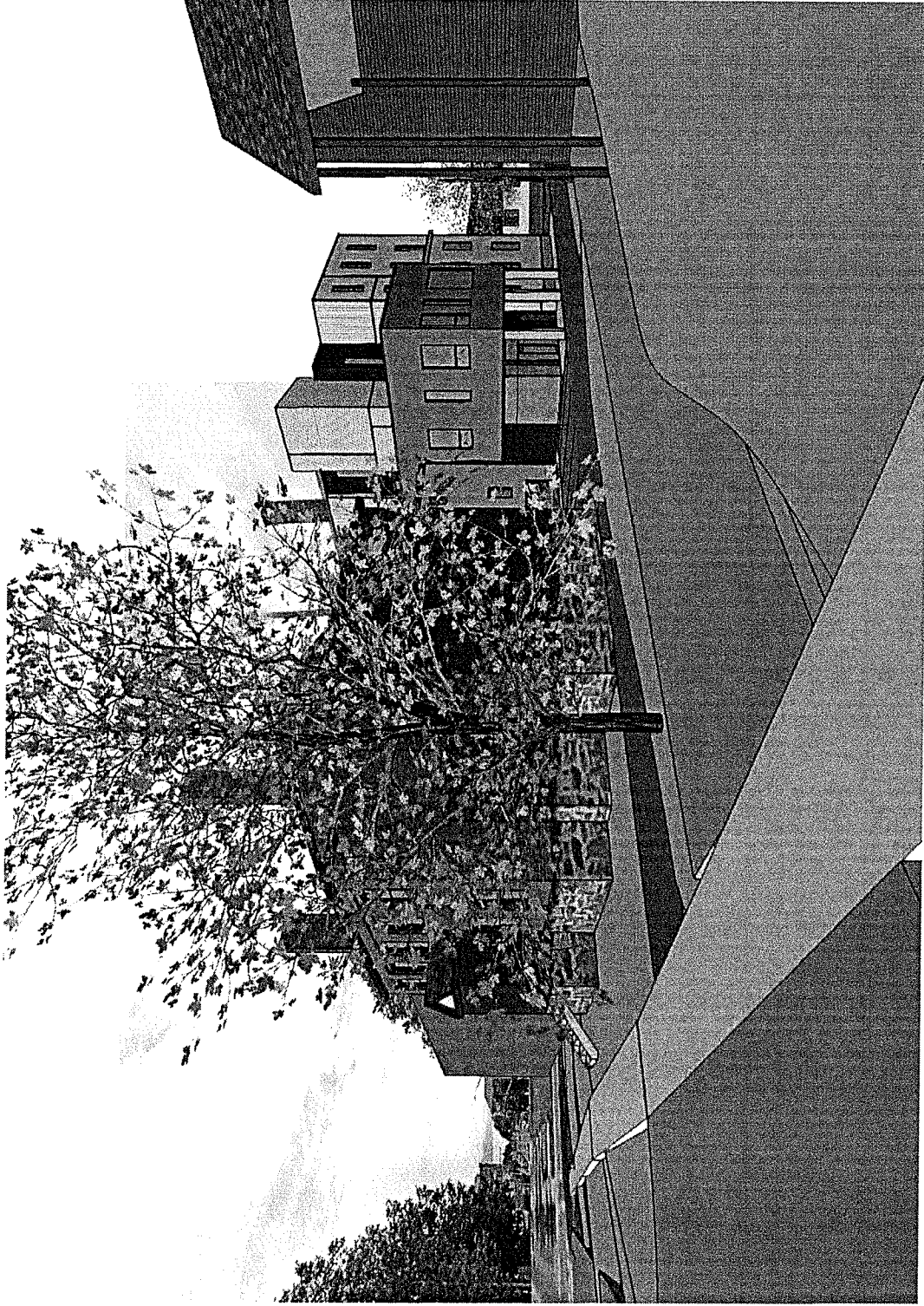
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BURLINGTON, VERMONT 05401
TEL: 862.664.6209

SCHEMATIC DESIGN

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VIEW LOOKING NORTH WEST FROM SIDEWALK

