

Burlington Development Review Board

149 Church Street, City Hall
Burlington, VT 05401

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Jim Drummond, (Alternate)
Robert Purvee, (Alternate)



BURLINGTON DEVELOPMENT REVIEW BOARD Tuesday June 6, 2017, 5:00 PM PUBLIC HEARING NOTICE

The Burlington Development Review Board will hold a meeting on
Tuesday June 6, 2017 at 5:00pm in Contois Auditorium, City Hall.

- 1. 17-0081DT; 135 Hayward Street (RL, Ward 5S) Andrew and Daniel Rowan**
Request to extend retention of a nonconforming triplex status past 1 year, related to previous determination and appeal. (Project Manager, Scott Gustin)
- 2. 17-1047CA/CU; 158 South Willard Street (I, Ward 6S) Phi Gamma Delta Housing Corp.**
Change in use from Fraternity to Dormitory. No change to the number of beds. No change to exterior of building. (Project Manager, Mary O'Neil)
- 3. 15-0888CU; 404 College Street (RH, Ward 1E) Dunlap Riehle**
Time extension request for zoning permit establishing a single residential unit and boarding house. (Project Manager, Scott Gustin)

Plans may be viewed in the Planning and Zoning Office, (City Hall, 149 Church Street, Burlington), between the hours of 8:00 a.m. and 4:30 p.m.

Participation in the DRB proceeding is a prerequisite to the right to take any subsequent appeal. Please note that ANYTHING submitted to the Planning and Zoning office is considered public and cannot be kept confidential.

This may not be the final order in which items will be heard. Please view final Agenda, at www.burlingtonvt.gov/pz/drbb/agendas or the office notice board, one week before the hearing for the order in which items will be heard.

The programs and services of the City of Burlington are accessible to people with disabilities. Individuals who require special arrangements to participate are encouraged to contact the Department of Planning & Zoning at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188 (TTY users: 865-7142).

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BURLINGTON DEVELOPMENT REVIEW BOARD Tuesday, June 6, 2017, 5:00 PM Contois Auditorium, City Hall, 149 Church St, Burlington, VT AGENDA

- I. Agenda**
- II. Communications**
- III. Minutes**
- IV. Consent**
 - 1. 17-0081DT; 135 Hayward Street (RL, Ward 5S) Andrew and Daniel Rowan**
Request to extend retention of nonconforming triplex status past 1 year related to previous determination and appeal. (Project Manager, Scott Gustin)
 - 2. 15-0888CU; 404 College Street (RH, Ward 1E) Dunlap Riehle**
Time extension request for zoning permit establishing a single residential unit and boarding house. (Project Manager, Scott Gustin)
- V. Public Hearing**
 - 1. 17-1047CA/CU; 158 South Willard (I, Ward 6S) Phi Gamma Delta Housing Corp.**
Change in use from Fraternity to Dormitory. No change to the number of beds. No change to exterior of building. (Project Manager, Mary O'Neil)
 - 2. 17-0825CA/MA; 85 North Avenue (RL, Ward 3C) Catamount/Lakeview LLC**
Continued review for construction of a 43-unit residential building with associated parking and site improvements. (Project Manager, Scott Gustin)
- VI. Other Business**
- VII. Adjournment**

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Department of Planning and Zoning

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Layne Darfler, Planning Technician
Anita Wade, Zoning Clerk



MEMORANDUM

To: Development Review Board
From: Mary O'Neil, AICP, Principal Planner
Date: June 6, 2017
RE: ZP17-1947CU; 158 South Willard Street

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP17-1047CU

Location: 158 South Willard Street

Zone: Institutional **Ward:** 6S

Date application accepted: May 1, 2017

Applicant/ Owner: Champlain College, Inc. / Phi Gamma Delta Housing Corp

Request: Change of use from Fraternity to Dormitory. No change in number of beds, occupancy, parking, or exterior of building.

Background:

- Zoning Permit 08-822CA; Add handicap ramp. Repair of windows, soffit/trim and moulding damage. Repair rear porch columns, repair front porch and 2nd floor porch. Repair to downspouts, gutters and roof. Limited slate repair/replacement. All materials to match existing. June, 2008.

Overview: The issuance of a multi-year suspension to fraternity Phi Gamma Delta ("Fiji") has introduced an opportunity for Champlain College to repurpose the building as a student dormitory. Residency by a similar population is proposed; however, the Comprehensive Development Ordinance articulates a difference between "fraternity/sorority" and "dormitory" as specific uses; therefore, requiring conditional use review by the DRB (Footnote 5; Appendix A.) Only interior alterations are proposed to prepare the building for occupancy. Similar to a previously approved decision for 371 Main Street, the conversion from fraternity to dormitory will continue the same number of beds (30), occupancy, and parking. The College will extend its property management oversight to the facility for the duration of the lease agreement, which is anticipated as 5 years.

Recommendation: **Consent approval**, per the following findings and conditions:

I. Findings

Article 3: Applications, Permits and Project Reviews

Sec. 3.5.6 Review Criteria

(a) Conditional Use Review Standards:

Approval shall be granted only if the DRB, after public notice and public hearing, determines that the proposed conditional use and associated development shall not result in an undue adverse effect on each of the following general standards:

1. *Existing or planned public utilities, facilities or services are capable of supporting the proposed use in addition to the existing uses in the area;*

The proposed use as a student dormitory will serve a similar population with the same number of occupants. No additional demand on public utilities, facilities or services are anticipated. **Affirmative finding.**

2. *The character of the area affected as defined by the purpose or purposes of the zoning district(s) within which the project is located, and specifically stated policies and standards of the municipal development plan;*

The parcel is within the Institutional Zoning District, intended to “support continued growth and flexibility of the city’s major educational and health care institutions within their respective institutional missions.” **Affirmative finding.**

3. *The proposed use will not have nuisance impacts from noise, odor, dust, heat, and vibrations greater than typically generated by other permitted uses in the same zoning district;*

The assured oversight from the lessee as part of their property management of residential facilities promises increased supervision, response, and remediation should any nuisance activities occur. Odor, dust, heat and vibration are not anticipated as likely impacts. The submission narrative includes the intent to have an on-site resident supervisor, which is consistent with other college residences for this institution.

Affirmative finding as conditioned.

4. *The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street designations and capacity; level of service and other performance measures; access to arterial roadways; connectivity; transit availability; parking and access; impacts on pedestrian, bicycle and transit circulation; safety for all modes; and adequate transportation demand management strategies;*

Champlain College has a sophisticated and finely articulated transportation plan, adopted as part of the Joint Institutional Parking Management Plan (JIPMP.) Those efforts for supervision and compliance will be extended to this parcel. The submitted narrative defines the consistent requirement for student vehicles to be registered with the college and parked at their remote lot on Lakeside Avenue. Students would then utilize Champlain’s transportation shuttles.

The property remains centrally located, existing access available from Main Street and within a developed street network that includes pedestrian and bicycle paths.

Although the lease is anticipated to be for five years, Champlain College shall include this facility as appropriate in scheduled revisions to their submission for the institutional transportation/parking plan. **Affirmative finding as conditioned.**

and,

5. *The utilization of renewable energy resources;*

The requested change-of-use will not preclude the inclusion of any renewable energy resources. **Affirmative finding**

and,

6. *Any standards or factors set forth in existing City bylaws and city and state ordinances.*

None identified. It is the applicant's obligation to secure any additional permits (from state or federal offices) as required. **Affirmative finding as conditioned.**

(C) Conditions of Approval:

In addition to imposing conditions of approval necessary to satisfy the General Standards specified in (a) or (b) above, the DRB may also impose additional conditions of approval relative to any of the following:

1. *Mitigation measures, including but not limited to screening, landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area.*

As no parking or exterior changes are proposed, no mitigation measures are warranted. **Affirmative finding.**

2. *Time limits for construction.*

No exterior alterations are proposed. Interior work will be subject to trades permits, under the regulation of the Department of Public Works. **Affirmative finding as conditioned.**

3. *Hours of operation and/or construction to reduce the impacts on surrounding properties.*

No exterior construction is proposed. Hours of operation are not applicable to residential uses. **Not applicable.**

4. *That any future enlargement or alteration of the use return for review to the DRB to permit the specifying of new conditions;*

Any request to expand the use will require review under the regulations in effect at the time of application. **Affirmative finding as conditioned.**

and,

5. *Such additional reasonable performance standards, conditions and safeguards, as it may deem necessary to implement the purposes of this chapter and the zoning regulations.*

This remains at the discretion of the Development Review Board.

Article 4: Maps and Districts

Sec. 4.4.4 Institutional District

Per Appendix A of the Comprehensive Development Ordinance, dormitory use is a Conditional use in the Institutional zone. Footnote #5 states:

An existing fraternity, sorority, or other institutional use may be converted to dormitory use subject to conditional use approval by the DRB.

See Article 3, Section 3.5.2, above.

Article 8: Parking

In the Shared Use parking district, the parking requirement is the same for dormitory and fraternity (1 parking space is required for every 2 beds.) As the occupancy is not proposed to change, the parking requirement remains the same. The submission narrative, however, states that “the existing on-site parking spaces will not be used by student residents living at the property. Consistent with College policy, any student having a vehicle must register it with the College, and the vehicle must be parked at our remote lot on Lakeside Avenue.”

Affirmative finding.

II. Conditions of Approval

1. Parking management will be subject to the current requirements and oversight as currently exercised by Champlain College for its properties.
2. The property will be managed per current policies of Champlain College and exercised in the same manner as all existing Champlain College dormitories.
3. Champlain College shall include, as appropriate, this facility in any scheduled revisions to the Joint Institutional Parking Management Plan within the lease period.
4. Any signage will require a separate permit, and will be subject to conditions approved under Master Sign Plan ZP 12-0763MP.
5. Any change or expansion of the Conditional use will require separate review and approval by the Development Review Board under regulations in effect at the time of application.
6. Standard Permit Conditions 1-15.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.

CHAMPLAIN COLLEGE

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1 May 2017

Ms. Mary O'Neil, Principal Planner
Department of Planning and Zoning
City Hall – 14 Church Street
Burlington, VT 05401

RECEIVED

MAY 01 2017

DEPARTMENT OF
PLANNING & ZONING

RE: 158 South Willard Street
Change of Use Zoning Request

Dear Mary:

As a follow up to recent conversations about the above-referenced property, please accept this correspondence and back-up documentation materials as a former request by Champlain College for a *Change-of-Use* zoning permit from the DRB. Supplemental information include:

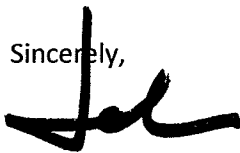
- Completed Zoning Application form and required fee; and
- Photographs of the building exterior.

As we discussed, the College is negotiating with the Owners of the Property (Phi Gamma Delta Housing Corp) on a 5-year lease agreement that would allow Champlain to occupy the building as a "Dormitory" as conditionally permitted under the Code. At the end of the 5-year lease agreement, it is our understanding the Owner will apply for a Change of Use zoning permit to re-establish the current "Fraternity" use, also conditionally permitted under the code. No exterior changes to the building are contemplated in this permit application.

Regarding residential capacity of the building, it is Champlain's intention not to exceed the thirty (30)-bed maximum the Owners have maintained over the years. In addition, Champlain will staff the Property with live-in Resident Advisor(s) consistent with all of our institutional housing, regardless of whether the housing facility is location on, or off, campus. Finally, the existing on-site parking spaces will not be used by student residents living at the Property. Consistent with College policy, any student having a vehicle must register it with the College, and the vehicle must be parked at our remote lot on Lakeside Avenue.

Thank you for your assistance in processing this application. If you have any questions or require additional information, please advise.

Sincerely,



John Caulo

Associate President: Campus Planning and Auxiliary Services

cc. Peter DeGraff, Phi Gamma Delta Housing Corp



5/1/2017

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TO: Development Review Board
FROM: Scott Gustin
DATE: June 6, 2017
RE: 17-0825CA/MA; 85 North Avenue

=====

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Zone: NMU Ward: 3C

Owner/Applicant: Catamount/Lakeview, LLC

Request: Construction of a 43-unit residential building with associated parking and site improvements

Applicable Regulations:

Article 3 (Applications, Permits, and Project Reviews), Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Review Standards), Article 8 (Parking), Article 9 (Inclusionary & Replacement Housing)

Background Information:

The applicant is seeking approval to construct a 43-unit residential structure with associated parking and site improvements. The parcel presently consists of a parking lot at the bottom of Lakeview Terrace and a vegetated bluff with steep slopes to the south and west. As proposed, the building would be set atop the hillside at the western edge of the present parking area. Parking will be provided on the first level with apartments above. Associated surface parking and site improvements would be located generally to the east of the proposed building.

This project underwent sketch plan review with the Design Advisory Board on November 24, 2015 and with the Development Review Board on December 1, 2015. At the time, the project was larger with 56 apartments, and the building was to be set into the hillside. It is now 43 apartments, and very little earthwork is now proposed. Where the slope falls away to the west, the building will be held up by columns rather than set into the grade. Sketch plan comments were generally favorable as to the building design. Suggestion was made to increase the usable space around the building, particularly along its primary frontage. Recommendation was also made to improve access to the public sidewalk and the street.

The Conservation Board reviewed this application on March 6, 2017. The Board was 1 member short of a quorum. Those members present voted 4-0-0 to recommend approval of the project and made the following comment relative to stormwater offsets to reduce impacts on the combined sewer system: Those board members present prefer the stormwater offset option to send stormwater to an infiltration gallery at edge of Battery Park. In working with the city's

Stormwater Program staff, an alternative offset location – at the dead end of Front Street – is more likely. There is concern with disturbing historical grave sites at the Battery Park location.

The Design Advisory Board reviewed this project March 28, 2017. The Board voted 5-0-0 to recommend approval of the project with the following conditions:

1. Add crosswalk at the end of Lakeview Terrace.
2. Add architectural screening on the southwest of the parking level. Screening shall block lighting from cars and be complementary to the building. It shall focus heavily on the lower half of the opening, with the purpose of screening view of the cars from the waterfront.
3. Sidewalk (circling building on south of site) shall terminate at the easement line, not to extend past the parking area and crossing easement.
4. Increase caliper of trees within the crescent shaped island to 5-6” caliper.

Following DAB review, revised plans were submitted to incorporate their recommendations.

The Development Review Board initially reviewed this application May 2, 2017. A number of concerns were introduced during the public hearing. The DRB continued the public hearing to allow the applicants time to address the following items:

- Landscaping of disturbed areas
- Provide site section
- Depict existing & proposed contours
- Address traffic, including expected traffic generation on Lakeview Tr, and left turns onto North Avenue
- Onsite circulation within parking areas
- Loading & delivery areas
- DPW’s view on a sidewalk connection to Depot St
- DPW’s plans for Depot St
- How the project fits with the intent of the NMU zone
- Sufficiency of parking and anticipated parking spill onto Lakeview Tr
- Location of the dumpster
- Management of dogs

Additional and revised application materials have been submitted to address most of the foregoing items.

Previous zoning actions for this property are noted below.

- 12/1/15, Sketch plan review of 56-unit residential building
- 12/12/12, Zoning determination as to unpermitted 1991 subdivision

Recommendation: Certificate of Appropriateness & Major Impact approval, as per, and subject to, the following findings and conditions below:

I. Findings

Article 3: Applications and Reviews

Part 5, Conditional Use & Major Impact Review:

Section 3.5.6 (a) Conditional Use Review Standards (as adopted by City Council 8.10.2015.)

Approval shall be granted only if the DRB, after public notice and public hearing, determines that the proposed conditional use and associated development shall not result in an undue adverse effect on each of the following general standards:

1. *Existing or planned public utilities, facilities or services are capable of supporting the proposed use in addition to the existing uses in the area;*

The proposed residential building will be served by the municipal water and wastewater systems. Adequate reserve capacity is available; however, written confirmation from the Department of Public Works is required before a state wastewater permit can be issued. **(Affirmative finding as conditioned)**

2. *The character of the area affected as defined by the purpose or purposes of the zoning district(s) within which the project is located, and specifically stated policies and standards of the municipal development plan;*

The subject property is part of the Neighborhood Mixed Use (NMU) zone that extends eastward up much of North Street and along North Winooski Avenue. This zone is intended primarily to preserve and enhance historically commercial areas while reinforcing the compact scale and development patterns of the city's older neighborhoods. Uses are intended to provide neighborhood oriented goods and services and employment opportunities within walking or biking distance of residential neighborhoods. The proposed development is exclusively residential but sits within close proximity to commercial uses within the NMU zone. Residents of the would-be building will live within easy walking distance of a variety commercial uses. The proposed residential structure fits within the scale and mixed use context of the NMU zone. **(Affirmative finding)**

3. *The proposed use will not have nuisance impacts from noise, odor, dust, heat, and vibrations greater than typically generated by other permitted uses in the same zoning district;*

The proposed construction is wholly residential. It is not expected to generate exceptional noise, odor, dust, heat, or vibrations. **(Affirmative finding)**

4. *The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street designations and capacity; level of service and other performance measures; access to arterial roadways; connectivity; transit availability; parking and access; impacts on pedestrian, bicycle and transit circulation; safety for all modes; and adequate transportation demand management strategies;*

A traffic analysis has been provided to forecast potential traffic impacts related to the development. Note that anticipated traffic volumes fall well short of the typical 75 PM peak hour trip end threshold for triggering a traffic study. Given the relatively low numbers, the traffic study is fairly basic, focusing only on anticipated trip ends and level of service (LOS) at one intersection: North St/North Ave/Depot St. Following the May 2, 2017 DRB review, an addendum to the original traffic study was provided (dated May 25, 2017).

Anticipated trip generation totals 172 daily vehicle trip ends. Of that total, 13 AM peak hour trip ends and 16 PM peak hour trip ends are anticipated. Note that these figures reflect a downward adjustment of 40% from ITE numbers. The Department of Public Works questioned this degree of adjustment and sought to review the numbers further with the traffic consultant. Public Works has since concluded this review and accepted the results of the traffic analysis.

LOS impacts at North Ave/North St/Depot St are minimal under the “build” scenario. Only overall LOS is noted. There is no analysis of individual turning movement LOS as is typically done. Given the modest anticipated impacts, analysis of individual turning movements has not been required by the Department of Public Works.

The newly submitted traffic addendum addresses Lakeview Terrace impacts as well as anticipated cut-through traffic. Newly generated traffic along Lakeview Terrace is expected to be minimal with 3 additional AM peak hour trips and 2 PM peak hour trips. Cut-through traffic (to/from Lakeview Terrace and North Avenue) is expected to be reduced from 2016 levels wherein the present COTS building was vacant and the related parking lot largely empty. The reconstructed parking lot, with striped spaces and raised islands is less conducive to cut-through traffic.

(Affirmative finding)

and,

5. *The utilization of renewable energy resources;*

No utilization of renewable energy resources is included in the project plans. Given the site’s significant southern exposure, conduit will be installed to enable future solar panel installation.

(Affirmative finding)

and,

6. *Any standards or factors set forth in existing City bylaws and city and state ordinances;*

No identified conflicts. Required building and/or life safety codes will be under the review of the building inspector. **(Affirmative finding)**

(b) Major Impact Review Standards

1. *Not result in undue water, air, or noise pollution;*

The proposed construction is not expected to result in undue water, air, or noise pollution. Stormwater is addressed under Sec. 5.5.3. **(Affirmative finding)**

2. *Have sufficient water available for its needs;*

See Sec. 3.5.6 (a) 1.

3. *Not unreasonably burden the city’s present or future water supply or distribution system;*

See Sec. 3.5.6 (a) 1.

4. *Not cause unreasonable soil erosion or reduction in the capacity of the land to hold water so that a dangerous or unhealthy condition may result;*

A comprehensive erosion prevention and sediment control plan is included in the application. It is subject to review and approval by the city’s Stormwater Program staff. **(Affirmative finding as conditioned)**

5. *Not cause unreasonable congestion or unsafe conditions on highways, streets, waterways, railways, bikeways, pedestrian pathways or other means of transportation, existing or proposed;* See Sec. 3.5.6 (a) 3 for traffic impacts. The project is not expected to cause exceptional congestion or unsafe conditions on nearby sidewalks, streets, bikeways or other means of transportation. Given the project's location, multiple forms of transportation will be readily available: pedestrian, bike, personal vehicle, and city bus. No one mode of transportation is expected to generate unreasonable impacts to existing infrastructure. **(Affirmative finding)**

6. *Not cause an unreasonable burden on the city's ability to provide educational services;* This new residential building may contain families with school age children; however, the unit mix is unlikely to generate significant numbers. Apartments will consist of 24 efficiency units, 9 one-bedroom units, and 10 two-bedroom units. Impact fees will be paid to help offset what impact there are on city schools. **(Affirmative finding as conditioned)**

7. *Not place an unreasonable burden on the city's ability to provide municipal services;* Project review by the Technical Review Committee took place December 10, 2015. Follow up written comments have been provided to the applicant. No departments asserted unreasonable burdens associated with this project. Impact fees will be paid to help offset what impacts there are on municipal services. **(Affirmative finding as conditioned)**

8. *Not have an undue adverse effect on rare, irreplaceable or significant natural areas, historic or archaeological sites, nor on the scenic or natural beauty of the area or any part of the city;* See Sec. 6.2.2 (a) & 6.3.2 (b).

9. *Not have an undue adverse effect on the city's present or future growth patterns nor on the city's fiscal ability to accommodate such growth, nor on the city's investment in public services and facilities;*

The proposed development will transform an underutilized site with just a surface parking lot into a significant residential structure with improved surface parking and circulation. The project will take place within a zoning district that enables development at a higher density than nearby residential zones. It will have no adverse impact on the city's present or future growth patterns. **(Affirmative finding)**

10. *Be in substantial conformance with the city's municipal development plan;* The project is consistent with a number of provisions within the MDP.

The proposed development is within an identified Neighborhood Activity Center, wherein new and higher density development is to be targeted (Land Use Policies, pg. I-2 & Neighborhood Activity Centers, pg. I-20).

The property is located at the western end of the North Street Commercial District. While not commercial in nature, the proposed development will provide 43 units of housing in close proximity to the diverse mix of uses within this district (North Street Commercial District, pg. I-21). The property is also contained within the Old North End Enterprise Community, an area of the city where redevelopment is actively promoted (Old North End Enterprise Community, pg. I-27).

The subject property is located in immediate proximity to a variety of transportation options, including the city's street network, sidewalks, bikeways, and bus routes (Stressing Other Modes of Travel, pg. V-12).