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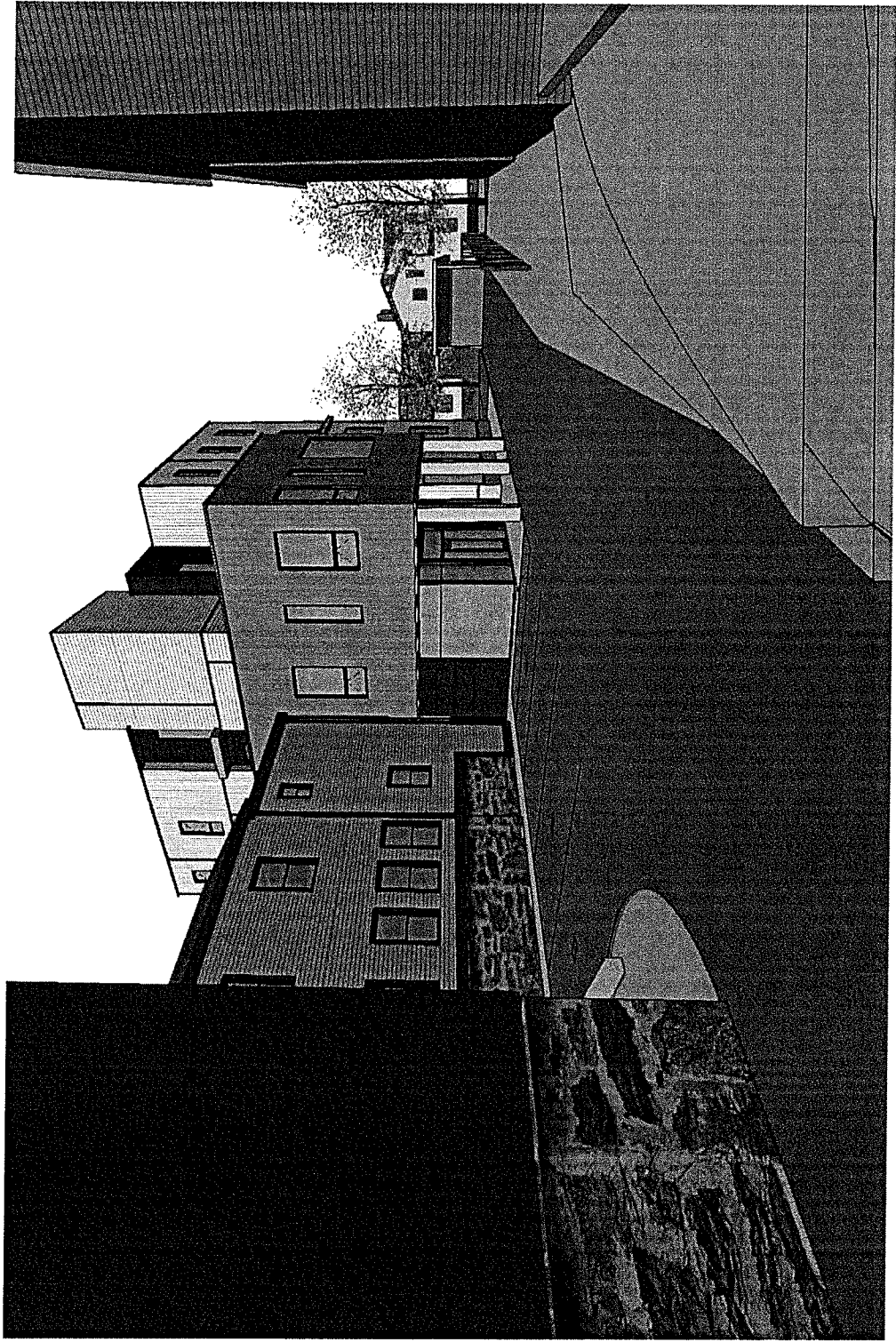
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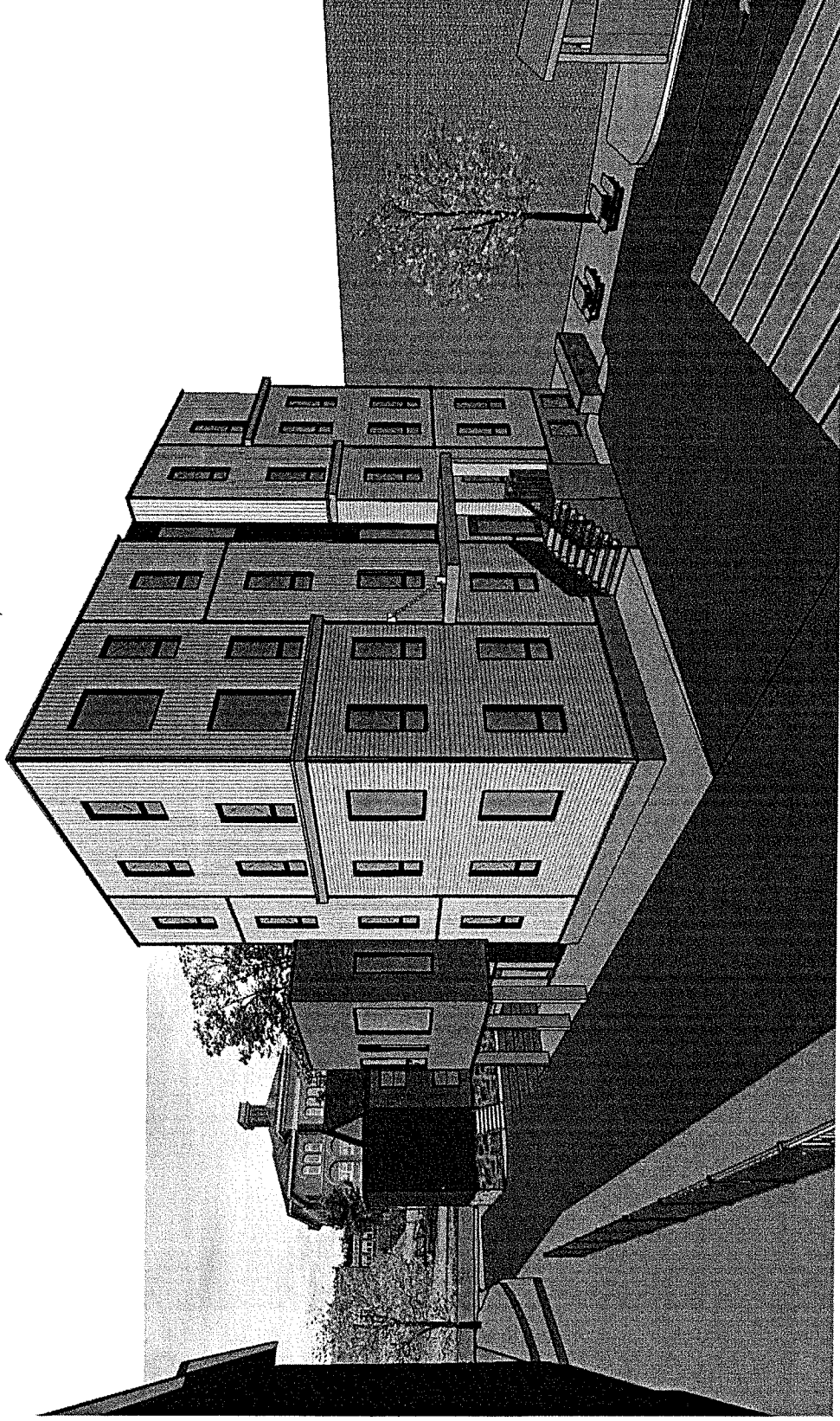
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VIEW LOOKING NORTH WEST