The new housing in this proposal will add to the city's housing stock and will do so in an area targeted for higher density development (City Policies, pg. IX-1). **(Affirmative finding)**

11. Not have an undue adverse impact on the present or projected housing needs of the city in terms of amount, type, affordability and location;

This project will bring about 43 units of new housing of varying unit size within an area targeted for redevelopment. It will have no adverse impact on the present or projected housing needs of the city. **(Affirmative finding)**

12. Not have an undue adverse impact on the present or projected park and recreation needs of the city.

Residents of the project will likely utilize the city's parks and recreation resources; however, impacts are expected to be moderate and typical of new residential development. Impact fees will be paid to help offset what impacts there are on park resources. **(Affirmative finding as conditioned)**

(c) Conditions of Approval:

In addition to imposing conditions of approval necessary to satisfy the General Standards specified in (a) or (b) above, the DRB may also impose additional conditions of approval relative to any of the following:

1. Mitigation measures, including but not limited to screening, landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area.

The proposed development is not expected to generate offsite noise or glare substantial enough to require mitigation. **(Affirmative finding)**

2. Time limits for construction.

The applicants propose to build the development in a single phase within the standard 2-year time frame. Therefore, no phasing schedule or special time limits on construction are needed.

(Affirmative finding)

3. Hours of operation and/or construction to reduce the impacts on surrounding properties.

Hours of operation do not pertain to the proposed residential development.

No days or hours of construction are noted in the application. Typical days and hours of construction within residential neighborhoods are Monday – Friday, 7:00 AM – 6:00 PM. Only interior construction on Saturdays, and no construction on Sundays. **(Affirmative finding as conditioned)**

4. That any future enlargement or alteration of the use return for review to the DRB to permit the specifying of new conditions; and,

Any future enlargement or alteration will be reviewed under the zoning regulations in effect at that time.

5. Such additional reasonable performance standards, conditions and safeguards, as it may deem necessary to implement the purposes of this chapter and the zoning regulations.

To be addressed in conditions of approval.

Article 4: Maps & Districts

Sec. 4.4.2, Neighborhood Mixed Use Districts:

(a) Purpose

(2) Neighborhood Mixed Use (NMU)

Question was raised as to the conformance of the proposed apartment building with the intent of the Neighborhood Mixed Use District. The NMU district is intended to preserve and enhance historically commercial areas while reinforcing the compact scale and development patterns within the city's older neighborhoods. Uses are intended to provide neighborhood oriented goods and services and employment opportunities within walking or biking distance of residential neighborhoods. Mixed use developments are specifically encouraged and enabled within this zone; however, they are not expressly required. As a result, this purely residential development is allowed in the NMU zone. In fact, the use "attached dwellings – multi-family" is permitted in this zone as outlined *Appendix A – Use Table – All Zoning Districts*. Only the project's size as a major impact development triggers conditional use review. As noted previously, residents of the would-be building will live within easy walking distance of a variety commercial uses. The proposed residential structure fits within the scale and mixed use context of the NMU zone. **(Affirmative finding)**

(b) Dimensional Standards & Density

FAR in the NMU zone is limited to 2.0. An additional 0.5 FAR is allowable in exchange for inclusionary housing (Table 9.1.13-1, *Density/Intensity Allowance Table*). As proposed, FAR will be 1.0.

Maximum standard lot coverage is 80% in the NMU zone. That maximum may be increased up to 92% for inclusionary housing per Table 9.1.13-2, *Lot Coverage Allowance Table*. As proposed, lot coverage will increase from 41% to 63%.

The subject property has two road frontages. It, therefore, contains two front yards and two side yards. There is no rear yard for the purposes of setback requirements. The proposed building complies with the 15' residential district setback and with the 12' curb line setback.

Within the NMU zone, the standard building height limit is 35', and the minimum is 20'. Buildings shall be at least 2 stories. With the required inclusionary housing, the maximum height may increase an additional 10' (Table 9.1.13-1, *Density/Intensity Allowance Table*). As proposed, the building is 40' tall to the midpoint of the sloped roof. **(Affirmative finding)**

(c) Permitted & Conditional Uses

Multifamily residential development is a permitted use in the NMU zone. **(Affirmative finding)**

(d) District Specific Regulations

Not applicable, except for inclusionary bonus as noted above.

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

See Sec. 4.4.2 (b).

Sec. 5.2.4, Buildable Area Calculation

See Sec. 4.4.2 (b).

Sec. 5.2.5, Setbacks

See Sec. 4.4.2 (b).

Sec. 5.2.6, Building Height Limits

See Sec. 4.4.2 (b).

Sec. 5.2.7, Density and Intensity of Development Calculations

See Sec. 4.4.2 (b).

Sec. 5.5.1, Nuisance Regulations

Nothing in the proposal appears to constitute a nuisance under this criterion. **(Affirmative finding)**

Sec. 5.5.2, Outdoor Lighting

Outdoor lighting information has been provided, including a photometric plan and fixture cutsheets. Acceptable illumination levels are depicted in all lighting environments. The outdoor fixtures themselves are acceptable cutoff fixtures. The fixture within the garage is not cutoff, nor does it need to be. Acceptable illumination levels are depicted within the garage. **(Affirmative finding)**

Sec. 5.5.3, Stormwater and Erosion Control

Present site conditions include no stormwater management. As proposed, stormwater runoff from the building's roof and associated parking area will be captured and directed into an onsite system for attenuation and infiltration into the ground. Overflow will be directed into the separate storm sewer. No stormwater from this project will enter the combined sewer system. Final review and approval by the city's Stormwater Program is required. **(Affirmative finding as conditioned)**

Article 6: Development Review Standards

Part 1, Land Division Design Standards

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

The site contains no significant natural areas as identified in the Open Space Protection Plan. The slope is vegetated with a variety of vegetation, including trees, shrubs, and ground cover. The project plans denote the proposed limits of clearing. **(Affirmative finding)**

(b) Topographical alterations

The existing surface parking lot is flat. The slope precipitously drops away to the south and west beyond the edges of the existing asphalt. Rather than alter the slope and set the building into it, the proposal calls for setting the building at grade along its primary façade and holding it up with

columns as the slope falls away to the south and west. As requested, site section drawings have been provided to demonstrate how the structure will sit on sloping parcel. In addition, a revised grading plan has been submitted. As before, little in the way of topographical alteration is depicted. The slope will remain largely as is. Stabilization measures in the form of geotextile fabric and rip rap will be installed underneath the proposed construction. **(Affirmative finding)**

(c) Protection of important public views

There are significant views from the project site across the lake and towards the Adirondacks. These views, however, are not part of any defined view corridor (such as those along Main, College, Pearl, and Cherry Streets) and are not protected under this criterion. **(Affirmative finding)**

(d) Protection of important cultural resources

The project site consists of a surface parking lot and steep slopes. The site has no known archaeological significance. It contains no archaeological site points, nor is it located within an archaeologically sensitive area. **(Affirmative finding)**

(e) Supporting the use of alternative energy

See Sec. 6.3.2 (f).

(f) Brownfield sites

The site is included on the Vermont DEC Hazardous Site List. Contaminants related to fill and dumping include asbestos, coal tar, lead, and PAH. A corrective action plan with VT DEC may be required prior to construction, although relatively little earthwork is proposed. The applicant should be prepared to address this criterion and status of a CAP, if applicable. **(Affirmative finding as conditioned)**

(g) Provide for nature's events

As noted above, the project will introduce new stormwater management measures to the site. Stormwater runoff will be captured and directed into an onsite system for attenuation and infiltration into the ground. Overflow will be directed into the separate storm sewer. No stormwater from this project will enter the combined sewer system.

Both pedestrian entryways are sheltered under projecting canopies. **(Affirmative finding)**

(h) Building location and orientation

The proposed building will take advantage of the expansive southerly and westerly views and will be set at the top of the bluff, set back from North Avenue. The Depot Street right-of-way effectively precludes setting the building up along North Avenue. As proposed, the building will continue the street edge set by existing homes along Lakeview Terrace. Two east-facing front entries reinforce the continuation of that established street edge. The front entries are clearly identifiable from the public street. **(Affirmative finding)**

(i) Vehicular access

Vehicles may access the site from Lakeview Terrace or from North Avenue. A single doorway affords access in and out of the garage. See Article 8 below for details as to parking and circulation dimensions. **(Affirmative finding)**

(j) Pedestrian access

The project includes a continuation of the sidewalk from Lakeview Terrace across the front of the proposed building. As such, it will be open to the public. As a privately owned site feature, it will be the owner's responsibility to ensure ongoing maintenance and accessibility. Board and public comment at the May 2, 2017 public hearing questioned the lack of sidewalk connectivity to North Avenue. Sloping grades and the Depot Street ROW preclude sidewalk connectivity as part of this project. The Department of Public Works has requested that the applicants provide a 30' right-of-way from the southeast corner of their parcel to the eastern face of the proposed building. Such ROW would facilitate construction of a public sidewalk in the future.

Both building entries will afford direct access onto the sidewalk. The associated crosswalk at the end of Lakeview Terrace, although on private property, should be installed only following review and approval by the Department of Public Works. **(Affirmative finding as conditioned)**

(k) Accessibility for the handicapped

Handicap parking spaces are depicted in the project plans. They are located within the garage adjacent to the lobby. It is the applicant's responsibility to comply with all applicable ADA requirements. **(Affirmative finding)**

(l) Parking and circulation

This criterion calls for placement of new buildings in front, or to the side, of parking areas. The idea is to avoid parking in front of structures. In this case, the parking lot is already in place. As noted previously, the Depot Street right-of-way effectively precludes construction of a building along North Avenue (with parking behind). As proposed, the building will be set towards the western end of the property and will continue the street edge established along Lakeview Terrace.

The existing surface parking area will be reconstructed and restriped. A center landscaping island will also be installed. As revamped surface parking associated with this project amounts to only 11 spaces, no shade trees are required. As proposed, however, 4 new shade trees will be installed in the new landscaping island. They will be 5" – 6" caliper at planting per the DAB's recommendation.

See Sec. 8.1.11 for parking and circulation dimensional requirements. **(Affirmative finding)**

(m) Landscaping and fences

A landscaping plan is included in the project plans. It depicts several new shade trees in the surface parking area as noted above. In addition, landscaping is concentrated along the eastern frontage of the new building and includes a variety of shrubs and flowering plants in addition to new grassy turf.

The trash area to the side of the new building will be screened with a wood slat enclosure. **(Affirmative finding)**

(n) Public plazas and open space

No public plazas or open space are included in this proposal.

(o) Outdoor lighting

See Sec. 5.5.2.

(p) Integrate infrastructure into the design

No new outdoor mechanical equipment is apparent in the site plan. A trash enclosure is set to the side of the proposed building at the northeastern end of the site. This location was identified as a concern at the May 2, 2017 public hearing because of adjacent homes. Its location remains unchanged. It is accessible by trash and recycling vehicles, and it will be screened with a gated, slatted wood enclosure. Any new utility lines must be buried. **(Affirmative finding as conditioned)**

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The proposed building is large, larger than the homes along Lakeview Terrace, but not dissimilar in scale to the newly renovated COTS building or the apartment building below Depot Street. The proposed structure incorporates distinct building elements defined by varying materials, planes, and sections. The slight “V” shape of the building further offsets the perceived mass of the structure. As depicted in perspective drawings from the southwest, the proposed building will be prominent atop the bluff. Height as perceived from North Avenue is unremarkable. The building is a full 3 stories with a partial 4th story set back from the front facade. A mechanical enclosure sits atop the 4th story. **(Affirmative finding)**

2. Roofs and Rooflines

The proposed building will include angular shed roofs and flat roof components. Flat and pitched roofs are common in the neighborhood. **(Affirmative finding)**

3. Building Openings

Fenestration is consistent throughout the building. It consists of boxy windows in various formations that repeat around the structure. The fenestration is consistent with the geometry of the proposed building. **(Affirmative finding)**

(b) Protection of important architectural resources

There are no structures onsite. Other structures nearby are historically significant. The proposed building is offset from these existing buildings and will have no direct impacts on their historic significance. **(Affirmative finding)**

(c) Protection of important public views

See 6.2.2 (c) above.

(d) Provide an active and inviting street edge

Lakeview Terrace ends at the northern end of the site. Depot Street and North Avenue lie to the east. The proposed development aims to continue the street edge from Lakeview Terrace out towards North Avenue. In doing so, it continues the Lakeview Terrace sidewalk across the front of the building. The building entries are well defined and connect directly to the sidewalk. The provision of street-level parking brings about a particular challenge to provide a lively, activated street presence. Street-level parking is fully screened as viewed from the front, and the Design Advisory Board determined that the street-level presence of the building was acceptable. **(Affirmative finding)**

(e) Quality of materials

Exterior building materials largely consist of a variety of metal and fiber cement sidings. Some building elements will be clad in cedar shingle siding. Windows will be fiberglass, and membrane roofing will be installed. As noted previously, screening for the dumpster and rooftop mechanicals will consist of wood slat material. Per the DAB's recommendation, slated screening will be installed around the periphery of the open-air parking garage. **(Affirmative finding)**

(f) Reduce energy utilization

Cold air heat pumps will be installed for the apartments. Gas will provide heat in common spaces. The application plans assert that the building will meet or exceed applicable energy efficiency codes. At a minimum, the new building must comply with the current energy efficiency requirements of the city and state. **(Affirmative finding)**

(g) Make advertising features complimentary to the site

An "85 North Avenue" sign is evident above the front entry. It is obviously larger than 2 sf and will, therefore, be subject to a separate sign permit. **(Affirmative finding as conditioned)**

(h) Integrate infrastructure into the building design

The aforementioned heat pumps will be installed on the rooftop. They will be set back from the front of the building and surrounded by slatted wood screening. Provision for mailboxes is not evident and must be included in the project plans. **(Affirmative finding as conditioned)**

(i) Make spaces safe and secure

The proposed building appears to be accessible by emergency service vehicles. The project underwent technical review by Police, Fire, Building, etc. on December 10, 2015. Comments from that review have been provided to the applicant. An intercom system connecting individual dwelling units with the front entry is recommended. **(Affirmative finding as conditioned)**

Article 8: Parking

Sec. 8.1.8, Minimum Off-Street Parking Requirements

The subject property is located in the Shared Use parking district. As such, it requires 1 parking space per dwelling unit. As proposed, 43 parking spaces are proposed for the 43 dwelling units. Significant public comment at the May 2, 2017 public hearing questioned the adequacy of 1 parking space per dwelling unit. This criterion expressly states that "parking for all uses and structures shall be provided in accordance with Table 8.1.8-1 [Minimum Off-Street Parking Requirements]." Table 8.1.8-1 notes 1 required parking space per dwelling unit for multi-unit attached dwelling units in the Shared Use parking district. The parking proposed in this application is compliant with this standard. **(Affirmative finding)**

Sec. 8.1.10, Off-Street Loading Requirements

The purely residential structure included in this proposal is not required to have a loading area. However, in response to public comment, the applicants have submitted a revised site plan that depicts sufficient space in front of the main entry to accommodate a 34' moving van. **(Affirmative finding)**

Sec. 8.1.11, Parking Dimensional Requirements

Project plans depict garage and surface parking spaces and related circulation aisles. Parking spaces are striped at 18' with back-up lengths of 24' or more. Widths are all 9'. With the exception of garage space #32 all parking space and circulation dimensions are acceptable. Space #32 narrows to less than 8' wide at just 15' deep. It does not qualify as even a "compact" parking space and must be reconfigured to acceptable dimensions. **(Affirmative finding as conditioned)**

Sec. 8.1.12, Limitations, Location, Use of Facilities

(a) Off-Site Parking Facilities

None proposed.

(b) Downtown Street Level Setback

Not applicable.

(c) Front Yard Parking Restricted

Not applicable.

(d) Shared Parking in Neighborhood Parking Districts

Not applicable.

(e) Single Story Structures in Shared Use Districts

Not applicable.

(f) Joint Use of Facilities

No joint use of the proposed parking facilities is proposed. **(Affirmative finding)**

(g) Availability of Facilities

The parking to be constructed as part of this development must be for the exclusive use of residents and visitors. It may not be used for the storage or display of vehicles or materials.

(Affirmative finding)

(h) Compact Car Parking

No compact car parking spaces are evident in the project plans. **(Affirmative finding)**

Sec. 8.1.13, Parking for Disabled Persons

Two ADA parking spaces are depicted within the garage. These spaces shall be marked and signed as required for handicap spaces. **(Affirmative finding as conditioned)**

Sec. 8.1.14, Stacked and Tandem Parking Restrictions

Not applicable.

Sec. 8.1.15, Waivers from Parking Requirements/Parking Management Plans

Not applicable.

Sec. 8.2.5, Bicycle Parking Requirements

The project plans contain provision for both short and long term bike parking. Facilities for both are located within the garage. The 43 dwelling units require at least 11 long term bike parking spaces and 4 short term bike parking spaces. As proposed, 16 long term and 8 short term bike parking spaces will be provided. **(Affirmative finding)**

Article 9: Inclusionary and Replacement Housing

Sec. 9.1.5, Applicability

As the proposed development includes more than 5 new dwelling units, it is subject to the inclusionary housing provisions of Article 9. Per Table 9.1.8-1, *Inclusionary Zoning Percentages*, at least 15% of the total unit count must be inclusionary (15% of 43 is 6 dwelling units) in the NMU zone. The percentage of inclusionary units required may increase depending on the rental rates of the apartments. The applicant proposes to provide 6 inclusionary units. Written approval of the inclusionary units by the manager of the city's Housing Trust Fund is required.

(Affirmative finding as conditioned)

Sec. 9.1.12, Additional Density and Other Development Allowances

Provision of the required inclusionary housing affords the development an additional 0.5 FAR and 10' building height (set back 10' from the street façade). Additional lot coverage of up to 92% is also enabled. In this case, no additional FAR or lot coverage is sought. An additional 5' of building height is sought. Provision of the required inclusionary housing units entitles the applicants to this additional height. **(Affirmative finding)**

II. Conditions of Approval

1. **Prior to release of the zoning permit**, revised plans depicting parking and circulation dimensions (including, but not limited to, garage space #32) compliant with Sec. 8.1.11 shall be submitted, subject to staff review and approval.
2. **Prior to release of the zoning permit**, the applicant shall receive written verification of adequate wastewater capacity from the Department of Public Works.
3. **Prior to release of the zoning permit**, written approval of the inclusionary housing proposal by the manager of the city's Housing Trust Fund shall be obtained.
4. At least **7 days prior to the issuance of a certificate of occupancy**, the applicant shall pay to the Planning & Zoning Department the impact fee as calculated by staff based on the gross square footage of the proposed development.
5. Final approval of the post-construction stormwater management system and the erosion prevention and sediment control plan by the city's stormwater program staff is required.
6. Any and all construction within the public street right-of-way is subject to an encumbrance permit issued by the City Council in conjunction with the Dept. of Public Works.
7. The walkway extending from the Lakeview Terrace sidewalk in front of the proposed building shall be open to the public and shall be maintained by the applicant and/or property owner.
8. The crosswalk at the end of Lakeview Terrace, although on private property, should be installed only following consultation with the Department of Public Works.
9. The applicants shall provide to the city a 30' right-of-way from the southeast corner of their parcel to the eastern face of the proposed building, subject to review and approval by the Department of Public Works and City Attorney's Office. The intent is to provide for an eventual sidewalk connection to North Avenue.
10. An intercom system connecting individual dwelling units with the front entry is recommended.
11. Days and hours of construction are limited to Monday – Friday 7:00 AM – 6:00 PM. Saturday construction is limited to interior work only. No construction activity on Sunday.
12. A State of Vermont wastewater permit is required.

13. It is the applicant's responsibility to work with VT DEC to address onsite contaminants noted in DEC's Hazardous Sites List.
14. All new utility lines shall be buried.
15. It is the applicant's responsibility to comply with all applicable ADA requirements.
16. All new construction is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.
17. Any outdoor signage will require a separate sign permit.
18. Standard Conditions 1-15.

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Meagan Tuttle, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, CFM, Associate Planner
Anita Wade, Zoning Clerk
Layne Darfler, Planning Technician



TO: Development Review Board
FROM: Scott Gustin 
DATE: June 6, 2017
RE: 17-1119CU; 135 Hayward Street

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. **THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.**

Zone: RL Ward: 5S

Owner/Representative: Andrew & Daniel Rowan / Michael Rainville

Request: Extend retention of nonconforming use (residential triplex) after destruction by fire.

Applicable Regulations:
Article 5 (Citywide General Regulations)

Overview:

The applicant is seeking to extend retention of the nonconforming triplex use following loss of the structure to fire in April 2016. The Development Review Board determined in October 2016, by way of appeal, that the structure was a triplex at the time it burned. The triplex is a nonconforming use in this Residential Low Density zone. Retention of nonconformity is limited to 1 year unless an extension is sought and granted.

Recommendation: **Time extension approval**, as per, and subject to, the following findings and conditions below:

I. Findings

Article 5: Citywide General Regulations

Sec. 5.2.4, Nonconforming Uses

(b) Discontinuance

A nonconforming use shall not be re-established if such use has been discontinued for any reason for a period of one (1) year or longer. Provided, however, a period not in excess of two (2) years shall be the applicable standard for the re-establishment of discontinued uses in the Enterprise-Light Manufacturing (E-LM) district.

An extension to this time limit may be granted by the DRB after a public hearing and on the basis of documented evidence of a continuous good faith effort to re-establish the nonconforming use. Such evidence shall include but not be limited to application(s) to the DRB, bid documents, records of expenditures, newspaper advertisements, and/or real estate listings. Any request for such an extension shall be submitted in writing prior to the expiration of the one (1) or two (2) year time limit as specified above.

Any extension approved by the DRB shall be made in writing and shall specify the date after which no nonconforming use will be permitted upon the subject property.

The subject nonconformity burned April 21, 2016. In July 2016, the applicants sought a determination as to the recognized use of the structure. In October 2016, the applicants prevailed in an appeal of an adverse administrative determination regarding the use of the structure at the time it burned. The Development Review Board determined that the structure was a triplex at the time of the fire. As noted previously, the triplex use in the RL zone is a nonconformity.

The applicants submitted their request to extend retention of the nonconformity April 20, 2017 – within one year of the fire as required.

The applicants have submitted documents relative to construction bids, building design, and insurance matters, primarily between June and December 2016. The single insurance document is dated May 25, 2017. The narrative provided by the applicants summarizes the request for extension and cites insurance as the primary matter causing delay.

Insofar as the applicants have documented efforts to rebuild on the property in the year since the fire, and given that the request to extend was submitted within one year of the fire, an extension may be granted. The extension should be limited to one additional year.