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VIEW LOOKING SOUTH-WEST

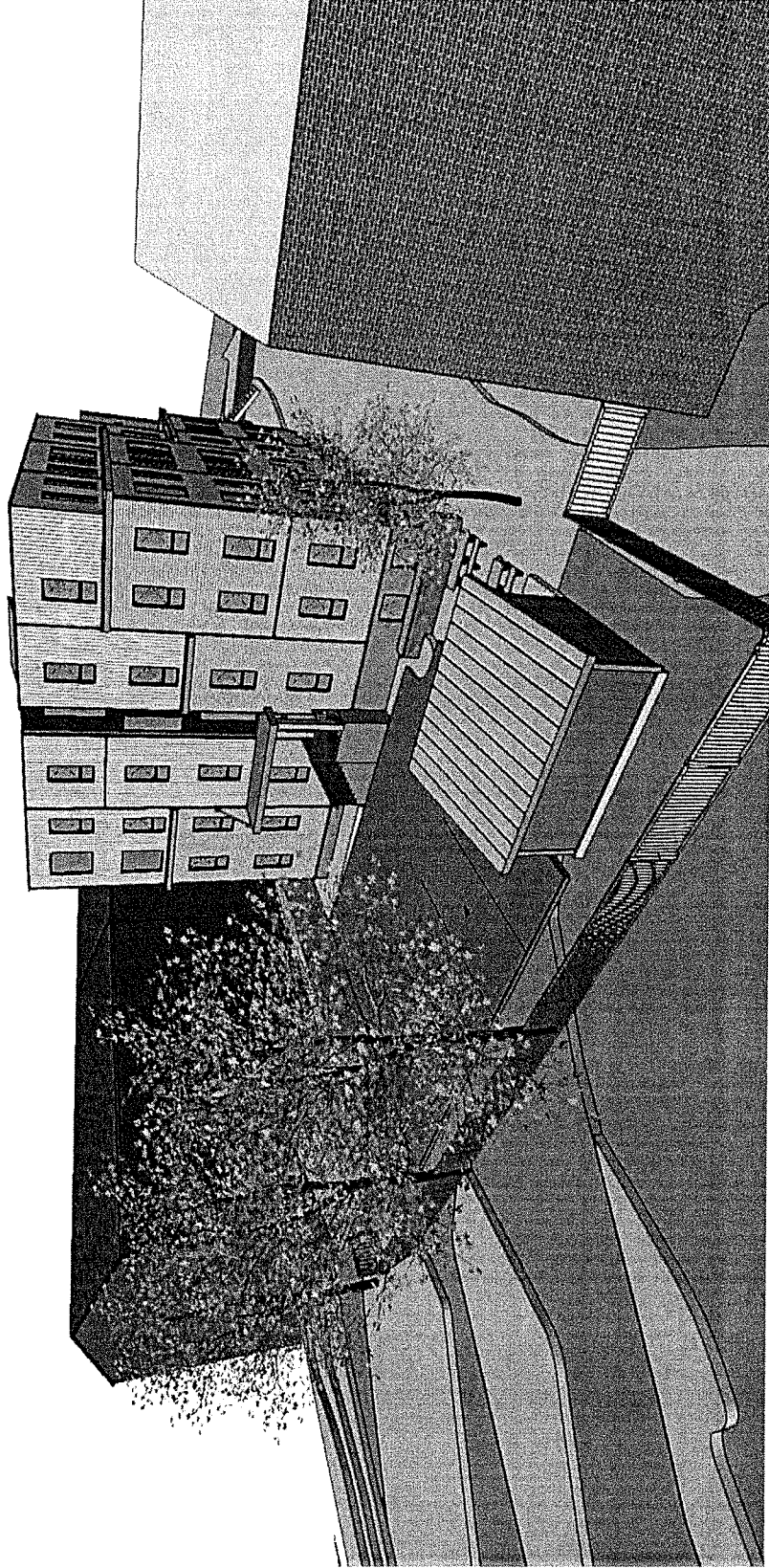
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VIEW LOOKING SOUTH EAST