II. Conditions of Approval:

1. The nonconforming triplex status is extended for a period of one (1) year. Nonconformity as a triplex will expire April 21, 2017 or when the site is developed with a conforming use, whichever is sooner. No additional extensions will be granted.



Department of Planning and Zoning

149 Church Street, City Hall

Burlington, VT 05401-8415

Phone: (802) 865-7188

Fax: (802) 865-7195

www.burlingtonvt.gov/pz

RECEIVED

APR 10 2017

DEPARTMENT OF
PLANNING & ZONING

Time Extension Request

Use this form to request a one year time extension on any valid zoning permit.
Permits that were administratively approved can have time extension requests administratively reviewed and there is no fee.
Permits that were reviewed by the Development Review Board, require a public meeting and there is a \$150 fee for this request to cover time and expenses for public notices.

PROJECT LOCATION ADDRESS: <u>135 Hayward Street</u>	
PROPERTY OWNER*: <u>Andrew + Daniel Rowan</u> *If condominium unit, written approval from the Association is also required	OWNER'S REPRESENTATIVE: <u>Michael Rainville</u> <u>Fairbanks Const LLC</u>
POSTAL ADDRESS: <u>135 Hayward Street</u>	POSTAL ADDRESS: <u>PO Box 1119</u>
CITY, ST, ZIP: <u>Burlington, VT, 05401</u> <u>Andrew</u> <u>Daniel</u>	CITY, ST, ZIP: <u>Jericho Cte, VT 05465</u>
DAY PHONE: <u>802-734-6131</u> <u>802-734-6131</u>	DAY PHONE: <u>802 233 7774</u>
EMAIL: <u>VTrowan@gmail.com</u> <u>rowan.daniel87@gmail.com</u>	EMAIL: <u>michadrainville@6MAVT.NET</u>
SIGNATURE: <u>[Signature]</u> I am the owner and I duly authorize the owner's representative (if applicable) to act on my behalf for all matters pertaining to this zoning permit application.	SIGNATURE: <u>[Signature]</u>

Zoning Permit Number: 17-0081DT

Summary of Approved Permit Description: Determination as to duplex or triplex status - Approved per DRB

Summary of current status of project: Applying for DRB review & Approval

- Please ask for assistance if you have any questions about filling out this form. Call the Planning and Zoning at 802-865-7188, or visit the office in the lower level of City Hall, 149 Church Street.

Office Use Only:

Check No. 1102

Amount Paid

\$150

Zoning Permit #

17-1119CU

Hello Scott, and the Burlington Zoning Department.

This is a brief outline of the complex situation that led to our needing to ask for extension.

Address: 135 Hayward Street, Andrew and Daniel Rowan

Fire 4-21-16,

The reason for the need to request and extension is because of the following circumstances: A) We negotiated with our mortgage company's (Freedom) Insurance Carrier (Proctor) because of a Lapse of Insurance Coverage due to non-payment of escrow funds (a lawyer was hired to resolve) in May & June of 2016, B) Solicited Proposals from Contractors to rebuild Residence July 2016, C) Selected Fairbanks Construction as Construction Manager in July of 2016 to complete project, D) Obtained State and Local Permits to remove Building August 2016, E) Preliminary Site and Building Plans developed August 2016, Removed building Sept 2016, F) Attempted to obtain Zoning & Building Permit August 2016, G) Successfully appealed City Zoning Finding of loss of Grandfather Rights to rebuild a Triplex - Aug 2016- December 2016, H) filed with City request to extend Zoning status on April 10, 2017, I) Negotiations with Proctor Insurance, the original Mortgage Company "Home Bridge Mortgage", and new mortgage Company "Freedom Mortgage" May 2016 - May 2017, with settlement finally reached on May 24 2017.

We anticipate submitting Site & Building plans to Zoning Dept. as soon as we can and hope to begin Construction on or around July 1, 2017, barring unforeseen circumstances.

We appreciate your prompt consideration of this matter.

With Regards,

Andrew, and Daniel Rowan
135 Hayward Street
Burlington, VT 05401
802-734-6791

RECEIVED
MAY 30 2017
DEPARTMENT OF
PLANNING & ZONING

Scott Gustin

From: Mike Rainville <michaelrainville@gmavt.net>
Sent: Tuesday, May 30, 2017 9:03 AM
To: Scott Gustin
Cc: rowan daniel87; vtrowan
Subject: 135 Hayward Street Permit time extension request.
Attachments: 135 Hayward St Pre-Construction Proposal June 27, 2016.pdf; SD Ireland Quote Fairbanks Construction Hayward Street.doc; Essex P&C Middle Unit Estimate.pdf; Curtis Lumber Trusses Dec 12, 2016.pdf; Curtis Lumber framing, siding, roofing materials quote Dec 12, 2016.pdf; 135 Hayward-Rev-111616-1117-Layout Nov 2016 Triplex.pdf; Harvey window quote Oct 19 2016.pdf; scan0019.pdf

Hi Scott & City of Burlington DRB committee:

As you're aware, this project has had permit hurdles to go over which have slowed down the rebuilding process. Also, which you are probable not aware of: is that the Insurance Claim was very complex due to the original Mortgage Company had let the Homeowners Insurance Policy lapse for non-payment. These two items has necessitated our request for a time extension to rebuild.

In support of our request for the reconstruction attached are a few of the bids I solicited for the rebuilding process - once we receive the final City Permits we are ready to begin construction in earnest. Also attached is a correspondence from Freedom Mortgage stating that the Insurance Claim was delayed due to the original Mortgage Companies Errors & Omissions Policy not being finalized until the past few weeks.

Lastly, the owners will be submitting an additional statement of the rebuilding process to date.

Sincerely,

Michael Rainville
Fairbanks Construction LLC
PO BOX 1119
Jericho Ctr, Vermont 05465

W:(802)899-1717
C:(802)233-7774
email: michaelrainville@gmavt.net

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FAIRBANKS CONSTRUCTION L.L.C.

210 EAST AVE.
BURLINGTON, VERMONT 05401
Voice & fax (802) 864-4548
Email:michaelrainville@gmavt.net

Andrew Rowan
Daniel Rowan
135 HAYWARD ST
BURLINGTON, VT 05401-4843

June 27, 2016

Michael Rainville
Fairbanks Construction LLC
210 East Ave
Burlington, Vermont 05401

CONSTRUCTION MANAGEMENT PROPOSAL
135 HAYWARD DUPLEX RESIDENCE
Remove Fire Damage Structure and Rebuild

Andrew and Daniel,

Fairbanks Construction LLC is pleased to submit for your consideration our Construction Management proposal for the above captioned project. This proposal is in response to and guided by the written information provided to us by Andrew & Daniel Rowen, Executive Homeowners Declarations Policy Number H01 0659011, Policy Period: From 02/06/2016 to 02/06/2017. Appraisal completed by Abbott & Dartt Appraisal Service, LLC date 01/16/2012, photo's of interior and exterior elevations, and using the existing structure for "As-Build Dimensions". Fairbanks Construction LLC has extensive experience of assisting owners in the construction of their projects. Not only do we understand the nature of this work, but also, with the successful completion of similar projects, we have excellent models to ensure your construction process is equally fulfilling.

Our firm stands ready and available to meet the demands of this project. I as Co-Owner will serve as Project Manager. I have an excellent record for completing difficult projects on time and on budget. To meet the on site challenges we present Co-owner of Fairbanks Construction LLC, Kevin McKegeney as “working superintendent”. It is our belief that this project needs hands on leadership Kevin brings 20 years of supervisory/working experience to the Team. He is well prepared for this project and anxious to get started.

My role as Project Manager will be to support Kevin throughout all aspects of this undertaking. This type of project has fueled the passion around which my career has grown. Chosen as your Construction Manager we will dedicate ourselves to your project, giving it the full attention that it deserves.

Thank you for the opportunity to participate.

Sincerely,

Michael S. Rainville,
President Fairbanks Construction LLC

Project Approach

The removal of the fire damaged duplex and rebuilding the structure is ideally suited for the construction management process. This process allows the Team to “Fast Track” the rebuilding process working closely with all parties to insure a timely reconstruction period. The exchange of information between the Owner, Insurance Company, and Construction Manager is direct and continual with accurate costing information making the decision process less subject to doubt.

Preconstruction Services:

Selected as your Construction Manager our first task would be to sit down and review the Demolition process with the City of Burlington Zoning and Public Works Departments. Submit the necessary City & State Permits to complete Phase One: “Demolition Work”. We will solicit a “Hazardous Material Inspection Report” which will be used to define the demolition work requirements. Using the HM Inspection Report we solicit Demolition Proposals from qualified demolition subcontractors. We will produce a detailed cost estimate using Timberline/Sage Construction Estimating Software to complete Phase One Demolition. With this detailed estimate we will work to gain approval of Phase One Scope-of-Work from the Insurance Company.

Phase Two: We will complete an additional detailed Construction Estimate to rebuild the duplex in its current configuration to meet City and State requirements. We will negotiate as your representative with the Insurance Company for the Estimates approval. It is our understanding that the Insurance Policy from “The Cincinnati Insurance Company” Policy # H01 0659011 will be used as a “Guide only” and that the current Mortgage Companies Insurance Carrier will be providing equal coverage from their carrier.

Our Team will build the quality into the work not just expect it to be completed. It is our intention to bid out the non-carpentry work. Our own forces are capable of all aspects of the carpentry and finishes involved in this project. Once the project has been “bid out” we will offer a Guaranteed Maximum Price to the Owners.

Construction Phase Services:

During construction we will produce all subcontract agreements, maintain jobsite safety, hold job meetings for clear and certain communications, schedule all the work and control the financial aspects of the project. Our accounting systems will deliver to the Owner clear billing reports, and waivers of lien from all subcontractors. Where appropriate we will purchase materials and schedule them for timely delivery. As stated earlier, we will build the quality into the work not just expect it. We believe Kevin, our

full time Site Supervisor will be splitting his time between supervisory duties and completing actual tasks. We have found that for certain aspects of the work it is best to remove items from a bid packages and self perform those tasks. By removing hard to quantify items the “bid” totals are tighter and more cost effective.

At project close out we will deliver to the Owner a complete Operations and Maintenance Manual. Within that manual will be a complete list of the subcontractors, contact persons and their phone numbers. For the first year all warranty calls will be made directly to Fairbanks Construction LLC and we will take care of the problem.

Fee Schedule

Preconstruction Services for Phase One Demolition:

Fee will be incorporated into the Project Cost for Phase One

Construction Services for Phase Two Rebuilding:

Will be incorporated into the Project Cost for Phase Two

Builders Risk:

The Owner carries this insurance.

Hourly Labor Rates for Hour work in Phase One (If required):

Skilled Carpenters...\$45.00/hr.

Carpenter helpers...\$35.00/hr.

Terms and Conditions:
Payment to be made as follows:
Payments schedule to be negotiated

All material and workmanship to be completed in a professional manner and according to standard practices. We hereby warrant all materials and labor involved in this project for a period of one year from substantial completion. If the owner fails to issue a payment within ten days after payment is due, the contractor may, upon seven days written notice to the owner, terminate the construction agreement and recover from the owner payment for all work executed and for proven loss sustained upon any materials and equipment, including reasonable profit and damages. The owner, without invalidating the construction agreement, may order changes in the work, consisting of additions, deletions, or modifications (the contract sum and the contract time being adjusted accordingly). All such changes in the work shall be authorized by a written change order signed by the parties. Only one signature from each party shall be necessary to execute the change order. All hidden, concealed, or unforeseeable conditions, including code violations, that must be repaired, corrected, replaced, or overcome, shall result in a change order to the work. Contractor not responsible for existing undisturbed unsuitable soils with may result in settlement of newly constructed structure. The contractor reserves the right to repair, replace, or pay reasonable sums in order to effect those repairs to any mutually acknowledge deficiencies based on the Association of Home Builders Quality Standards for the Professional Remodeler both during the construction process and the warranty period. All claims or disputes between the owners and the contractor arising out of, or relation to, the agreement or breach thereof, shall be decided by binding arbitration in accordance with the rules and procedures of the American Arbitration Associations, unless the parties mutually agree otherwise. Notice of demand for arbitration shall be filed within a reasonable time after the dispute has arisen.

Acceptance of proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. Owner is authorizing the contractor to do the work as specified. Payment will be made as outlined above.

Owner Signature:_____

Date of acceptance_____

Contractor Signature_____

Date of acceptance_____

Proposal



Essex Paint and Carpet
27 Park Street
Essex Jct, VT 05452
802-878-7685

Proposal #: 2014
SaleDate: 12/20/2016
Sales Rep: Liz DeLary

SOLD TO:

FAIRBANKS CONSTRUCTION LLC
195 NASHVILLE RD.
Jericho VT 05465

SHIPPED TO

MIDDLE TRIPLEX
135 HAYWARD STREET
Burlington VT 05401

MATERIALS	COMMENTS	QUANTITY	PRICE	TOTAL
BSL Hardwood	HORIZON GRADE LIVING	200 SqFt	\$4.75	\$950.00
Paper and nails		1 Each	\$40.00	\$40.00
Stairnose & QUARTER ROUND		1 Each	\$93.00	\$93.00
fitz tile	KITCHEN & BATH	160 SqFt	\$3.25	\$520.00
Setting Materials		1 Each	\$120.00	\$120.00
Spectralock 9lb		2 Each	\$90.00	\$180.00
Schluter BAR		2 Each	\$14.00	\$28.00
Carpet (TBD - Varying Price)	CARPET FOR 2 BEDS, HALL & STAIRS	48.6 SqYrd	\$14.00	\$680.40
8lb Bonded Pad		48.6 SqYrd	\$4.50	\$218.70
LABOR	COMMENTS	QUANTITY	PRICE	TOTAL
Wood Flooring		200 SqFt	\$2.50	\$500.00
Ditra Install		160 SqFt	\$3.25	\$520.00
Tile Install		1 Each	\$800.00	\$800.00
Carpet Install	CARPET FOR 2 BEDS, HALL & STAIRS	0 SqYrd	\$6.50	\$0.00
Carpet - Stairs Regular		1 Each	\$125.00	\$125.00

Proposal

Comments: **TO INSTALL VINYL INSTEAD**
OF TILE SUBTRACT \$ 945.64 FROM THIS ESTIMATE

SubTotal: \$4,77
Sales Tax: \$19
Total: \$4,97
Payments: \$
Balance: \$4,97

Signature

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 1 OF 15

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX QU
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
COMMENT	ROWAN TRIPLEX ESTIMATE						
COMMENT	=====						
COMMENT	SILL PLATES = 152 LF						
SILL	1/4x5-1/2x50' Foam Sill Sealer		4	RL	4.9900	RL	19.
2614GCT	2x6x14 #1 Treated Yel.Pine Ground Contact		4	PC	11.1100	PC	44.
2616GCT	2x6x16 #1 Treated Yel.Pine Ground Contact		7	PC	13.3100	PC	93.
COMMENT	=====						
COMMENT	CELLAR PARTY WALLS						
COMMENT	PLATES/STUDS @ 16" OC.						
2414GCT	2x4x14 #1 Treated Yel.Pine Ground Contact		6	PC	8.2000	PC	49.
2414SP	2x4x14' #2 KD HT Eastern Spruce		24	PC	4.2100	PC	101.
248GCT	2x4x8 #1 Treated Yel.Pine Ground Contact		8	PC	4.1800	PC	33.
248SP	2x4x8' KD HT Premium Eastern Spruce Premium Stud Grade		76	PC	2.6400	PC	200.
4858FC	4'x8'x5/8 Firecode Sheetrock 26shs/unit		28	SHT	10.3500	SHT	289.
0561456	Proform Redtop 4.5 gal Multiuse Joint Compound		1	PAIL	15.1905	PAIL	15.
250TAPE	250' Roll Drywall Pref-a-Tape 20 rolls/ctn		1	EA	3.0500	EA	3.
50158SST	Screw Drywall 1-5/8 5000ct		1	EA	48.5200	EA	48.
COMMENT	=====						
Quote prices are subject to change without notice based on market conditions.Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project.Please review your quote carefully to confirm ample materials for completion of project.					Subtotal		
					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 2 OF

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#ROWAN TRIPLEX Q	
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
COMMENT	CELLAR STAIRS WALL FRAMING						
COMMENT	PLATES/STUDS @ 16" OC/HEADER.						
2416GCT	2x4x16 #1 Treated Yel.Pine Ground Contact		2	PC	10.1400	PC	20.28
2416SP	2x4x16' #2 KD HT Eastern Spruce		6	PC	5.4900	PC	32.94
248SP	2x4x8' KD HT Premium Eastern Spruce Premium Stud Grade		40	PC	2.6400	PC	105.60
2108SP	2x10x8' #2 KD Western Spruce		1	PC	6.5200	PC	6.52
COMMENT	=====						
COMMENT	CELLAR STAIRS						
COMMENT	LOWER STRINGERS/TREADS/ & RISERS/LANDING...						
2128GCT	2x12x8 #1 Treated Yel.Pine Ground Contact		6	PC	16.3800	PC	98.28
21212SP	2x12x12' #2 KD Western Spruce		3	PC	16.8300	PC	50.49
18COMP	1x8 Premium White Pine S4S 4 - 12'		48	LF	0.7700	LF	36.96
288SP	2x8x8' #2 KD Eastern Spruce		9	PC	4.8800	PC	43.92
LUS28Z	Joist Hanger Single 2 X 8 ZMAX 50Pcs/Ctn.		12	EA	1.0400	EA	12.48
1112TR	Nail Joist Hanger 1-1/2 1#		1	BX	2.7200	BX	2.72
4834ATG	4x8x3/4 T&G AdvanTech Underlayment 45pcs/unit		3	SHT	29.1600	SHT	87.48
4865309	SF-450 VOC 28oz Subfloor Adhesive 1596529		1	EA	4.3605	EA	4.36
COMMENT	UPPER STRINGERS/TREADS/RISERS						
21214SP	2x12x14' #2 KD Western Spruce		3	PC	18.3900	PC	55.17
Quote prices are subject to change without notice based on market conditions.Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project.Please review your quote carefully to confirm ample materials for completion of project.					Subtotal		
					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 3 OF 1

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX QU
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
21216SP	2x12x16' #2 KD Western Spruce		6	PC	21.5800	PC	129.48
21214SP	2x12x14' #2 KD Western Spruce		12	PC	18.3900	PC	220.68
18COMP	1x8 Premium White Pine S4S		160	LF	0.7700	LF	123.20
N830131	Hand Rail Bracket Polished Brass 1420		24	EA	3.2108	EA	77.06
WM231	1-1/2x1-11/16 ROUND Fir Hand Rail 6 Pcs/Bundle		72	LF	1.8600	LF	133.92
COMMENT	=====						
COMMENT	1ST LEVEL FLOOR FRAMING. FLOOR AREA=1,300 SF.						
COMMENT	HEADERS/RIM/JOISTS @ 16" OC.						
1178ML20	1-3/4x11-7/8"x20' length Trus Joist Microllam LVL		2	PC	90.3400	PC	180.68
1178ML18	1-3/4x11-7/8"x18' length Trus Joist Microllam LVL		4	PC	81.3500	PC	325.40
1178ML16	1-3/4x11-7/8"x16' length Trus Joist Microllam LVL		1	PC	72.1700	PC	72.17
1178ML14	1-3/4x11-7/8"x14' length Trus Joist Microllam LVL		7	PC	63.0800	PC	441.56
FMFL278-50	FlatLOK 2 7/8" 50pc/box		3	BX	25.2448	BX	75.73
117816TS	11-7/8x16' Timberstrand Rim Board SOLD BY 16' ONLY!		15	PC	36.0200	PC	540.30
117832TJI	11-7/8x32' TJI 230 Series I-Joist SOLD BY 32' ONLY!		1	PC	56.5200	PC	56.52
117820TJI	11-7/8x20' TJI 230 Series I-Joist SOLD BY 20' ONLY!		15	PC	36.2000	PC	543.00
117818TJI	11-7/8x18' TJI 230 Series I-Joist SOLD BY 18' ONLY!		9	PC	31.9700	PC	287.73
117816TJI	11-7/8x16' TJI 230 Series		3	PC	28.3800	PC	85.14
Quote prices are subject to change without notice based on market conditions.Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project.Please review your quote carefully to confirm ample materials for completion of project.					Subtotal		
					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 4 OF 4

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX Q
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
117814TJI	I-Joist SOLD BY 16' ONLY! 11-7/8x14' TJI 230 Series		16	PC	24.8400	PC	397.44
117812TJI	I-Joist SOLD BY 14' ONLY! 11-7/8x12' TJI 230 Series		10	PC	21.3400	PC	213.40
4834ATG	I-Joist SOLD BY 12' ONLY! 4x8x3/4 T&G AdvanTech		44	SHT	29.1600	SHT	1283.04
4865309	Underlayment 45pcs/unit SF-450 VOC 28oz Subfloor		16	EA	4.3605	EA	69.768
SOSIMPSON	Adhesive 1596529 HHUS410 HANGER		2	EA	5.5900	EA	11.18
HUS18110	LVL Hanger Single 1 3/4 x10 Face		6	EA	7.1900	EA	43.14
IUS2371188	Mount 25Pcs/Ctn. 5000# Rating I-Joist Hanger Single 2 5/16 X		26	EA	3.0200	EA	78.52
5112TR	11 7/8 Face Mount 130 Series I						
COMMENT	Joist 1100# Rat 25/carton						
COMMENT	Nail Joist Hanger 1-1/2 5#		1	BX	10.7300	BX	10.73
COMMENT	=====						
COMMENT	1ST FL. EXT. WALLS=160 LF.						
COMMENT	PLATES/STUDS @ 16" OC/HEADERS						
2616SP	2x6x16' #2 KD HT Eastern Spruce		30	PC	7.6100	PC	228.30
26PCSP	2x6x92-5/8 KD HT Premium Eastern		152	PC	4.0300	PC	612.56
914ML	Spruce Premium Stud Grade		128	LF	3.6200	LF	463.36
282FOAM	1-3/4x9-1/4 Trus Joist Microllam		4	SHT	18.5400	SHT	74.16
FMFL278-50	16 - 8' 25psi		2	BX	25.2448	BX	50.49
4812ZIP	FlatLOK 2 7/8" 50pc/box		48	SHT	22.4300	SHT	1076.64

Quote prices are subject to change without notice based on market conditions. Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project. Please review your quote carefully to confirm ample materials for completion of project.