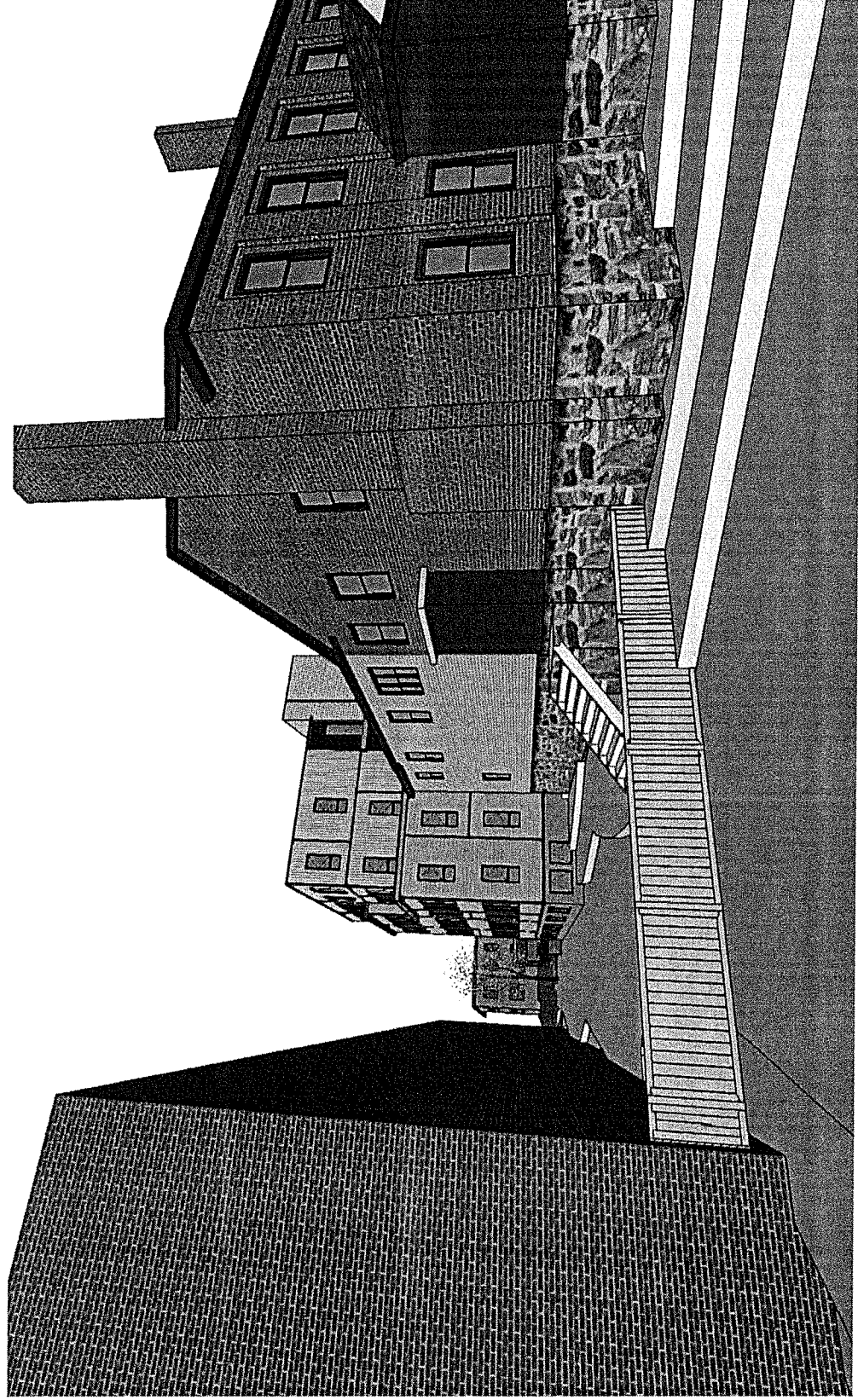
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DISPOSABLE ARCHITECTURE
A LIVING PRACTICE

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VIEW LOOKING NORTH FROM SIDE WALK

278 MAIN STREET

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ARCHITECTURE

DATE: 04.23.2017

278 SOUTH CHURCH STREET
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Department of Permitting & Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
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William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Layne Darfler, Planning Technician
Alison Davis, Zoning Clerk
Ted Miles, Zoning Specialist
Charlene Orton, Permitting & Inspections Administrator



MEMORANDUM

To: The Design Advisory Board
From: Ryan Morrison, Associate Planner
RE: ZP21-0963SP, 278 Main Street (Sketch Plan)
Date: May 11, 2021

File: ZP21-0963SP
Location: 278 Main Street
Zone: RH **Ward:** 8E
Parking District: Multimodal Mixed Use
Date application accepted: April 28, 2021
Applicant/ Owner: Duncan Wisniewski Architecture / Committee on Temporary Shelter
Request: A new, 16-unit multifamily building addition to the existing 10-family community house.