Subtotal

Sales Tax

Total

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 5 OF 1

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX QU
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
ZIPTAPE	Roll of Tape/6 Sheets 3.75x90' Zip System Tape 12 Rolls/Ctn Approx 1 roll/6 sheets		8	ROLL	24.3000	ROLL	194
COMMENT	=====						
COMMENT	1ST FL. INT. WALLS=194 LF.						
COMMENT	PLATES/STUDS @ 16" OC/HEADERS						
2416SP	2x4x16' #2 KD HT Eastern Spruce		42	PC	5.4900	PC	230
24PCSP	2x4x92-5/8 KD HT Premium Eastern Spruce Premium Stud Grade		220	PC	2.5900	PC	569
288SP	2x8x8' #2 KD Eastern Spruce		12	PC	4.8800	PC	58
248SP	2x4x8' KD HT Premium Eastern Spruce Premium Stud Grade		6	PC	2.6400	PC	15
COMMENT	1-LAYER PARTY WALL COVERING.						
4858FC	4'x8'x5/8 Firecode Sheetrock 26shts/unit		32	SHT	10.3500	SHT	331
0561456	Proform Redtop 4.5 gal Multiuse Joint Compound		2	PAIL	15.1905	PAIL	30
500TAPE	500' Roll Drywall Pref-A-Tape 10 rolls/ctn		1	EA	6.1900	EA	6
50158SST	Screw Drywall 1-5/8 5000ct		1	EA	48.5200	EA	48
COMMENT	=====						
COMMENT	2ND LEVEL FLOOR SYSTEM						
COMMENT	HEADERS/RIM/JOISTS						
1178ML20	1-3/4x11-7/8"x20' length Trus Joist Microllam LVL		2	PC	90.3400	PC	180
1178ML16	1-3/4x11-7/8"x16' length Trus Joist Microllam LVL		5	PC	72.1700	PC	360
1178ML14	1-3/4x11-7/8"x14' length Trus		4	PC	63.0800	PC	252
Quote prices are subject to change without notice based on market conditions.Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project.Please review your quote carefully to confirm ample materials for completion of project.					Subtotal		
					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 6 OF

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#ROWAN TRIPLEX Q	
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
1178ML12	Joist Microllam LVL 1-3/4x11-7/8"x12' length Trus		2	PC	54.2000	PC	108.40
117816TS	Joist Microllam LVL 11-7/8X16' Timberstrand Rim		16	PC	36.0200	PC	576.32
117822TJI	Board SOLD BY 16' ONLY! 11-7/8x22' TJI 230 Series		1	PC	38.8800	PC	38.88
117820TJI	I-Joist SOLD BY 22' ONLY! 11-7/8x20' TJI 230 Series		15	PC	36.2000	PC	543.00
117816TJI	I-Joist SOLD BY 20' ONLY! 11-7/8x16' TJI 230 Series		11	PC	28.3800	PC	312.18
117814TJI	I-Joist SOLD BY 16' ONLY! 11-7/8x14' TJI 230 Series		18	PC	24.8400	PC	447.12
117812TJI	I-Joist SOLD BY 14' ONLY! 11-7/8x12' TJI 230 Series		10	PC	21.3400	PC	213.40
4834ATG	I-Joist SOLD BY 12' ONLY! 4x8x3/4 T&G AdvanTech		44	SHT	29.1600	SHT	1283.04
4865309	Underlayment 45pcs/unit SF-450 VOC 28oz Subfloor		16	EA	4.3605	EA	69.77
SOSIMPSON	Adhesive 1596529 HUCQ1.81/9-SDS1.75		1	EA	16.6200	EA	16.62
HUS18110	LVL Hanger Single 1 3/4 x10 Face		7	EA	7.1900	EA	50.33
IUS2371188	Mount 25Pcs/Ctn. 5000# Rating I-Joist Hanger Single 2 5/16 X		24	EA	3.0200	EA	72.48
COMMENT	11 7/8 Face Mount 130 Series I						
COMMENT	Joist 1100# Rat 25/carton						
COMMENT	=====						
2616SP	2ND FL. EXT. WALLS=152 LF PLATES/STUDS @ 16" OC/HEADERS 2x6x16' #2 KD HT Eastern Spruce		30	PC	7.6100	PC	228.30
Quote prices are subject to change without notice based on market conditions.Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project.Please review your quote carefully to confirm ample materials for completion of project.					Subtotal		
					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 7 OF 1

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX QU
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
26PCSP	2x6x92-5/8 KD HT Premium Eastern Spruce Premium Stud Grade		144	PC	4.0300	PC	580
914ML	1-3/4x9-1/4 Trus Joist Microllam 12 - 8'		96	LF	3.5400	LF	339
282FOAM	2x8x2 T&G Styrofoam R10.8 Dow 25psi		3	SHT	18.5400	SHT	55
4812ZIP	4x8x1/2 Zip Combo Sheathing (Wall/Roof) Brown 70pcs/unit 1 Roll of Tape/6 Sheets		45	SHT	22.4300	SHT	1009
ZIPTAPE	3.75x90' Zip System Tape 12 Rolls/Ctn Approx 1 roll/6 sheets		8	ROLL	24.3000	ROLL	194
COMMENT	=====						
COMMENT	2ND FL. INT. WALLS = 290 LF.						
COMMENT	PLATES/STUDS @ 16" OC/HEADERS						
2416SP	2x4x16' #2 KD HT Eastern Spruce		56	PC	5.4900	PC	307
24PCSP	2x4x92-5/8 KD HT Premium Eastern Spruce Premium Stud Grade		320	PC	2.5900	PC	828
288SP	2x8x8' #2 KD Eastern Spruce		18	PC	4.8800	PC	87
COMMENT	=====						
COMMENT	CEILING STRAPPING @ 16" OC						
1316F	1x3x16' KD Spruce Furring Strip		80	PC	1.9800	PC	158
COMMENT	=====						
COMMENT	MAIN ROOF/AREA=1,700 SF. PERIMETER=162 LF.						
SOTRU	ROOF TRUSS PACKAGE #164862-T. PER PLANS.		1	EA	3175.0000	EA	3175
COMMENT	LATERAL TRUSS BRACING						
2416SP	2x4x16' #2 KD HT Eastern Spruce		18	PC	5.4900	PC	98

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Subtotal
Sales Tax

Total

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 8 OF 8

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#ROWAN TRIPLEX Q	
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
COMMENT	SUBFASCIA/FASCIA						
2616SP	2x6x16' #2 KD HT Eastern Spruce		11	PC	7.6100	PC	83.71
16BORAL	1x6x16' Boral TruExterior Trim Board 128pcs/unit		11	PC	31.6700	PC	348.37
COMMENT	SUBROOF/AREA-1,700 SF						
4858ZIP	4x8x5/8 T&G Zip Roof Sheathing (brown) 55pcs/unit 1 Roll of Tape/6 Sheets		54	SHT	26.8000	SHT	1447.20
ZIPTAPE	3.75x90' Zip System Tape 12 Rolls/Ctn Approx 1 roll/6 sheets		9	ROLL	24.3000	ROLL	218.70
COMMENT	=====						
COMMENT	MAIN ROOF AND FRONT PORCH METAL PANELS & ACCESSORIES.						
SOFABA	10'6" CE1 DENVER EAVE DRIP EDGE PAINTED.		21	EA	11.6600	EA	244.86
SOFABA	FABRAL METAL ROOF BOOT		3	EA	13.7400	EA	41.22
SOFAB	GRAND RIB 3 29 GAUGE METAL ROOF PANELS-PAINTED. #4834115875		1	PC	1759.9100	PC	1759.91
SOFABA	RR1 10'6" METAL HIP - PAINTED.		11	EA	24.1000	EA	265.10
SOFABA	RX10/AR-3 VENTED RIDGE CAP 10'6" PAINTED VERSA-VENT		3	EA	59.5700	EA	178.71
SOFABA	ASW1 SIDEWALL X 10'6" FLASHING PAINTED.		4	EA	13.7500	EA	55.00
SOFABA	1X1X19.68' AST EXPANDABLE SEALER STRIP		12	EA	19.9800	EA	239.76
TFS	Top Filler Strip (Outside closure) For Grandrib 3		7	EA	0.8900	EA	6.23
BFS	Bottom Filler Strip (inside closure) for Grandrib 3		70	PC	0.8900	PC	62.30
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					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

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QUOTE

1612-742444 R5 PAGE 9 OF 1

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX QU
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
GRSLT	1/4x3/16x40' Sidelap Tape For Metal Roofing Fabral #6769033		27	RL	4.2200	RL	113
SOFABA	ROOF=SEAL UDL-154 50-YEAR WARRANTY.		3	EA	153.3300	EA	459
SOFABA	#10-14x1" WOODTITE TYPE 17 W/W 250/BAG - PAINTED 80/SQUARE.		10	EA	19.8500	EA	198
SOFABA	#10-14x2" HLX TYP 17 PT ASTER THRD W/W 250/BAG - PAINTED.		1	EA	14.3700	EA	14
COMMENT	=====						
COMMENT	SIDING & TRIM						
COMMENT	OS CORNERS						
546BORAL	5/4x6x16' Boral TruExterior Trim Board 96pcs/unit		6	PC	42.4600	PC	254
548BORAL	5/4x8x16' Boral TruExterior Trim Board 72pcs/unit		6	PC	55.2300	PC	331
COMMENT	WATERTABLE & MIDDLE-BAND						
5410BORAL	5/4x10x16' Boral TruExterior Trim Board 60pcs/unit		20	PC	70.4500	PC	1409
COMMENT	FRIEZE BOARD @ EAVES						
546BORAL	5/4x6x16' Boral TruExterior Trim Board 96pcs/unit		10	PC	42.4600	PC	424
COMMENT	WINDOW & DOOR TRIM						
544BORAL	5/4x4x16' Boral TruExterior Trim Board 156pcs/unit		24	PC	26.7800	PC	642
54FLASHW	1-1/8x120 White Flashing		10	EA	3.0200	EA	30
TYVEKDFT4	4"x75' Flashing Tape 4 rolls/box		5	EA	27.6000	EA	138
TYVEKFLEXNF9	9"x75' Flexwrap NF Roll No Fastener Tyvek		2	EA	150.0000	EA	300
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					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 10 OF

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#ROWAN TRIPLEX Q	
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
COMMENT	SOFFIT						
SOSIDC	12"X12' HARDIE VENTED SOFFIT ARCTIC WHITE=COLORPLUS.		13	EA	22.7400	EA	295.62
COMMENT	SIDING/AREA=2,900 SF						
SOSIDC	5.25"x12' HARDIE LAP SIDING SMOOTH COLORPLUS 25/SQUARE		730	EA	8.4400	EA	6161.20
S8DRGAL	Bostitch Nail Stick Ring Galv 2-3/8 S8DRGAL-FH		4	BX	48.3400	BX	193.36
COMMENT	=====						
COMMENT	REAR LOWER PORCH						
2108GCT	2x10x8 #2 Treated Yel.Pine Ground Contact		3	PC	8.4800	PC	25.44
COMMENT	LEDGER/RIM/JOISTS @ 16" OC.						
288GCT	2x8x8 #1 Treated Yel.Pine Ground Contact		2	PC	8.0600	PC	16.12
PLAFLA	8' Plastic Deck Ledger Flashing Safe to use w/all Treated Lumber		1	EA	3.0600	EA	3.06
288GCT	2x8x8 #1 Treated Yel.Pine Ground Contact		4	PC	8.0600	PC	32.24
LUS28Z	Joist Hanger Single 2 X 8 ZMAX 50Pcs/Ctn.		10	EA	1.0400	EA	10.40
LS50Z	Angle Adjustable 4-7/8 ZMAX 50Pcs/Ctn.		4	EA	2.1000	EA	8.40
AB66Z	ABW66Z Anchor 6 X 6 ZMAX 10Pcs/Ctn.		2	EA	20.1000	EA	40.20
BC6Z	Post Beam Cap 6 X 6 Zmax 10Pcs/Ctn.		2	EA	16.9000	EA	33.80
1112TR	Nail Joist Hanger 1-1/2 1#		1	BX	2.7200	BX	2.72
5468GCT1	5/4x6x8 Prem.Treated Yel.Pine		8	PC	5.9400	PC	47.52
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					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 11 OF 1

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#ROWAN TRIPLEX QU	
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
5212XT	Decking Ground Contact Screw Deck 2-1/2 5# Ceramic Coated		1	EA	25.1300	EA	25.13
21212GCT	2x12x12 #1 Treated Yel.Pine Ground Contact		1	PC	23.9800	PC	23.98
8164GPB	8X16X4Grey Solid Block 120/Pallet		3	EA	1.4900	EA	4.47
5468GCT1	5/4x6x8 Prem.Treated Yel.Pine Decking Ground Contact		4	PC	5.9400	PC	23.76
288GCT	2x8x8 #1 Treated Yel.Pine Ground Contact		3	PC	8.0600	PC	24.18
248GCT	2x4x8 #1 Treated Yel.Pine Ground Contact		3	PC	4.4400	PC	13.32
T2242SS	2x2x42 Square PT Baluster		40	PC	1.1200	PC	44.80
COMMENT	=====						
COMMENT	REAR UPPER PORCH						
6610PT	6x6x10 #2 Treated Yel.Pine		3	PC	26.9700	PC	80.91
21014GCT	2x10x14 #2 Treated Yel.Pine Ground Contact		3	PC	19.0400	PC	57.12
AB66Z	ABW66Z Anchor 6 X 6 ZMAX 10Pcs/Ctn.		3	EA	20.1000	EA	60.30
BC6Z	Post Beam Cap 6 X 6 Zmax 10Pcs/Ctn.		3	EA	16.9000	EA	50.70
COMMENT	LEDGER/RIM/JOISTS @ 16" OC.						
PLAFLA	8" Plastic Deck Ledger Flashing Safe to use w/all Treated Lumber		2	EA	3.0600	EA	6.12
2814GCT	2x8x14 #2 Treated Yel.Pine Ground Contact		2	PC	13.0900	PC	26.18
2812GCT	2x8x12 #2 Treated Yel.Pine Ground Contact		6	PC	12.2800	PC	73.68
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					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
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Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 12 OF

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX Q
STATION	WIML
CASHIER	002128
SALESPERSON	004005
ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
LUS28Z	Joist Hanger Single 2 X 8 ZMAX 50Pcs/Ctn.		20	EA	1.0400	EA	20.80
LS50Z	Angle Adjustable 4-7/8 ZMAX 50Pcs/Ctn.		4	EA	2.1000	EA	8.40
1112TR	Nail Joist Hanger 1-1/2 1#		2	BX	2.7200	BX	5.44
54614GCT1	5/4x6x14 Prem.Treated Yel.Pine Decking Ground Contact		12	PC	9.5700	PC	114.84
2812GCT	2x8x12 #2 Treated Yel.Pine Ground Contact		1	PC	12.2800	PC	12.28
2412GCT	2x4x12 #1 Treated Yel.Pine Ground Contact		1	PC	7.0100	PC	7.01
2814GCT	2x8x14 #2 Treated Yel.Pine Ground Contact		1	PC	13.0900	PC	13.09
2414GCT	2x4x14 #1 Treated Yel.Pine Ground Contact		1	PC	8.2000	PC	8.20
T2242SS	2x2x42 Square PT Baluster		54	PC	1.1200	PC	60.48
5212XT	Screw Deck 2-1/2 5# Ceramic Coated		2	EA	25.1300	EA	50.26
COMMENT	=====						
COMMENT	FRONT COVERED PORCH						
2108GCT	2x10x8 #2 Treated Yel.Pine Ground Contact		9	PC	8.4800	PC	76.32
AB44Z	ABW44Z Anchor 4 X 4 ZMAX 10Pcs/Ctn.		3	EA	9.9000	EA	29.70
H2.5AZ	Hurricane Tie Zmax 2 1/2 18GA 100Pcs/Ctn.		20	EA	0.3600	EA	7.20
COMMENT	LEDGER/RIM/JOISTS @ 16" OC.						
PLAFLA	8' Plastic Deck Ledger Flashing Safe to use w/all Treated Lumber		3	EA	3.0600	EA	9.18
Quote prices are subject to change without notice based on market conditions.Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project.Please review your quote carefully to confirm ample materials for completion of project.					Subtotal		
					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

Williston
Curtis Lumber
349 Leroy Road
Williston, VT 05495
802-863-3428
Fax: 802-860-6633



QUOTE

1612-742444 R5 PAGE 13 OF 1

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#ROWAN TRIPLEX QU	
STATION	WIML
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ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
2814GCT	2x8x14 #2 Treated Yel.Pine Ground Contact		4	PC	13.0900	PC	52
2810GCT	2x8x10 #1 Treated Yel.Pine Ground Contact		10	PC	11.0800	PC	110
LUS28Z	Joist Hanger Single 2 X 8 ZMAX 50Pcs/Ctn.		28	EA	1.0400	EA	29
LS50Z	Angle Adjustable 4-7/8 ZMAX 50Pcs/Ctn.		4	EA	2.1000	EA	8
1112TR	Nail Joist Hanger 1-1/2 1#		2	BX	2.7200	BX	5
54614GCT1	5/4x6x14 Prem.Treated Yel.Pine Decking Ground Contact		22	PC	9.5700	PC	210
5212XT	Screw Deck 2-1/2 5# Ceramic Coated		2	EA	25.1300	EA	50
TPP96	*DWO*4x4x8 Colonial Porch Post		6	EA	65.0000	EA	390
COMMENT	FRONT STEPS						
8164GPB	8X16X4Grey Solid Block 120/Pallet		3	EA	1.4900	EA	4
21212GCT	2x12x12 #1 Treated Yel.Pine Ground Contact		1	PC	23.9800	PC	23
5468GCT1	5/4x6x8 Prem.Treated Yel.Pine Decking Ground Contact		3	PC	5.9400	PC	17
18BORAL	1x8x16' Boral TruExterior Trim Board 96pcs/unit		2	PC	41.8900	PC	83
COMMENT	3-PLY UPPER BEAM						
21014GCT	2x10x14 #2 Treated Yel.Pine Ground Contact		6	PC	19.0400	PC	114
COMMENT	LEDGER/RAFTERS @ 24" OC/HIPS						
2812SP	2x8x12' #2 KD Eastern Spruce		1	PC	8.3700	PC	8
2816SP	2x8x16' #2 KD Eastern Spruce		1	PC	10.7200	PC	10

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	Sales Tax	
	Total	

Buyer: MIKE RAINVILLE

Williston
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QUOTE

1612-742444 R5 PAGE 14 OF 14

SOLD TO
FAIRBANKS CONST LLC PO BOX 1119 Jericho Ctr VT 05465

JOB ADDRESS
ROWAN TRIPLEX ESTIMATED LIST FAIRBANKS CONSTRUCTION 135 HAYWARD ST BURLINGTON VT 05401 802-864-4548

ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
BRANCH	3004
CUSTOMER PO#	ROWAN TRIPLEX Q
STATION	WIML
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MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
Saturday - 8 a.m. - 2 p.m.
Sunday - Closed

Item	Description	D	Quantity	U/M	Price	Per	Amount
2814SP	2x8x14' #2 KD Eastern Spruce		10	PC	8.2300	PC	82.30
COMMENT	SUBFASCIA/FASCIA						
2614SP	2x6x14' #2 KD HT Eastern Spruce		3	PC	5.5800	PC	16.74
16BORAL	1x6x16' Boral TruExterior Trim Board 128pcs/unit		3	PC	31.6700	PC	95.01
COMMENT	SUBROOF						
4858ZIP	4x8x5/8 T&G Zip Roof Sheathing (brown) 55pcs/unit 1 Roll of Tape/6 Sheets		7	SHT	26.8000	SHT	187.60
ZIPTAPE	3.75x90' Zip System Tape 12 Rolls/Ctn Approx 1 roll/6 sheets		1	ROLL	24.3000	ROLL	24.30
COMMENT	RAILING						
2412GCT	2x4x12 #1 Treated Yel.Pine Ground Contact		3	PC	7.0100	PC	21.03
2812GCT	2x8x12 #2 Treated Yel.Pine Ground Contact		3	PC	12.2800	PC	36.84
T2242SS	2x2x42 Square PT Baluster		66	PC	1.1200	PC	73.92
COMMENT	PORCH CEILING						
2612SP	2x6x12' #2 KD HT Eastern Spruce		10	PC	6.0100	PC	60.10
584FIRC	5/8x4 C&Btr VG Fir Ceiling T&G		520	LF	0.8800	LF	458.56
COMMENT	=====						
COMMENT	INTERIOR TRIM						
WM622FJP	9/16x3-1/2 Primed Colonial Base Snow Moulding 16'lengths		860	LF	0.5900	LF	507.40
WM351FJP	11/16x2-1/2 Primed Colonial Casing Snow Moulding 14'or15' PLEASE CHECK!		480	LF	0.5100	LF	244.80
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					Sales Tax		
					Total		

Buyer: MIKE RAINVILLE

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QUOTE

1612-742444 R5 PAGE 15 OF 1

SOLD TO
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ACCOUNT	JOB
V01769	17
CREATED ON	12/12/2016
EXPIRES ON	01/31/2017
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CUSTOMER PO#	ROWAN TRIPLEX QU
STATION	WIML
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ORDER ENTRY	002128
MODIFIED BY	002128

Monday-Friday - 7 a.m.-5 p.m.
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Item	Description	D	Quantity	U/M	Price	Per	Amount
112PFJ	1x12x16' Clear FJ Primed Pine 60 pcs/unit, sold 16' Only (Oil Primed)		3	PC	43.7400	PC	131.22
WM231	1-1/2x1-11/16 ROUND Fir Hand Rail 6 Pcs/Bundle		48	LF	1.8600	LF	89.28
6790620	Closet Shelf/ Rod Bracket wht		6	EA	3.6708	EA	22.02
18PFJ	1x8x16' Clear FJ Primed Pine 96 pcs/unit, sold 16' only (Oil Prime)		60	PC	26.7800	PC	1606.80
WM93	3/4x3/4 Clear Cove Moulding 40 Pcs/Bundle		150	LF	0.3800	LF	57.00
COMMENT	=====						
COMMENT	SEE SEPERATE WINDOW & DOORS QUOTES						
COMMENT	SEE SEPERATE KITCHEN/VANITIES QUOTE.						
COMMENT	=====						
COMMENT	END OF ESTIMATED LIST.						
Quote prices are subject to change without notice based on market conditions.Curtis Lumber cannot guarantee quantities listed are adequate for the customer's project.Please review your quote carefully to confirm ample materials for completion of project.			VTBUR 7.00%		Subtotal	44,346.80	
					Sales Tax	3,104.80	
					Total	47,451.60	

Buyer: MIKE RAINVILLE



HARVEY
BUILDING PRODUCTS

Harvey Industries, Inc.
1400 Main Street. Waltham, MA 02451-1689
(781) 899-3500 harveybp.com

Manufacturing
ACKNOWLEDGEMENT

Dealer Quote De

BILL TO:

FAIRBANKS CONSTRUCTION LLC
210 EAST AVENUE
BURLINGTON, VT 05401-0000

Phone: 802-864-4548 Fax: 8028644548

SHIP TO:

FAIRBANKS CONSTRUCTION LLC
210 EAST AVENUE

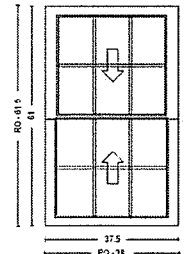
BURLINGTON VT 05401-0000
Phone: 802-864-4548 Fax: (802)864-4548

Williston
71 Leroy Road
WILLISTON, VT 05495-5891
Phone: (802) 660-8111 Fax: (802) 660-8111



QUOTE NBR	CUST NBR	CUSTOMER PO	ENTERED	DATE ORDERED	ORDER TYPE
4086549	1017345		10/11/2016	Quote Not Ordered	Charge
ORDERED BY	STATUS	SHIP VIA	DELIVERY AREA		
Mike	None	Whse Pickup	WILLISTON VT		
CLERK		JOB NAME	COUPON		
sj - Sheb Jewell		Hayward			
LINE #	DESCRIPTION	QTY	UNIT PRICE	EXTEND	

10000-1 Classic DH , Unit Size 37.5 x 61, RO 38 x 61.5 9 \$328.41 \$2,955.60
 Call Width = 30, Call Height = 410
 Full Screen, Full Screen Mullion, Fiberglass Mesh, Screen Shipping Separate = Yes
 Window Label = Harvey, Double Locks, Custodial Lock = No, All Horizontals, Sash Limit Devices = Night Latch
 Overall Glass Thickness = 11/16", Double Glazed, Double Low-E RS, Argon Filled, Custom Annealed IG = No, IG MFG = HY
 Sill rise extender = No
 Base Color = White
 Performance Packages = E Star 6.0 2015
 North=Yes, North-Central=Yes
 Unit 1: U-Factor = 0.25, SHGC = 0.27, VT = 0.48, NFRC CPD Number = HII-M-31-02456-00002, Custom / Call Size Option = Call Sizes, New Construction, Fully Welded
 Unit 1 Lower Glass, 1 Upper Glass: NFRC CPD Number = HII-M-31-02456-00002
 Contour In-Glass, Colonial, Match Frame, 3W2H
 Overall Rough Opening Width = 38, Overall Rough Opening Height = 61.5
 Integral J Fin, Receiver Pocket, Flat Casing 4 Sides



Room Location: 1st Floor

Pricing Details

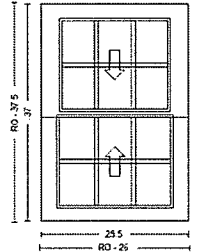
Lower Glass Low-E Add-On	\$10.35
Upper Glass Low-E Add-On	\$10.35
Lower Glass Argon Add-On	\$1.58
Upper Glass Argon Add-On	\$1.58
Reinforcement Width Add-On	\$14.02
Call Size Classic Double Hung Base Charge	\$212.40
Lower Glass Low-E RS Add-On	\$4.05
Upper Glass Low-E RS Add-On	\$4.05
Wrapping Call Size Ext Casing Add-On	\$70.04

QUOTE NBR	CUST NBR	CUSTOMER PO	ENTERED	DATE ORDERED	ORDER TY
4086549	1017345		10/11/2016	Quote Not Ordered	Charge
ORDERED BY	STATUS	SHIP VIA	DELIVERY AREA		
Mike	None	Whse Pickup	WILLISTON VT		
CLERK		JOB NAME	COUPON		
sj - Sheb Jewell		Hayward			

LINE #	DESCRIPTION	QTY	UNIT PRICE	EXTEN
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11000-1 Classic DH , Unit Size 25.5 x 37, RO 26 x 37.5 2 \$235.02 \$47

Call Width = 20, Call Height = 210
Full Screen, Full Screen Mullion, Fiberglass Mesh, Screen Shipping Separate = Yes
Window Label = Harvey, Single , Custodial Lock = No, Sash Limit Devices = Night Latch
Overall Glass Thickness = 11/16", Double Glazed, Double Low-E RS, Argon Filled, Custom Annealed IG = No, IG MFG = HY
Sill rise extender = No
Base Color = White
Performance Packages = E Star 6.0 2015
North=Yes, North-Central=Yes
Unit 1: U-Factor = 0.25, SHGC = 0.27, VT = 0.48, NFRC CPD Number = HII-M-31-02273-00002, Custom / Call Size Option = Call Sizes, New Construction, Fully Welded
Unit 1 Lower Glass, 1 Upper Glass: NFRC CPD Number = HII-M-31-02273-00002
Contour In-Glass, Colonial, Match Frame, 3W2H
Overall Rough Opening Width = 26, Overall Rough Opening Height = 37.5
Integral J Fin, Receiver Pocket, Flat Casing 4 Sides



Room Location: 1st Floor

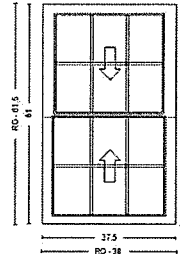
Pricing Details

Lower Glass Low-E Add-On	\$10.35
Upper Glass Low-E Add-On	\$10.35
Lower Glass Argon Add-On	\$1.58
Upper Glass Argon Add-On	\$1.58
Call Size Classic Double Hung Base Charge	\$158.63
Lower Glass Low-E RS Add-On	\$4.05
Upper Glass Low-E RS Add-On	\$4.05
Wrapping Call Size Ext Casing Add-On	\$44.44

QUOTE NBR	CUST NBR	CUSTOMER PO	ENTERED	DATE ORDERED	ORDER TYPE
4086549	1017345		10/11/2016	Quote Not Ordered	Charge
ORDERED BY	STATUS	SHIP VIA	DELIVERY AREA		
Mike	None	Whse Pickup	WILLISTON VT		
CLERK		JOB NAME	COUPON		
sj - Sheb Jewell		Hayward			

LINE #	DESCRIPTION	QTY	UNIT PRICE	EXTEND
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12000-1 Classic DH , Unit Size 37.5 x 61, RO 38 x 61.5
 Call Width = 30, Call Height = 410
 Full Screen, Full Screen Mullion, Fiberglass Mesh, Screen Shipping Separate = Yes
 Window Label = Harvey, Double Locks, Custodial Lock = No, All
 Horizontals, Sash Limit Devices = Night Latch
 Overall Glass Thickness = 11/16", Double Glazed, Double Low-E RS, Argon Filled, Custom Annealed IG = No, IG MFG = HY
 Sill rise extender = No
 Base Color = White
 Performance Packages = E Star 6.0 2015
 North=Yes, North-Central=Yes
 Unit 1: U-Factor = 0.25, SHGC = 0.27, VT = 0.48, NFRC CPD Number = HII-M-31-02456-00002, Custom / Call Size Option = Call Sizes, New Construction, Fully Welded
 Unit 1 Lower Glass, 1 Upper Glass: NFRC CPD Number = HII-M-31-02456-00002
 Contour In-Glass, Colonial, Match Frame, 3W2H
 Overall Rough Opening Width = 38, Overall Rough Opening Height = 61.5
 Integral J Fin, Receiver Pocket, Flat Casing 4 Sides



Room Location: 2nd Floor

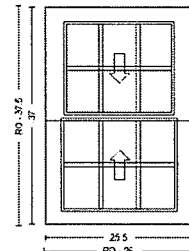
Pricing Details

Lower Glass Low-E Add-On	\$10.35
Upper Glass Low-E Add-On	\$10.35
Lower Glass Argon Add-On	\$1.58
Upper Glass Argon Add-On	\$1.58
Reinforcement Width Add-On	\$14.02
Call Size Classic Double Hung Base Charge	\$212.40
Lower Glass Low-E RS Add-On	\$4.05
Upper Glass Low-E RS Add-On	\$4.05
Wrapping Call Size Ext Casing Add-On	\$70.04

QUOTE NBR	CUST NBR	CUSTOMER PO	ENTERED	DATE ORDERED	ORDER TYPE
4086549	1017345		10/11/2016	Quote Not Ordered	Charge
ORDERED BY	STATUS	SHIP VIA	DELIVERY AREA		
Mike	None	Whse Pickup	WILLISTON VT		
CLERK		JOB NAME	COUPON		
sj	- Sheb Jewell	Hayward			

LINE #	DESCRIPTION	QTY	UNIT PRICE	EXTENSION
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13000-1 Classic DH , Unit Size 25.5 x 37, RO 26 x 37.5
 Call Width = 20, Call Height = 210
 Full Screen, Full Screen Mullion, Fiberglass Mesh, Screen Shipping Separate = Yes
 Window Label = Harvey, Single , Custodial Lock = No, Sash Limit Devices = Night Latch
 Overall Glass Thickness = 11/16", Double Glazed, Double Low-E RS, Argon Filled, Custom Annealed IG = No, IG MFG = HY
 Sill rise extender = No
 Base Color = White
 Performance Packages = E Star 6.0 2015
 North=Yes, North-Central=Yes
 Unit 1: U-Factor = 0.25, SHGC = 0.27, VT = 0.48, NFRC CPD Number = HII-M-31-02273-00002, Custom / Call Size Option = Call Sizes, New Construction, Fully Welded
 Unit 1 Lower Glass, 1 Upper Glass: NFRC CPD Number = HII-M-31-02273-00002
 Contour In-Glass, Colonial, Match Frame, 3W2H
 Overall Rough Opening Width = 26, Overall Rough Opening Height = 37.5
 Integral J Fin, Receiver Pocket, Flat Casing 4 Sides



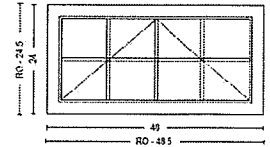
Room Location: 2nd Floor

Pricing Details

Lower Glass Low-E Add-On	\$10.35
Upper Glass Low-E Add-On	\$10.35
Lower Glass Argon Add-On	\$1.58
Upper Glass Argon Add-On	\$1.58
Call Size Classic Double Hung Base Charge	\$158.63
Lower Glass Low-E RS Add-On	\$4.05
Upper Glass Low-E RS Add-On	\$4.05
Wrapping Call Size Ext Casing Add-On	\$44.44

QUOTE NBR	CUST NBR	CUSTOMER PO	ENTERED	DATE ORDERED	ORDER TY
4086549	1017345		10/11/2016	Quote Not Ordered	Charge
ORDERED BY	STATUS	SHIP VIA	DELIVERY AREA		
Mike	None	Whse Pickup	WILLISTON VT		
CLERK		JOB NAME	COUPON		
sj - Sheb Jewell		Hayward			

LINE #	DESCRIPTION	QTY	UNIT PRICE	EXTEND
14000-1	Vinyl Awning , Unit Size 48 x 24, RO 48.5 x 24.5 Fiberglass Mesh, Screen Shipping Separate = No Window Label = Harvey, Sash Limit Devices = None Overall Glass Thickness = 11/16", Double Glazed, Double Low-E RS, Argon Filled, Custom Annealed IG = No, IG MFG = HY Base Color = White Performance Packages = E Star 6.0 2015 North=Yes, North-Central=Yes Unit 1: U-Factor = 0.27, SHGC = 0.24, VT = 0.42, NFRC CPD Number = HII-M-39-01518-00002, Custom / Call Size Option = Custom Size, New Construction, Operation / Vented As Viewed From Outside = Vent Unit 1 Glass: NFRC CPD Number = HII-M-39-01518-00002 Contour In-Glass, Colonial, Match Frame, 4W2H Overall Rough Opening Width = 48.5, Overall Rough Opening Height = 24.5 Integral J Fin, Receiver Pocket, Flat Casing 4 Sides	1	\$356.39	\$356.39



Room Location: 2nd Floor

Pricing Details

Grid Add-On per Sash	\$13.50
Low-E Add-On	\$16.20
Argon Add-On	\$3.60
Vinyl Awning Base Charge	\$248.00
Low-E RS Add-On	\$9.00
Wrapping Exterior Casing Add-On	\$51.19
Wrapping Nail Fin Add-On	\$14.90

****Note: Delivery charges may apply and are not included on this quote.**

This quotation is based on our interpretation of the information provided. All quantities, sizes, extensions, grand totals, and specifications should be verified by the contractor prior to his/her bidding or ordering of materials. Harvey Industries, Inc., is responsible only for the items as quoted above. Any changes or addendums will be subject to a requote. We propose to supply the materials as described above, subject to the terms and conditions as required by our credit department. The prices are guaranteed for 90 days from the date of quotation unless otherwise noted. Delivery charges may apply and are not reflected on this quote. We appreciate the opportunity to quote this job. If you have any questions, please call your local warehouse.

SUBTOTAL:	\$6,
TAX:	\$
ORDER TOTAL:	\$7,

CUSTOMER SIGNATURE _____ DATE _____

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	CJ01	Diagonal Hip Girder	4	1	
Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wightman					
Job Reference (optional)					
7,640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05: ID:e7ZNzy94VQGIZFARzGCHj0yBQDq-CB5ZJ_Pf6Up5khp_?5Oqhezv?20mly					

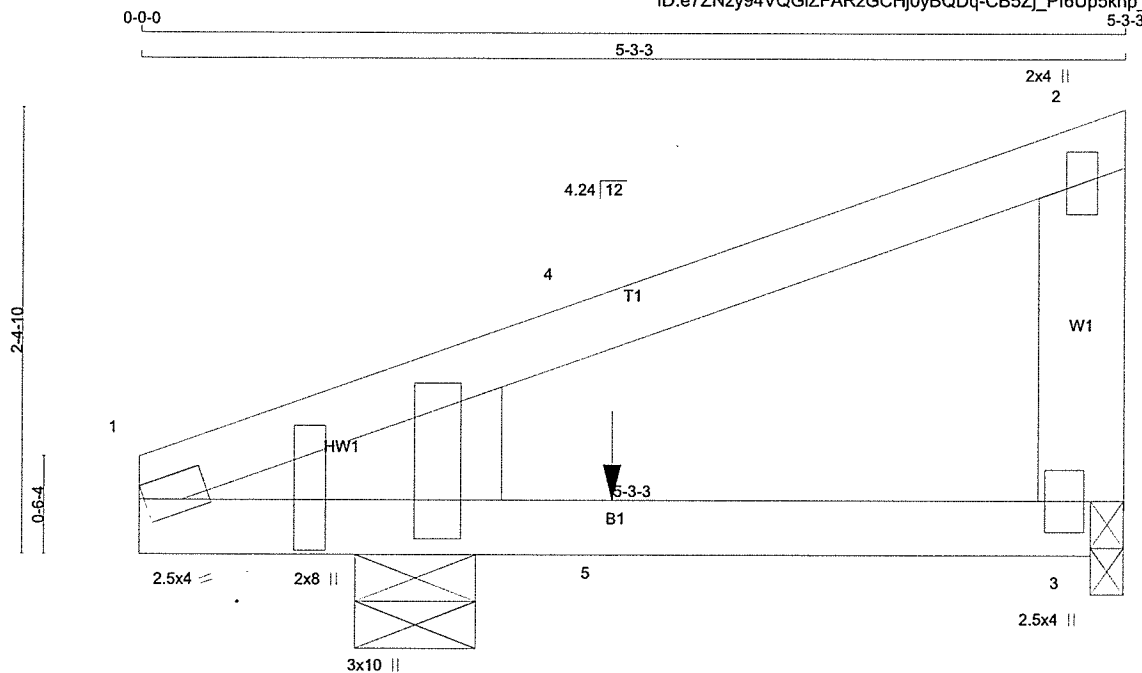


Plate Offsets (X,Y)- [1:Edge,0-0-13], [1:0-3-4,0-9-15], [1:0-2-8,1-5-10]

LOADING (psf)	SPACING-	CSI.	DEFL.	in (loc)	I/defl	L/d	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.81	Vert(LL)	-0.08	1-3	>780	MT20	197/144
(Ground Snow=52.0)	Plate Grip DOL 1.15	BC 0.68	Vert(TL)	-0.13	1-3	>481		
TCDL 7.0	Lumber DOL 1.15	WB 0.00	Horz(TL)	-0.00	3	n/a		
BCLL 0.0 *	Rep Stress Incr NO	(Matrix)	Wind(LL)	0.04	1-3	>999		
BCDL 8.0	Code IBC2012/TPI2007						Weight: 21 lb	FT = 20%

LUMBER-
TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
WEBS 2x6 SPF 1650F 1.5E
WEDGE
Left: 2x8 SP 2400F 2.0E

BRACING-
TOP CHORD Structural wood sheathing directly applied or 5-3-3 oc purlins, except end
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
MITek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (size) 1=0-7-12, 3=0-2-2
Max Horz 1=67(LC 7)
Max Uplift 1=53(LC 6), 3=65(LC 10)
Max Grav 1=350(LC 17), 3=368(LC 17)

FORCES. (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-4=-82/0, 2-4=-36/77, 2-3=-264/61
BOT CHORD 1-5=-21/16, 3-5=-21/16

NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1
- 3) Unbalanced snow loads have been considered for this design.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 6) Bearing at joint(s) 3 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 7) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 3.
- 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 53 lb uplift at joint 1 and 65 lb uplift at joint 3.
- 9) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 10) Hanger(s) or other connection device(s) shall be provided sufficient to support concentrated load(s) 64 lb down and 29 lb up at 2-6-5, and 64 lb down and 29 lb up at 2-6-5 on bottom chord. The design/selection of such connection device(s) is the responsibility of others.
- 11) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.
- 12) In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B).

LOAD CASE(S) Standard

1) Dead + Snow (balanced): Lumber Increase=1.15, Plate Increase=1.15
Uniform Loads (plf)

Vert: 1-2=-94, 1-3=-16

Concentrated Loads (lb)

5-408(C1, C4, C5, C6)

[illegible]

LUMBER-		BRACING-	
TOP CHORD	2x4 SPF No.2	TOP CHORD	Structural wood sheathing directly applied or 3-11-4 oc purlins, except
BOT CHORD	2x6 SPF 1650F 1.5E		2-0-0 oc purlins (3-11-6 max.): 4-7.
WEBS	2x3 SPF No.2	BOT CHORD	Rigid ceiling directly applied or 10-0-0 oc bracing.
SLIDER	Left 2x5 SPF 1650F 1.5E 1-9-3, Right 2x5 SPF 1650F 1.5E 1-9-3		

FORCES. (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-2=-8141/971, 2-3=-7994/984, 3-4=-7416/919, 4-5=-8249/1020, 5-18=-8245/1019, 18-19=-8245/1019, 6-19=-8245/1019, 6-7=-8274/1023,
7-8=-7409/918, 8-9=-7997/985, 9-10=-8143/972
BOT CHORD 1-17=-879/7061, 17-20=-879/7061, 16-20=-879/7061, 16-21=-801/6638, 15-21=-801/6638, 14-15=-976/8270, 13-14=-976/8270, 13-22=-763/6632,
12-22=-763/6632, 12-23=-842/7063, 11-23=-842/7063, 10-11=-842/7063
WEBS 3-17=-88/727, 3-16=-1034/161, 4-16=-193/1576, 4-15=-294/2223, 5-15=-710/100, 6-15=-155/113, 6-13=-702/111, 7-13=-300/2264, 7-12=-191/1561,
8-12=-1041/163, 8-11=-85/732

at 5-10-8 408 lb down and 75 lb up at 7-10-8 408 lb down and 75 lb up at 9-10-8 408 lb down and 75 lb up at 11-10-8 408 lb down and 75 lb up at 13-10-8

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	GH01	Hip Girder	2	2	Job Reference (optional)

Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wighlman 7,640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05:3 ID:e7ZNzy94VQGIZFARzGCHj0yBQDq-dmmhL?RXOPBgb9YZgEyXJGbUqG3ByDK

NOTES-

13) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

1) Dead + Snow (balanced): Lumber Increase=1.15, Plate Increase=1.15

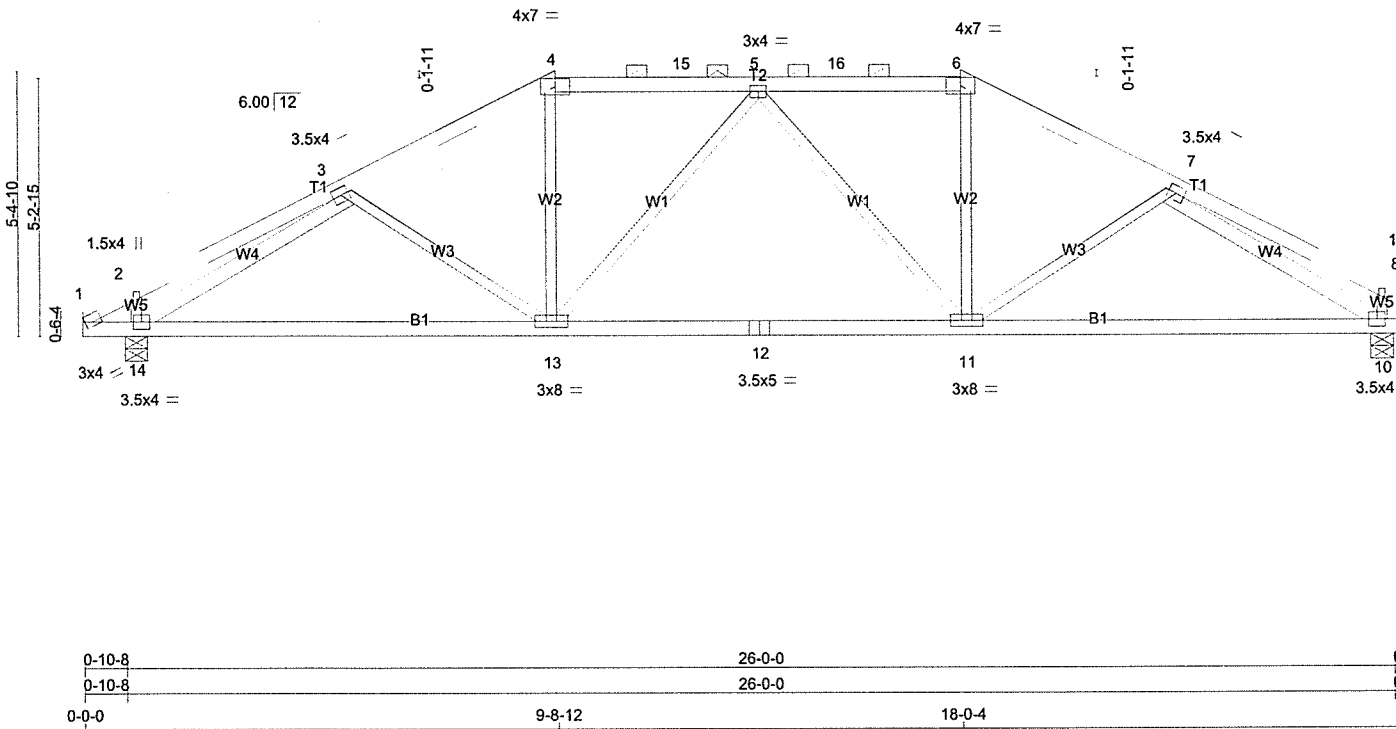
Uniform Loads (plf)