Background:

-  **Zoning Permit 92-030;** demolish porch and construct a new 2-story porch (side). July 1991.
-  **Zoning Permit 03-057;** enclose two screened-in porches, adding stairs and modifying the parking area. August 2002.
-  **Zoning Permit 05-585FC;** extend existing wood fence. May 2005.
-  **Zoning Permit 15-1223CA;** replace wooden siding with fiber cement board siding. June 2015.

Overview:

The Committee of Temporary Housing proposes a new, 4-story building addition at the rear of the existing community house. The new addition will add 16 new multifamily units to the existing community house (10 families). The proposal also includes reconfiguring the parking area, a new trash enclosure, and covered bicycle parking.

Part 1: Land Division Design Standards

No land division is proposed.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

The property has a gentle east-west downslope. No changes are proposed that will significantly alter the topography. The street frontage is developed with the existing building and landscaping, and the proposal will occur behind the existing building.

(b) Topographical Alterations:

The parking configuration will be altered to make room for the new building. Parking will locate in two areas (with appropriate driveway access): four spaces along the east wall of the existing building (rear portion) and 5 spaces behind the proposed building addition.

(c) Protection of Important Public Views:

There are no protected views from or through this site.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

Not applicable. While the existing building at the front of the property is listed on both the National (College and Main Street Historic District) and State Historic Registries, no alterations to it are proposed.

(e) Supporting the Use of Renewable Energy Resources:

No part of the application will preclude future utilization of wind, geothermal, water or other renewable sources of energy. The plans do not include any reference to renewable energy resources to be used. The applicant should take this into consideration and provide additional information if it is to be included.

(f) Brownfield Sites:

This site is not listed on the Vermont DEC list of identified Brownfields.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

The application will trigger the need for an Erosion Prevention and Sediment Control plan, as well as a stormwater plan, to satisfy the requirements of Chapter 26 of Burlington Code of Ordinances. Written approval from the City Stormwater program will be a requirement of the zoning permit.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

Based on the plans, it appears that there will be internal access to the new building addition from within the existing building. In addition, two ground level doors on the east wall of the addition will be covered by a portion of the second story. An entry at the rear will have a canopy cover as well.

With the proposed development area, there appears to be little room onsite for snow storage, aside from the 5-foot setback areas of the driveway and parking areas. The applicant will need to address this for the future zoning permit.

(h) Building Location and Orientation:

The new addition is proposed to the rear of the existing building. No changes to the existing streetscape are proposed.

(i) Vehicular Access:

The existing access off Main Street will continue to provide access to the property. The driveway will continue along the east property line to provide vehicular access to both parking areas and the trash enclosure.

(j) Pedestrian Access:

Pedestrian access to the existing building will remain as existing. There is a front entrance with a direct walkway to the Main Street sidewalk. There are no walkways identified on the plan that will allow for direct, unobstructed outdoor pedestrian access to the rear addition. It is conceivable that pedestrian access to the rear addition could avoid walking along the driveway by going through the existing building.

Aside from direct pedestrian access from the sidewalk, the plans do show a walkway along the east wall of the existing building's rear section, as well as along the east and north walls of the proposed addition.

(k) Accessibility for the Handicapped:

One handicap parking space will be provided per the site plan. The building inspector has jurisdiction over ADA requirements. By his direction and per Chapter 8 of the Burlington Code of Ordinances, handicap access must be addressed.

(l) Parking and Circulation:

Circulation within the site is clear: one driveway along the east property line to provide access to the two separate parking areas. The property is within the Multimodal Mixed-Use Parking District, which eliminates any parking requirements. The proposal includes, however, two separate parking areas for a total of 9 onsite parking spaces. As required by Sec. 8.1.16 *Transportation Management Plan*, the applicant will be required to provide a Transportation Demand Management (TDM) plan for review since the proposal includes more than 10 new dwelling units, and possibly more than 15,000 sf of new gross floor area. Each of the elements identified under this section will need to be addressed in the plan.

(m) Landscaping and Fences:

The plans do not indicate any new landscaping. Since the development will occur at the rear of the property additional landscaping isn't needed to enhance the streetscape. There is a 4 ft tall (approx.) picket fence between the existing building and the west property line (running parallel with Main Street) that will remain. Additional fencing runs along the rear half of the east property line, as well as along the rear (north) property line. The proposal includes continuing one of the existing fences to the neighbor's fence in the northeast corner. The applicant should be aware that this permit will only allow new fencing to be permitted strictly on the subject property. If any portion of this new fencing is to occur on the neighboring property, a separate zoning permit, filed for that neighboring property, will be required.

(n) Public Plazas and Open Space:

The site plan identifies open space along the west side. It is assumed that this area will be open to use for tenants of the property. To the rear of the new addition, picnic tables are identified for tenant use as well.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

The plans submitted do not reference any exterior lighting. The applicant will need to update the elevation drawings to show where exterior light fixtures will locate, and provide manufacturer's spec sheets of the fixtures to be used. Compliance with the lighting standards of Sec. 5.5.2 will be required.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be place underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

The plans show a trash enclosure in the northeast corner of the lot. No other references are made for utilities, mailboxes, etc. The applicant will need to revise the plans to include utilities and amenities such as electric meters, mechanical units, infrastructure connections (water, sewer, gas) mailboxes, etc. If existing utilities/infrastructure will be used, please provide documentation as such. Additionally, a letter from the Department of Public Works will be required to confirm that there is adequate water and sewer capacity for the proposal. A state stormwater permit will also be required.

Part 3: Architectural Design Standards
Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. *Massing, Height and Scale:*

The proposed 4-story rear addition will exceed the mass, height and scale of the existing building at the front of the property, as well as neighboring structures. However, with its location at the rear of the property, it won't be dominant along the street frontage. Neighboring buildings along this stretch of Main Street range in height from 2 to 3 stories. The scale of development is similar to nearby properties – specifically, the abutting property to the east contains a three-story multifamily building. And the property beyond that to the east contains a multifamily development as well. Given the underlying zoning (Residential High Density), the proposal fits within the intent of the zone.

Additionally, the development will utilize inclusionary housing benefits with regard to building height, and possibly lot coverage. The applicant's narrative states that all units within the addition will meet inclusionary zoning requirements. Lot coverage can go up to 92%, and building height can reach 47 ft, as long as the requirements of Article 9 – *Inclusionary and Replacement Housing* are met. The applicant will need to provide confirmation of the total number of units that will be reserved for inclusionary housing.

2. *Roofs and Rooflines*

The new, multi-level building addition will have flat roofs throughout. One exception to that is the elevator tower, which will have a sloped roof. In accordance with Sec. 5.2.6 (b) CDO, elevator towers are permitted to exceed maximum height limitations. Buildings within the immediate area have a variety of roof types, but more specifically, the large office building on the abutting property to the west has a flat roof. The roof/roofline of the proposed building addition will not create an anomaly in the neighborhood.

3. *Building Openings*

The elevation drawings show a variety of window types, with fixed, awning and casement windows throughout. With the exception of the elevator tower, there aren't any blank walls. Three first level access doors are provided (east and north side), and there appears to be a door on the south wall that will provide access to a portion of the second floor's rooftop.

(b) Protection of Important Architectural Resources:

Not applicable.

(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

Not applicable. No changes to the street edge are proposed. The existing building will remain as-is, and landscaping in front will remain.

(e) Quality of materials:

The application does not reference any building materials. The applicant should provide this information for the upcoming sketch plan review with the Development Review Board (June 1, 2021). As part of any future zoning permit application, the applicant must also provide a list and spec sheets for the proposed materials (siding, roofing, windows, doors, lighting, etc.). Generally, for new construction, a variety of materials is acceptable and are encouraged to be highly durable.