Vert: 1-4=-94, 4-7=-94, 7-10=-94, 1-10=-16

Concentrated Loads (lb)

Vert: 14=-408 17=-827 16=-408 15=-408 13=-408 12=-408 11=-827 20=-363(F) 21=-408 22=-408 23=-363(F)

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	H01A	Hip	2	1	
Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wightman					Job Reference (optional)
ID:e7ZNzy94VQGIZFARzGCHj0yBQDq-Z9uSmhSow0ROqTixof_?Ohgrz3jYQ_g7					7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05
0-0-0	5-5-3	9-8-12	13-10-8	18-0-4	22-3-13
5-5-3	4-3-9	4-1-12	4-1-12	4-3-9	5-5-3



LOADING (psf)	SPACING-	CSI.	DEFL.	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.48	in (loc) l/defl L/d	MT20	197/144
(Ground Snow=52.0)	Plate Grip DOL 1.15	BC 0.64	Vert(LL) -0.13 11-13 >999 360		
TCDL 7.0	Lumber DOL 1.15	WB 0.99	Vert(TL) -0.26 11-13 >999 240		
BCLL 0.0 *	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.09 10 n/a n/a		
BCDL 8.0	Code IBC2012/TPI2007		Wind(LL) 0.03 11-13 >999 240		
				Weight: 104 lb	FT = 20%

LUMBER-	BRACING-
TOP CHORD 2x4 SPF No.2	TOP CHORD
BOT CHORD 2x4 SPF No.2	
WEBS 2x3 SPF No.2 *Except*	BOT CHORD
W4: 2x4 SPF No.2	
	Structural wood sheathing directly applied or 3-7-5 oc purlins, except 2-0-0 oc purlins (4-2-1 max.): 4-6.
	Rigid ceiling directly applied or 10-0-0 oc bracing.
	MiTek recommends that Stabilizers and required cross bracing be in truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (size) 14=0-5-8, 10=0-5-8
Max Horz 14=66(LC 14)
Max Uplift 14=91(LC 10), 10=91(LC 11)
Max Grav 14=1890(LC 28), 10=1890(LC 28)

FORCES. (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-2=-310/0, 2-3=-481/25, 3-4=-2038/97, 4-15=-1684/111, 5-15=-1686/111, 5-16=-1686/111, 6-16=-1684/111, 6-7=-2038/97, 7-8=-481/25, 8-9=-310/0
BOT CHORD 1-14=0/301, 13-14=-123/1994, 12-13=-79/1969, 11-12=-79/1969, 10-11=-58/1994, 9-10=0/301
WEBS 3-13=-359/185, 4-13=0/418, 5-13=-487/91, 5-11=-487/91, 6-11=0/418, 7-11=-359/185, 3-14=-2050/117, 7-10=-2050/117, 2-14=-579/130, 8-10=-579/130

NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCDL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1, Lu=50-0-0
- 3) Unbalanced snow loads have been considered for this design.
- 4) Provide adequate drainage to prevent water ponding.
- 5) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 6) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 91 lb uplift at joint 14 and 91 lb uplift at joint 10.
- 8) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 9) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.
- 10) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	H01B	Hip	2	1	
Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wightman					
Job Reference (optional)					
ID:e7ZNzy94VQGIZFARzGCHj0yBQDq-VX0CBNU2Sdh53msKv30TT6m3stQxu					
7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05:20-5-8					
0-0-0	7-3-8	4-5-4	11-8-12	4-3-8	4-5-4
7-3-8	4-5-4	11-8-12	4-3-8	4-5-4	7-3-8

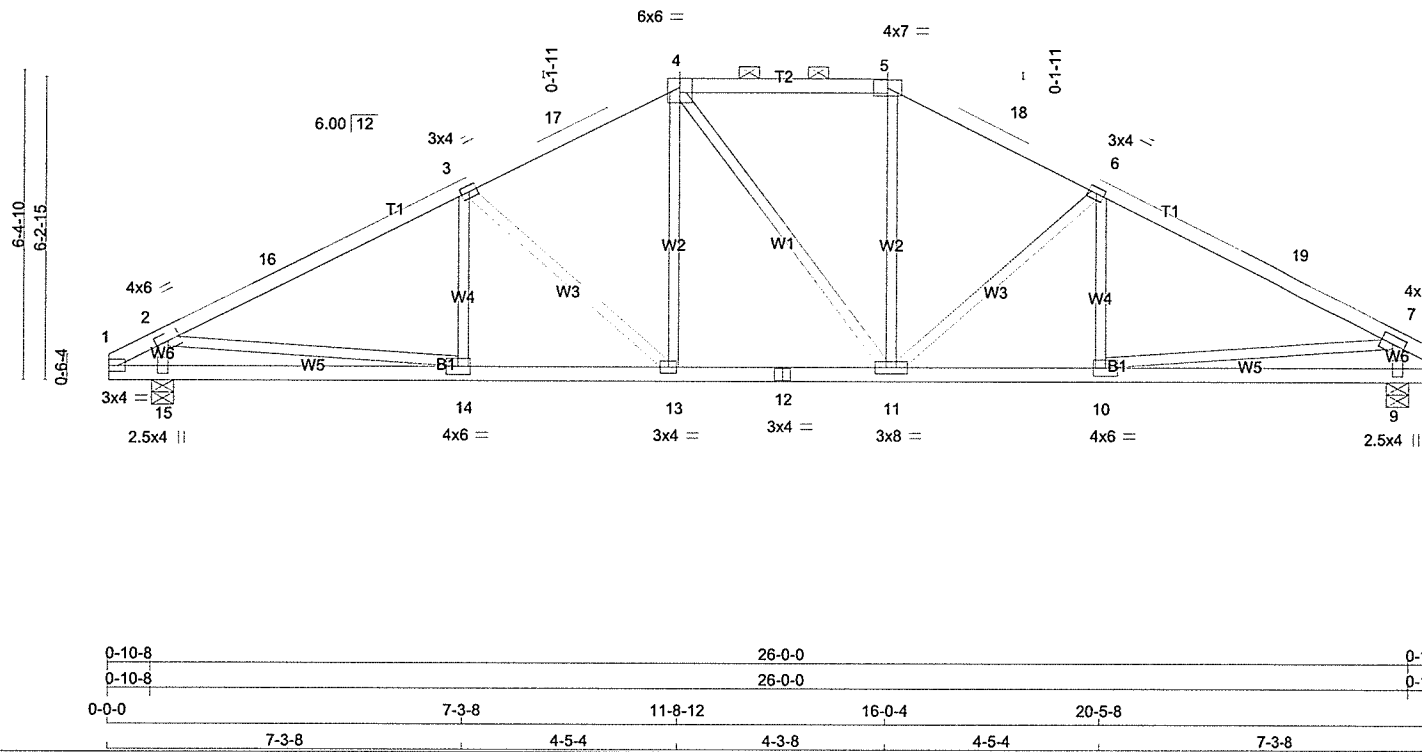


Plate Offsets (X,Y) - [8:Edge,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL.	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.97	in (loc) l/defl L/d	MT20	197/144
(Ground Snow=52.0)	Plate Grip DOL 1.15	BC 0.58	Vert(LL) -0.15 13-14 >999 360		
TCDL 7.0	Lumber DOL 1.15	WB 0.58	Vert(TL) -0.21 11-13 >999 240		
BCLL 0.0 *	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.07 9 n/a n/a		
BCDL 8.0	Code IBC2012/TPI2007		Wind(LL) 0.03 13 >999 240		
				Weight: 107 lb	FT = 20%

LUMBER-
TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
WEBS 2x3 SPF No.2

BRACING-
TOP CHORD
BOT CHORD

Structural wood sheathing directly applied, except
2-0-0 oc purlins (4-2-0 max.); 4-5.
Rigid ceiling directly applied or 10-0-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (size) 15=0-5-8, 9=0-5-8
Max Horz 15=79(LC 10)
Max Uplift 15=104(LC 10), 9=104(LC 11)
Max Grav 15=2124(LC 28), 9=2124(LC 28)

FORCES. (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-2=-534/15, 2-16=-2827/119, 3-16=-2605/133, 3-17=-2208/115, 4-17=-2029/130, 4-5=-1818/137, 5-18=-2031/130, 6-18=-2210/115, 6-19=-2605/133,
7-19=-2826/119, 7-8=-535/19
BOT CHORD 1-15=-45/645, 14-15=-123/645, 13-14=-117/2330, 12-13=-33/1816, 11-12=-33/1816, 10-11=-39/2330, 9-10=-49/646, 8-9=-49/646
WEBS 3-14=-147/114, 3-13=-677/112, 4-13=-34/525, 4-11=-252/256, 5-11=-13/524, 6-11=-673/112, 6-10=-149/113, 2-14=-6/1698, 2-15=-2035/193,
7-10=-10/1696, 7-9=-2034/192

NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1, Lu=50-0-0
- 3) Unbalanced snow loads have been considered for this design.
- 4) Provide adequate drainage to prevent water ponding.
- 5) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 6) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 104 lb uplift at joint 15 and 104 lb uplift at joint 9.
- 8) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 9) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.
- 10) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	H01C	Hip	2	1	
Structures R.B.R. Inc., Saints-Anges, Beauce, Canada, Karina Wightman					Job Reference (optional)
ID:e7ZNzy94VQGIZFARzGCHj0yBQDq-zkaaOjVgDxpyhwQWTnXi0KIHTHn?dN					7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:0
0-0-0	8-3-9	5-5-3	0-1-12 0-1-12	5-5-3	13-8-12 13-10-8 14-0-4 19-5-7

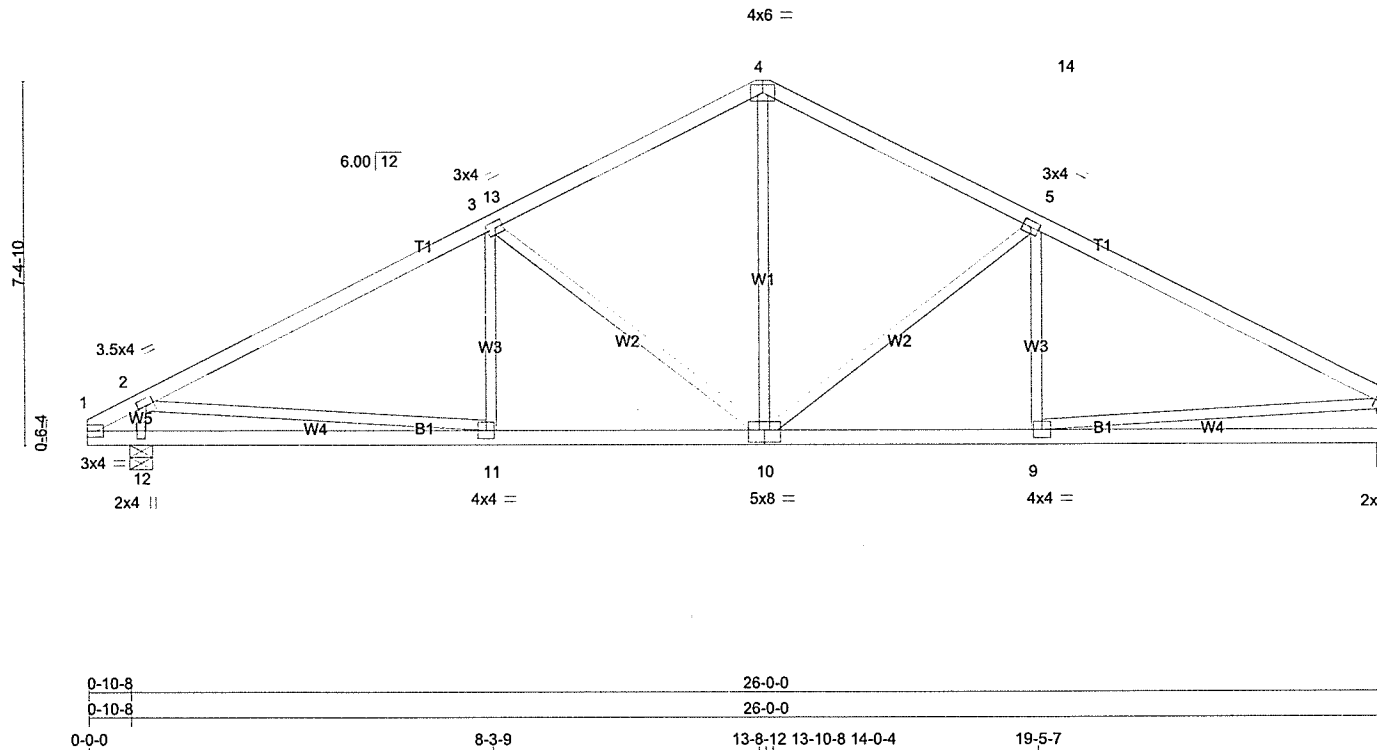


Plate Offsets (X,Y)-- [7:Edge,0-1-8], [10:0-4-0,0-3-0]

LOADING (psf)	SPACING-	2-0-0	CSI.	DEFL.	in (loc)	I/defl	L/d	PLATES	GRIP
TCLL 40.0	Plate Grip DOL	1.15	TC 0.78	Vert(LL)	-0.11	9-10	>999	360	MT20
(Ground Snow=52.0)	Lumber DOL	1.15	BC 0.46	Vert(TL)	-0.18	9-10	>999	240	197/144
TCDL 7.0	Rep Stress Incr	YES	WB 0.86	Horz(TL)	0.05	8	n/a	n/a	
BCLL 0.0 *	Code IBC2012/TPI2007		(Matrix)	Wind(LL)	0.03	10	>999	240	
BCDL 8.0									Weight: 103 lb FT = 20%

LUMBER-

TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
WEBS 2x3 SPF No.2

BRACING-

TOP CHORD Structural wood sheathing directly applied or 2-10-2 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be in truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (size) 12=0-5-8, 8=0-5-8
Max Horz 12=93(LC 10)
Max Uplift 12=115(LC 10), 8=115(LC 11)
Max Grav 12=1527(LC 1), 8=1527(LC 1)

FORCES. (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=-478/22, 2-3=-2093/151, 3-13=-1559/134, 4-13=-1547/154, 4-14=-1547/154, 5-14=-1559/134, 5-6=-2093/151, 6-7=-478/27
BOT CHORD 1-12=-67/572, 11-12=-160/572, 10-11=-139/1732, 9-10=-46/1732, 8-9=-72/572, 7-8=-72/572
WEBS 3-11=-33/176, 3-10=-703/139, 5-10=-703/139, 5-9=-33/176, 4-10=-47/798, 2-11=-20/1167, 2-12=-1430/230, 6-9=-25/1167, 6-8=-1430/228

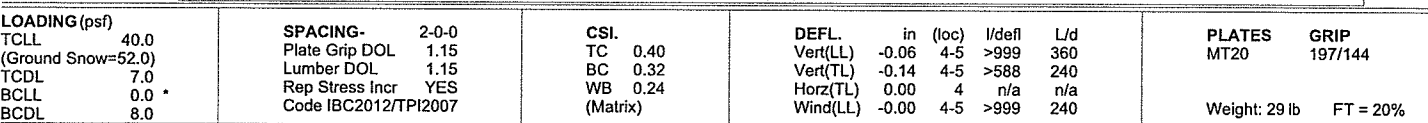
NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCCL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCCL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1
- 3) Unbalanced snow loads have been considered for this design.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 115 lb uplift at joint 12 and 115 lb uplift at joint 8.
- 7) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 8) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wightman

7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05



TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
WEBS 2x3 SPF No.2 *Except*
W1: 2x4 SPF No.2

BRACING-
TOP CHORD
BOT CHORD

Structural wood sheathing directly applied or 6-0-0 oc purlins, except end
Rigid ceiling directly applied or 6-0-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (size) 5=0-5-8, 4=0-1-8
Max Horz5=124(LC 7)
Max Uplift5=-34(LC 10), 4=-59(LC 10)
Max Grav5=495(LC 17), 4=424(LC 17)

FORCES. (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-302/127, 2-6=-128/19, 3-6=-57/71, 3-4=-210/38
 BOT CHORD 1-5=-23/258, 4-5=-87/408
 WEBS 2-4=-443/125, 2-5=-530/199

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed ; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1
- 3) Unbalanced snow loads have been considered for this design.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 6) Bearing at joint(s) 4 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 7) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 4.
- 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 34 lb uplift at joint 5 and 59 lb uplift at joint 4.
- 9) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 10) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

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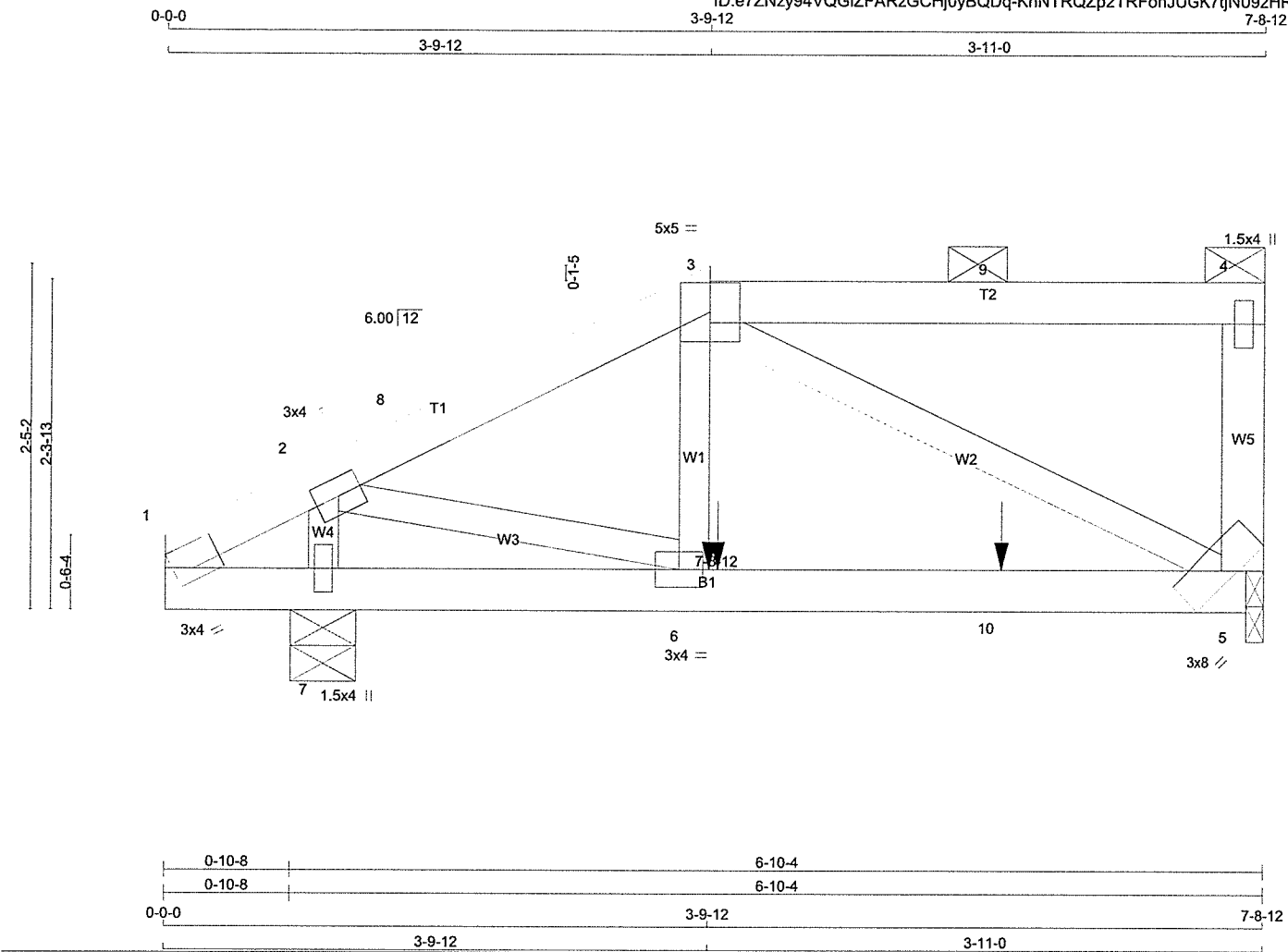
LUMBER- TOP CHORD 2x4 SPF No.2 BOT CHORD 2x4 SPF No.2 WEBS 2x3 SPF No.2 *Except* W4: 2x4 SPF No.2	BRACING- TOP CHORD BOT CHORD	Structural wood sheathing directly applied or 6-0-0 oc purlins, except 2-0-0 oc purlins: 3-4. Rigid ceiling directly applied or 6-0-0 oc bracing. MiTek recommends that Stabilizers and required cross bracing be in place prior to truss erection, in accordance with Stabilizer Installation guide.
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FORCES. (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-83/263, 2-3=-359/21, 3-4=-31/25, 4-5=-137/20
 BOT CHORD 1-7=-114/68, 6-7=-79/510, 5-6=-31/193
 WEBS 2-6=-337/87, 3-6=0/178, 3-5=-386/26, 2-7=-870/116

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed ; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1, Lu=50-0-0
- 3) Unbalanced snow loads have been considered for this design.
- 4) Provide adequate drainage to prevent water ponding.
- 5) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 6) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 7) Bearing at joint(s) 5 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 8) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 5.
- 9) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 39 lb uplift at joint 7 and 40 lb uplift at joint 5.
- 10) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 11) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.
- 12) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	J01B	Half Hip Girder	4	1	
Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wightman					
ID:e7ZNzy94VQGIZFARzGCHj0yBQDq-KhNTRQZp2TRFohJUGK7ijN092HR6IliJ					
7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05					
Job Reference (optional)					