(f) Reduce energy utilization:

No reference to energy reduction utilization is included. The applicant should take into consideration the utilization of best available technologies and materials in order to maximum an energy efficient design.

(g) Make advertising features complementary to the site:

Not applicable. No signage is proposed. A separate sign permit will be required for any future signage.

(h) Integrate infrastructure into the building design:

The application does not include any reference to infrastructure. For the upcoming DRB sketch plan review and future zoning permit application, the applicant should include the location of all new mechanical units and infrastructure, mailbox location(s), etc.

(i) Make spaces secure and safe:

It is assumed that the entrances to the new addition will be illuminated with compliant lighting. There are three ground floor covered entries/exits proposed that will aid in building evacuation should the need arise. As usual, the new building addition will have to meet life safety requirements of the building code. Additionally, circulation to allow emergency vehicle access as well as first responder entrances with a stretcher-sized elevator will need to be addressed. Many of these items will be addressed at the Technical Review Committee, which among various departments and agencies, includes building inspector and fire marshal review.

Items for the applicant to consider in moving forward:

- Provide specifics on how Article 9 – *Inclusionary and Replacement Housing* applies to the proposed development: the percentage of inclusionary units; building height, density, lot coverage, etc.
- Regarding the uses and the number of units in each. The narrative notes that the existing use is a Community House for ten families, and goes on to suggest a multifamily use and/or emergency shelter. Break down each use and how many units/families there will be.
- Provide a list of materials to be used, along with manufacturer's spec sheets for the following: all windows, doors, light fixtures, siding, roofing, mechanical units, fencing, etc.
- Identify the following on the site plan and elevation drawings: mechanical units, light fixtures, mailbox location(s), snow storage areas, utility connections, etc.
- Confirm the rear setback – based on a lot depth of approx. 200 ft, the minimum rear setback is approx. 50 ft.

- The bicycle parking structure cannot exceed 15 ft in height given its proximity to the lot lines.
- A Transportation Demand Management plan will be required, per Sec. 8.1.16 CDO.
- A separate fence permit will be required if any portion of the fence extension is located on the abutting property, filed by that property owner.
- A letter from the Department of Public Works will be required to confirm that there is adequate water and sewer capacity for the proposal. A state stormwater permit will also be required.

Burlington Design Advisory Board

Department of Permitting and Inspections

645 Pine Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/DPI/Boards/Design-Advisory-Board/>

Telephone: (802) 865-7188

Eric Morrow, Chair
Matt Bushey, Vice Chair
Ron Wanamaker
Karyn Norwood
Emily Morse
Jay White, Alternate
Kathleen Ryan, Alternate



DESIGN ADVISORY BOARD

**Tuesday May 11, 2021
Remote Meeting via Zoom**

Present: Eric Morrow, Matt Bushey, Jay White.

Absent: Ron Wanamaker, Karyn Norwood, Kathleen Ryan, Emily Morse.

Staff present: Mary O'Neil, Ryan Morrison

1. 21-0799CA; 157 South Champlain Street (FD5, Ward 3C) 157 South Champlain Street, LLC

New five-story building with 32 new residential units

Present: Nathan Dagesse, Don Welch, Peter Smiar (VHS), Kurt Muller (VHB), John Light.

Motion by Jay White: I move we recommend approval of the request for the additional height, and have the applicant explore lowering the parapet.

2nd – Matthew Bushey

Vote 3-0.

Motion carries.

Session II – 3:30 PM – 4:00 PM

2. 21-0963SP; 278 Main Street (RH, Ward 8E) COTS, and Duncan Wisniewski Architecture

Sketch plan review: 16-unit addition.

Present: Bob Duncan, Arthur Chukhman (Duncan Wisniewski Architecture), Jonathan Farrell.

As this is a Sketch Plan Review, no action is taken.

Session III – 4:00 PM – 4:30 PM

3. Historic Preservation Review Committee Meeting

Redstone Historic District technical corrections.

Two members are absent. This review will be rescheduled.

Meeting adjourned 4:40 pm.