LOADING (psf)	SPACING-	CSI.	DEFL.	in	(loc)	I/defl	L/d	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.66	Vert(LL)	-0.04	5-6	>999	360	MT20	197/144
(Ground Snow=52.0)	Plate Grip DOL 1.15	BC 0.72	Vert(TL)	-0.07	5-6	>999	240		
TCDL 7.0	Lumber DOL 1.15	WB 0.42	Horz(TL)	0.01	5	n/a	n/a		
BCLL 0.0 *	Rep Stress Incr NO	(Matrix)	Wind(LL)	0.02	5-6	>999	240		
BCDL 8.0	Code IBC2012/TPI2007							Weight: 27 lb	FT = 20%

LUMBER-	BRACING-
TOP CHORD 2x4 SPF No.2	TOP CHORD Structural wood sheathing directly applied or 5-11-11 oc purlins, except
BOT CHORD 2x4 SPF No.2	and 2-0-0 oc purlins (6-0-0 max.): 3-4.
WEBS 2x3 SPF No.2 *Except*	Rigid ceiling directly applied or 6-0-0 oc bracing.
W5: 2x4 SPF No.2	MiTek recommends that Stabilizers and required cross bracing be installed
	truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (size) 7=0-5-8, 5=0-1-8
Max Horz 7=62(LC 7)
Max Uplift 7=-119(LC 10), 5=-123(LC 7)
Max Grav 7=1005(LC 26), 5=843(LC 25)

FORCES. (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-2=-22/67, 2-8=-934/135, 3-8=-896/143, 3-9=-21/17, 4-9=-21/17, 4-5=-293/41
BOT CHORD 1-7=-6/35, 6-7=-63/38, 6-10=-152/782, 5-10=-152/782
WEBS 3-6=-99/558, 3-5=-893/159, 2-6=-116/812, 2-7=-988/141

NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1, Lu=50-0-0
- 3) Unbalanced snow loads have been considered for this design.
- 4) Provide adequate drainage to prevent water ponding.
- 5) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 6) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 7) Bearing at joint(s) 5 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 8) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 5.
- 9) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 119 lb uplift at joint 7 and 123 lb uplift at joint 5.
- 10) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 11) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.
- 12) Hanger(s) or other connection device(s) shall be provided sufficient to support concentrated load(s) 540 lb down and 137 lb up at 3-9-12, and 194 lb down and 49 lb up at 5-10-8 on bottom chord. The design/selection of such connection device(s) is the responsibility of others.
- 13) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

- 1) Dead + Snow (balanced): Lumber Increase=1.15, Plate Increase=1.15
- Uniform Loads (plf)
Vert: 1-3=-94, 3-4=-94, 1-5=-16
- Concentrated Loads (lb)

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	M01	Jack-Open	8	1	
Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wightman					Job Reference (optional)
					7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:0
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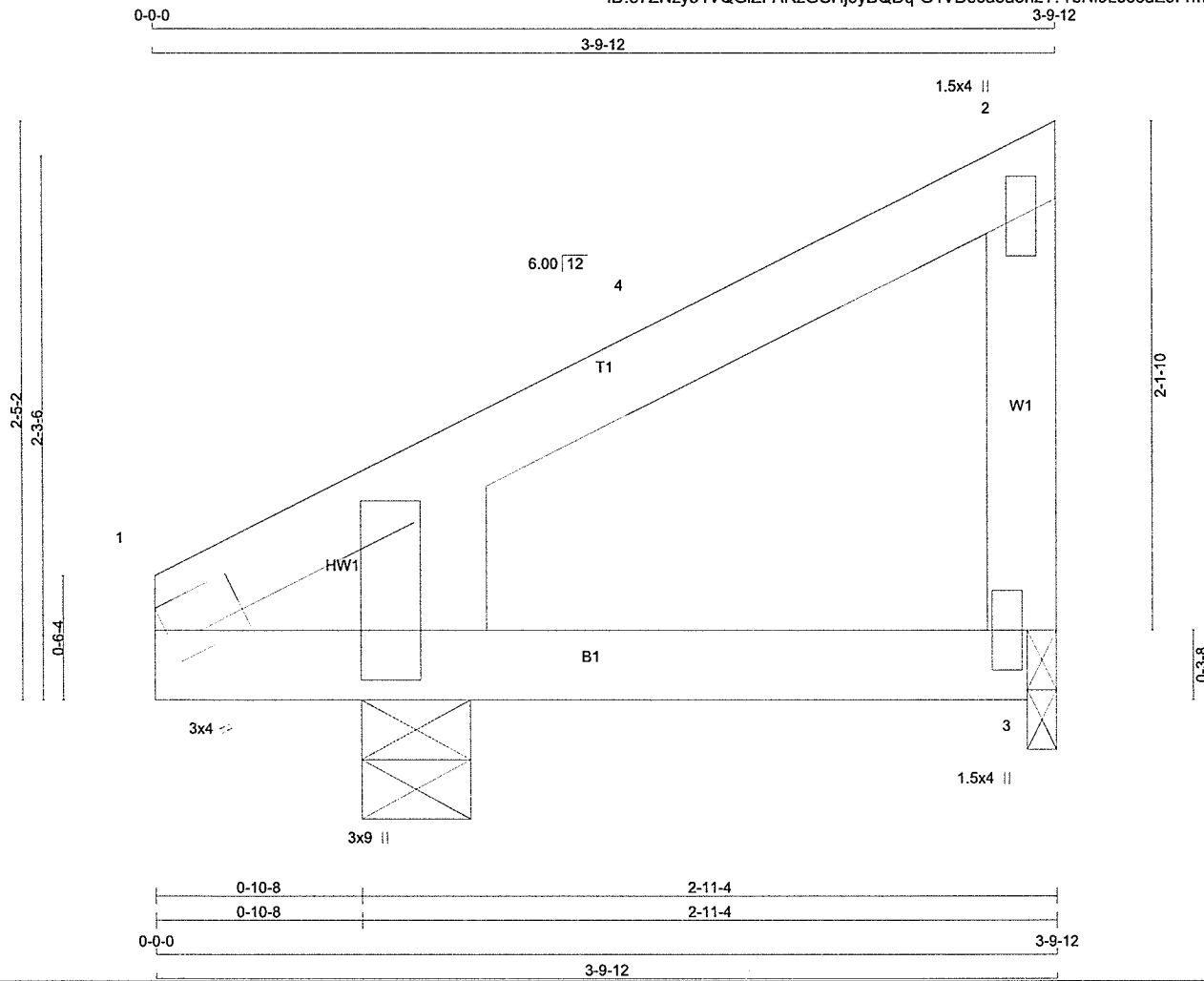


Plate Offsets (X,Y)-- [1:Edge,0-1-0], [1:0-2-8,0-10-8]

LOADING (psf)	SPACING-	CSI.	DEFL.	in (loc)	I/defl	L/d	PLATES	GRIP
TCLL 40.0	2-0-0	TC 0.34	Vert(LL)	-0.01	1-3	>999	MT20	197/144
(Ground Snow=52.0)	Plate Grip DOL 1.15	BC 0.13	Vert(TL)	-0.03	1-3	>999		
TCDL 7.0	Lumber DOL 1.15	WB 0.00	Horz(TL)	0.00	3	n/a		
BCLL 0.0 *	Rep Stress Incr YES	(Matrix)	Wind(LL)	0.00	1	****		
BCDL 8.0	Code IBC2012/TPI2007						Weight: 15 lb	FT = 20%

LUMBER-

TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
WEBS 2x4 SPF No.2
WEDGE
Left: 2x8 SP 2400F 2.0E

BRACING-

TOP CHORD Structural wood sheathing directly applied or 3-9-12 oc purlins, except
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be in truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (size) 1=0-5-8, 3=0-1-8
Max Horz 1=71(LC 7)
Max Uplift 1=12(LC 10), 3=33(LC 10)
Max Grav 1=209(LC 17), 3=210(LC 17)

FORCES. (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-4=-77/23, 2-4=-37/65, 2-3=-180/51
BOT CHORD 1-3=-18/23

NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCCL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1
- 3) Unbalanced snow loads have been considered for this design.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 6) Bearing at joint(s) 3 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 7) Provide mechanical connection (by others) of truss to bearing plate at joint(s) 3.
- 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 12 lb uplift at joint 1 and 33 lb uplift at joint 3.
- 9) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 10) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard

Job	Truss	Truss Type	Qty	Ply	Fairbanks-Rowan-US
I64862-T	M01A	Jack-Closed	8	1	
Structures R.B.R. inc., Saints-Anges, Beauce, Canada, Karina Wightman					
Job Reference (optional)					
ID:e7ZNzy94VQGIZFARzGCHj0yBQDq-CSd_HocJ5iyhGJdFVACptDA?bvylEeGu					
7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05:					

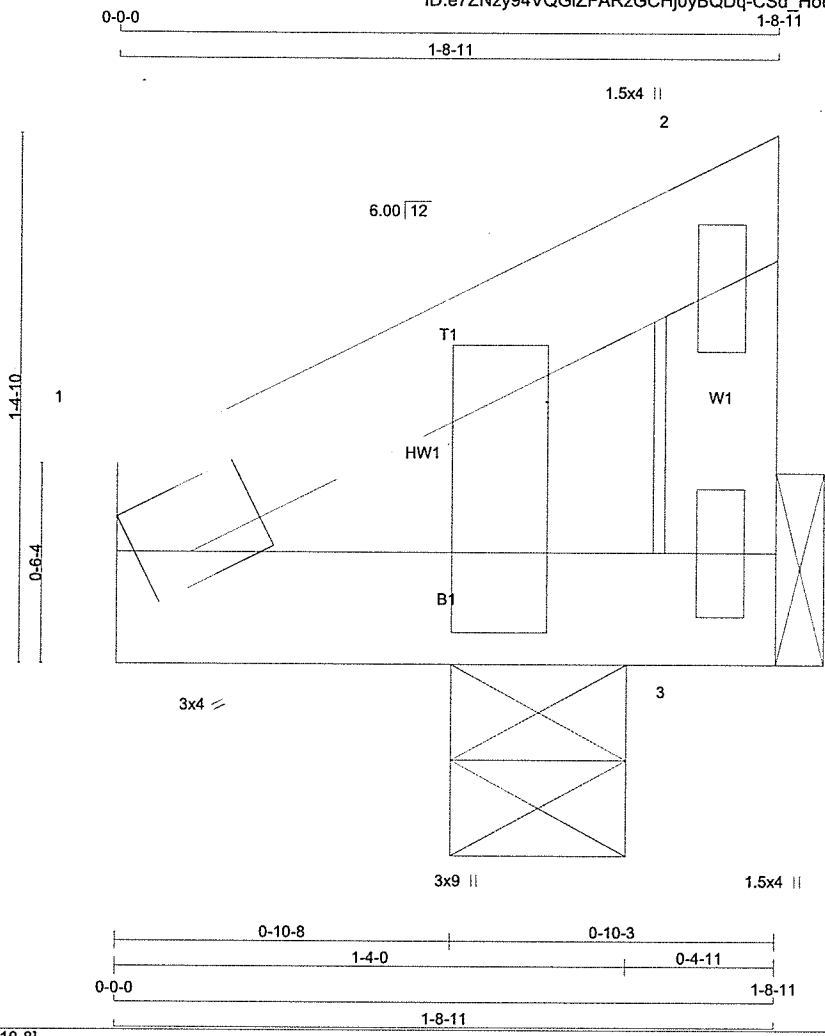


Plate Offsets (X,Y)-- [1:Edge,0-1-0], [1:0-2-8,0-10-8]

LOADING (psf)		SPACING-		CSI.		DEFL.				PLATES	GRIP
TCLL	40.0	Plate Grip DOL	1.15	TC	0.05	in	(loc)	I/defl	L/d	MT20	197/144
(Ground Snow=52.0)		Lumber DOL	1.15	BC	0.07	Vert(LL)	-0.00	1	>999		
TCDL	7.0	Rep Stress Incr	YES	WB	0.00	Vert(TL)	-0.00	1	>999		
BCLL	0.0 *	Code IBC2012/TPI2007		(Matrix)		Horz(TL)	-0.00	3	n/a		
BCDL	8.0					Wind(LL)	0.00	1	>999		
										Weight: 9 lb	FT = 20%

LUMBER-

TOP CHORD 2x4 SPF No.2
 BOT CHORD 2x4 SPF No.2
 WEBS 2x4 SPF No.2
 WEDGE
 Left: 2x8 SP 2400F 2.0E

BRACING-

TOP CHORD Structural wood sheathing directly applied or 1-8-11 oc purlins, except er
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
 MiTek recommends that Stabilizers and required cross bracing be insta
 truss erection, in accordance with Stabilizer Installation guide.

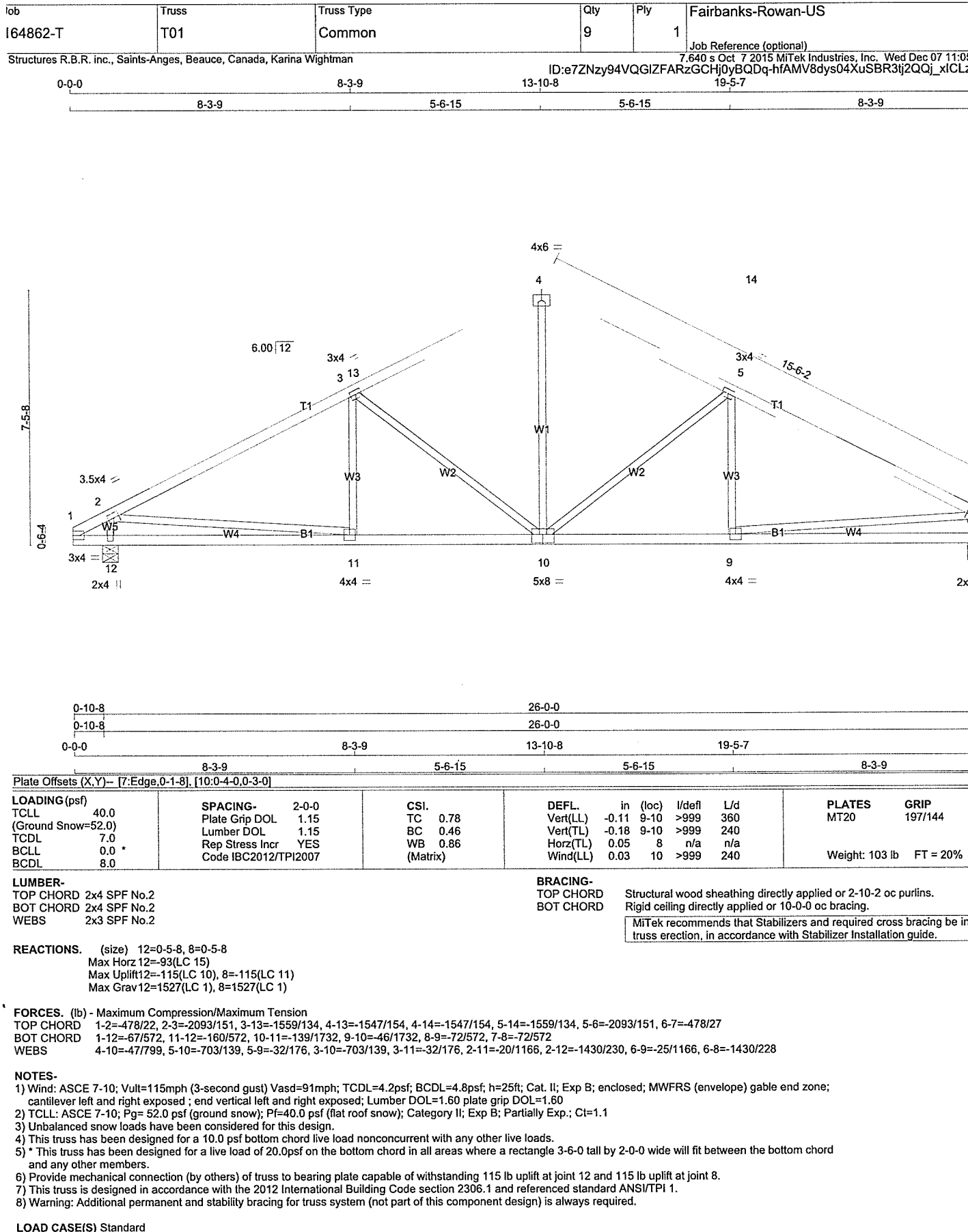
REACTIONS. (size) 3=Mechanical, 1=0-5-8
 Max Horz 1=31(LC 7)
 Max Uplift3=-15(LC 10), 1=-6(LC 6)
 Max Grav3=87(LC 1), 1=87(LC 1)

FORCES. (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-39/32, 2-3=-74/22
 BOT CHORD 1-3=-11/8

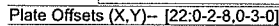
NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed ; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1
- 3) Unbalanced snow loads have been considered for this design.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 15 lb uplift at joint 3 and 6 lb uplift at joint 1.
- 7) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 8) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.

LOAD CASE(S) Standard



Job Reference (optional)
7.640 s Oct 7 2015 MiTek Industries, Inc. Wed Dec 07 11:05
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13-10-8



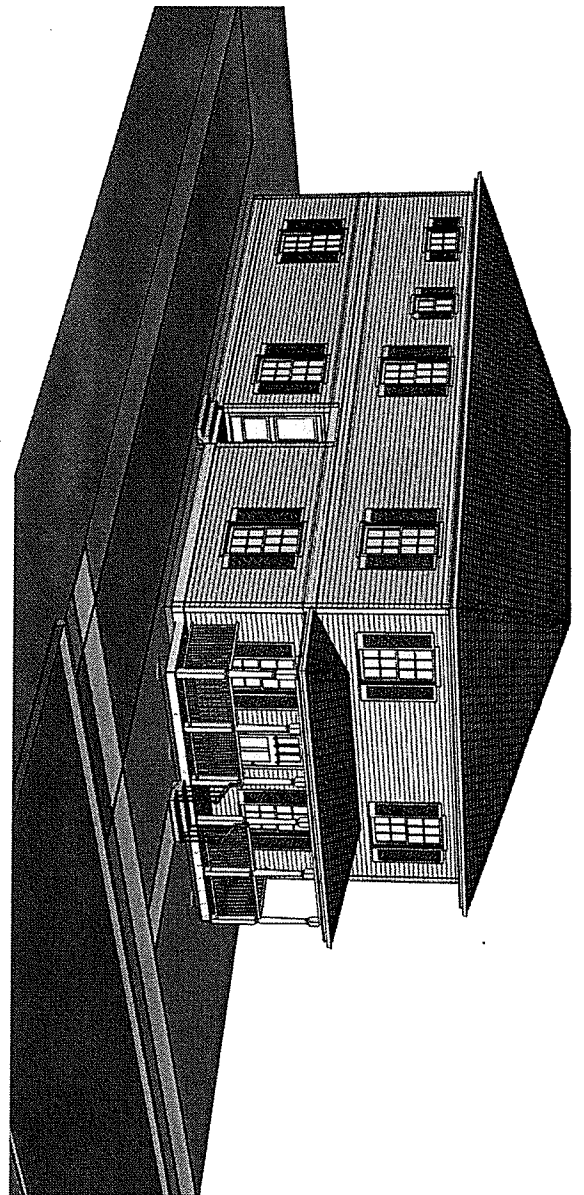
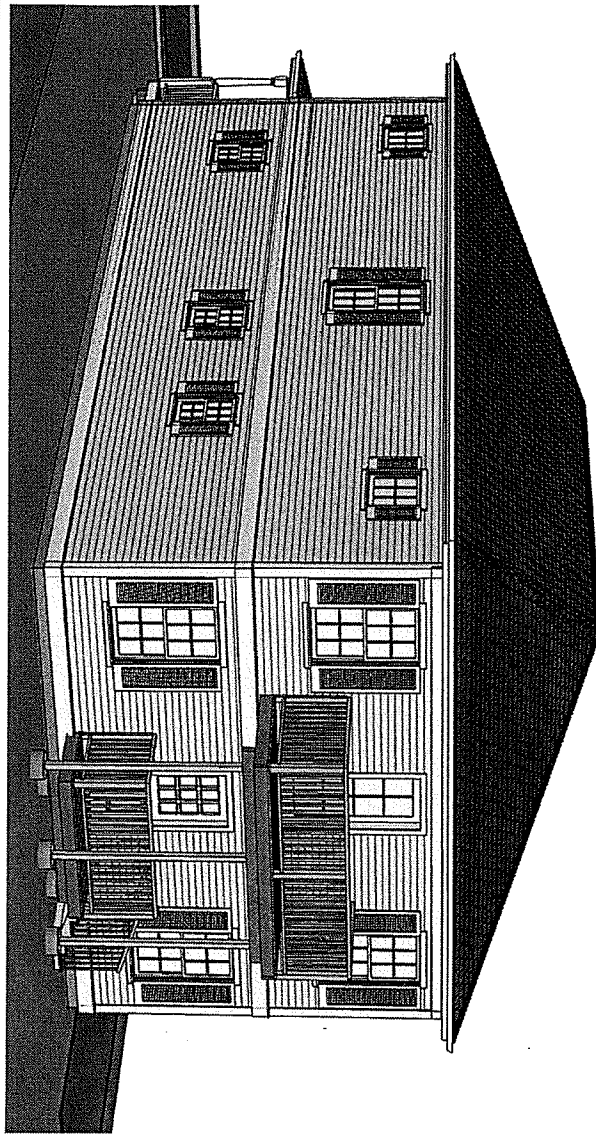
LUMBER-
TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
OTHERS 2x3 SPF No.2

BRACING- TOP CHORD	Structural wood sheathing directly applied or 10-0-0 oc purlins.
BOT CHORD	Rigid ceiling directly applied or 6-0-0 oc bracing.
MiTek recommends that Stabilizers and required cross bracing be installed in accordance with Stabilizer Installation guide.	

FORCES. (lb) - Maximum Compression/Maximum Tension

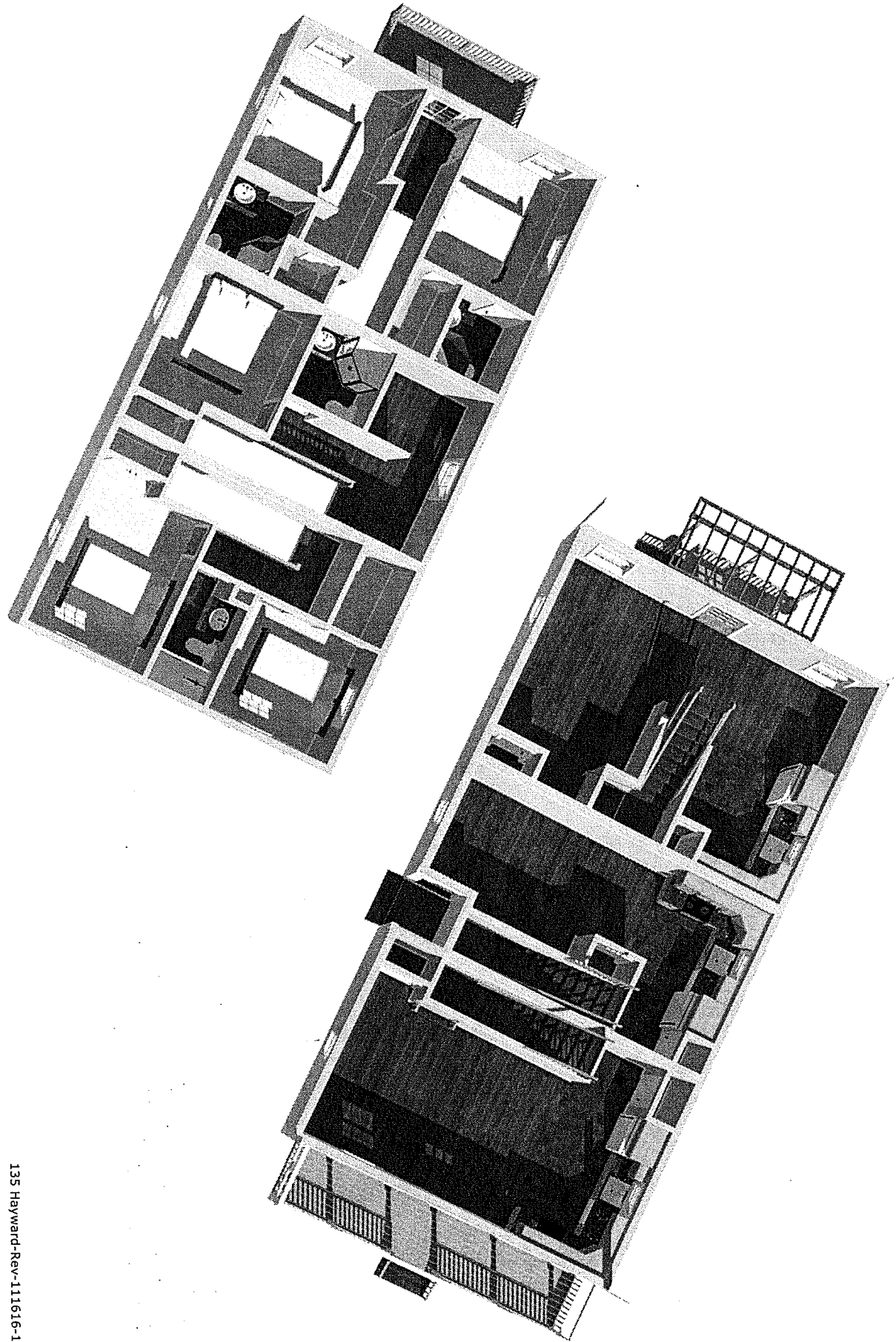
NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDF=4.2psf; BCDL=4.8psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) gable end zone; cantilever left and right exposed ; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- 3) TCLL: ASCE 7-10; Pg= 52.0 psf (ground snow); Pf=40.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.1
- 4) Unbalanced snow loads have been considered for this design.
- 5) All plates are 1.5x4 MT20 unless otherwise indicated.
- 6) Gable studs spaced at 2-0-0 o.c.
- 7) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 8) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 9) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 32 lb uplift at joint 23, 42 lb uplift at joint 24, 42 lb uplift at joint 25, 29 lb uplift at joint 26, 83 lb uplift at joint 27, 45 lb uplift at joint 28, 31 lb uplift at joint 21, 43 lb uplift at joint 20, 41 lb uplift at joint 19, 30 lb uplift at joint 18, 76 lb uplift at joint 17 and 36 lb uplift at joint 16.
- 10) Non Standard bearing condition. Review required.
- 11) This truss is designed in accordance with the 2012 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 12) Warning: Additional permanent and stability bracing for truss system (not part of this component design) is always required.



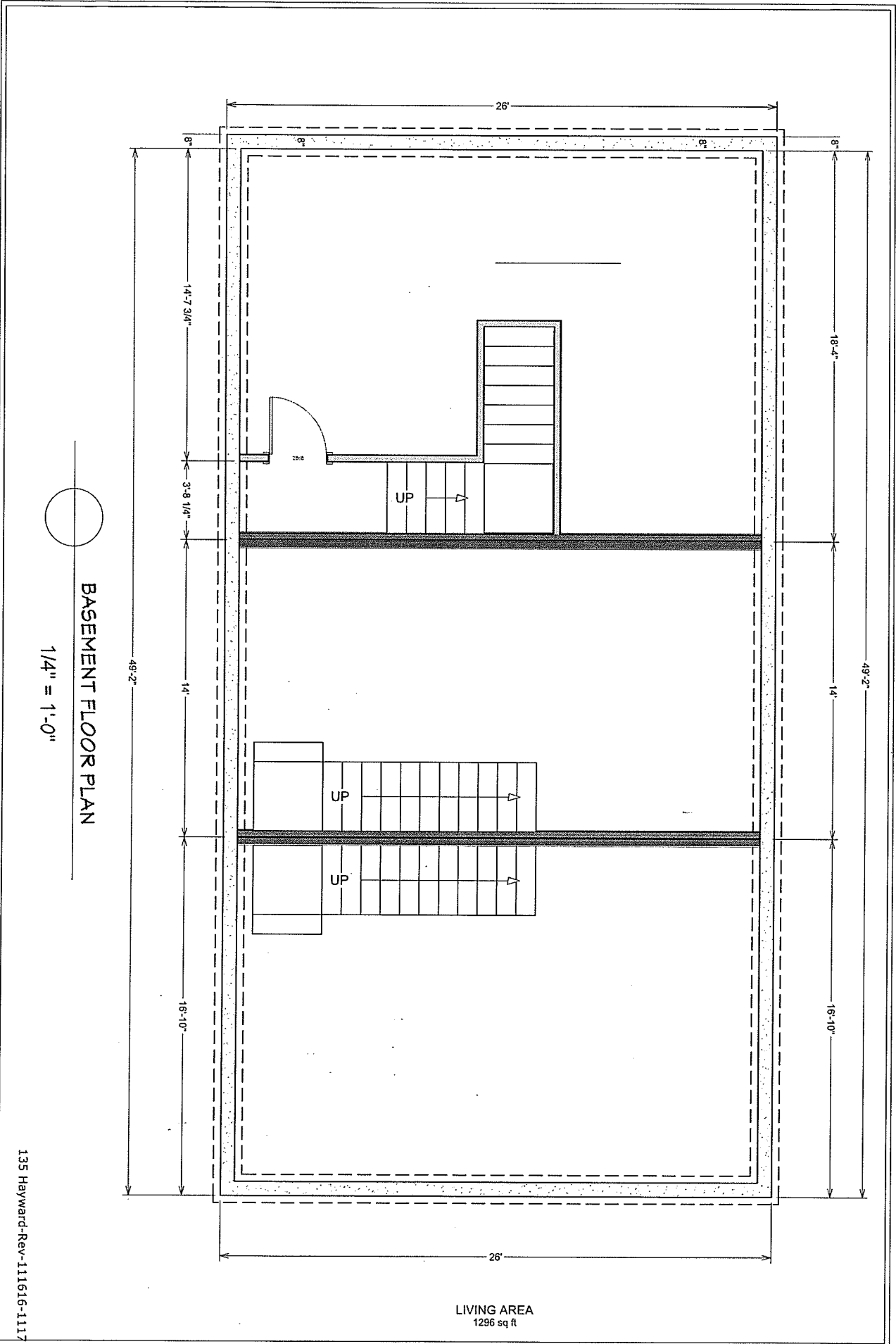
135 Hayward-Rev-111616-1117

SHEET: A-1	NONE	SCALE: 11/16/201	DATE: 11/16/201	DRAWINGS PROVIDED BY: Kim Brown Projects Box 52 Waterbury Center, Vermont 05677	PROJECT DESCRIPTION: TRIPLEX 135 HAYWARD STREET BURLINGTON, VERMONT	SHEET TITLE:	<table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE																	3D.1
						NO.		DESCRIPTION	BY	DATE																		
EXTERIOR OVERVIEWS																												



135 Hayward-Rev-111616-1117

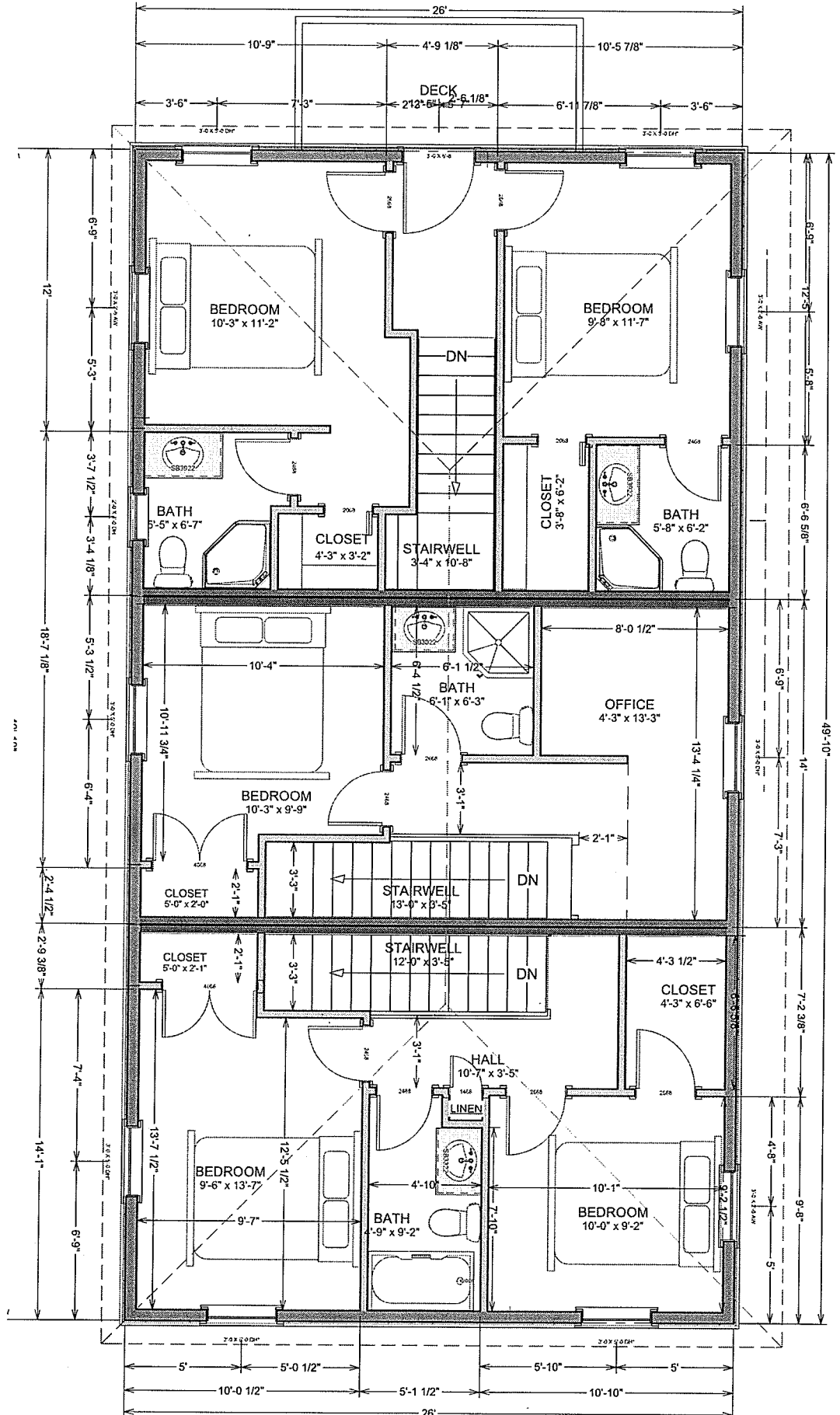
SHEET: A-2	DATE: 11/16/20	SCALE: 1"=10'	DRAWINGS PROVIDED BY: Kim Brown Projects Box 92	PROJECT DESCRIPTION: TRIPLEX 135 HAYWARD STREET	SHEET TITLE: INTERIOR OVERVIEW	NO.	DESCRIPTION	BY	DATE



2ND FLOOR PLAN

1/4" = 1'-0"

135 Hayward-Rev-111616-1117



A-5

SHEET:

SCALE:

DATE:

11/16/2016

1/4" = 1'-0"

DRAWINGS PROVIDED BY:

Kim Brown Projects

Box 92
Waterbury Center, Vermont 05677
802.246.1166

PROJECT DESCRIPTION:

TRIPLEX
135 HAYWARD STREET
BURLINGTON, VERMONT

SHEET TITLE:

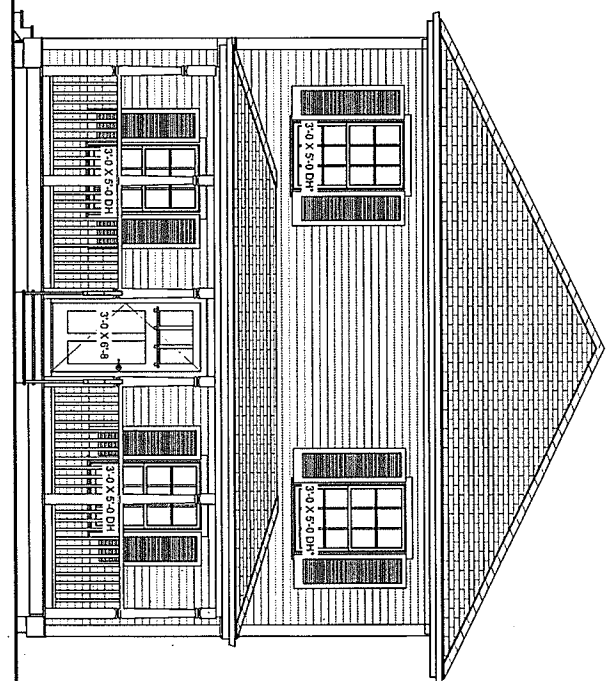
2ND FLOOR PLAN

NO.	DESCRIPTION	BY	DATE

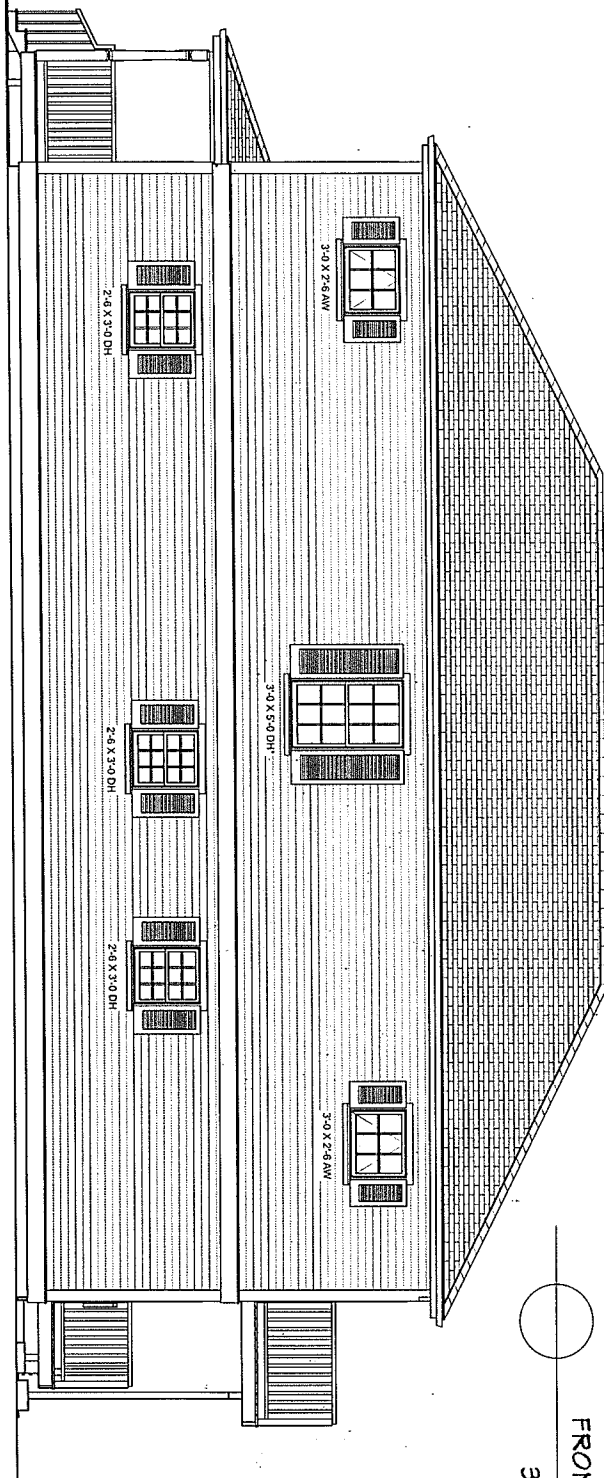
A1.2



RIGHT ELEVATION
3/16" = 1'-0"



FRONT ELEVATION (EAST)
3/16" = 1'-0"



135 Hayward-Rev-111616-1117

A-6

SHEET:	3/16" = 1'-0"
SCALE:	11/16/20
DATE:	11/16/20

DRAWINGS PROVIDED BY:
Kim Brown Projects
Box 52
Watkins Center, Vermont 05672

PROJECT DESCRIPTION:
TRIPLEX
135 HAYWARD STREET
BURLINGTON, VERMONT 05401

SHEET TITLE:
ENTRY & RIGHT ELEVATIONS

NO.	DESCRIPTION	BY	DATE



REAR ELEVATION

3/16" = 1'-0"



LEFT ELEVATION

3/16" = 1'-0"

135 Hayward-Rev-111616-1117

DATE:

11/16/2016

SCALE:

1/4" = 1'-0"

SHEET:

A-7

DRAWINGS PROVIDED BY:

Kim Brown Projects

Box 92
Waterbury Center, Vermont 05677
802.244.3143

PROJECT DESCRIPTION:

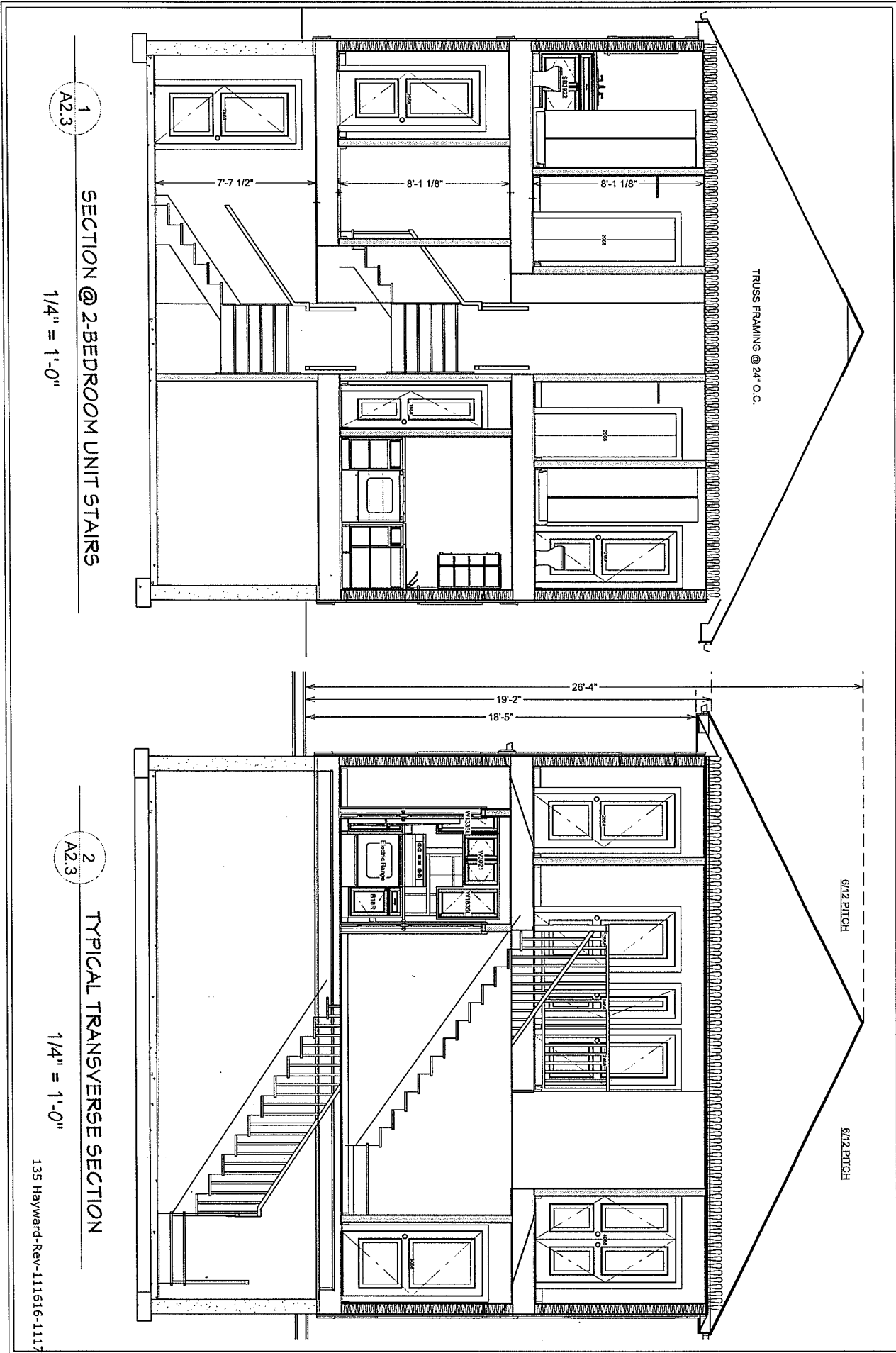
TRIPLEX
135 HAYWARD STREET
BURLINGTON, VERMONT

SHEET TITLE:

LEFT & REAR ELEVATIONS

NO.	DESCRIPTION	BY	DATE

A2.2



A-8

SHEET:

SCALE:

1/4" = 1'-0"

DATE:

11/16/20

DRAWINGS PROVIDED BY:
Kim Brown Projects
Box 92
Waltham Center, Vermont, 05477

PROJECT DESCRIPTION:
TRIPLEX
135 HAYWARD STREET
DUBLIN, VERMONT

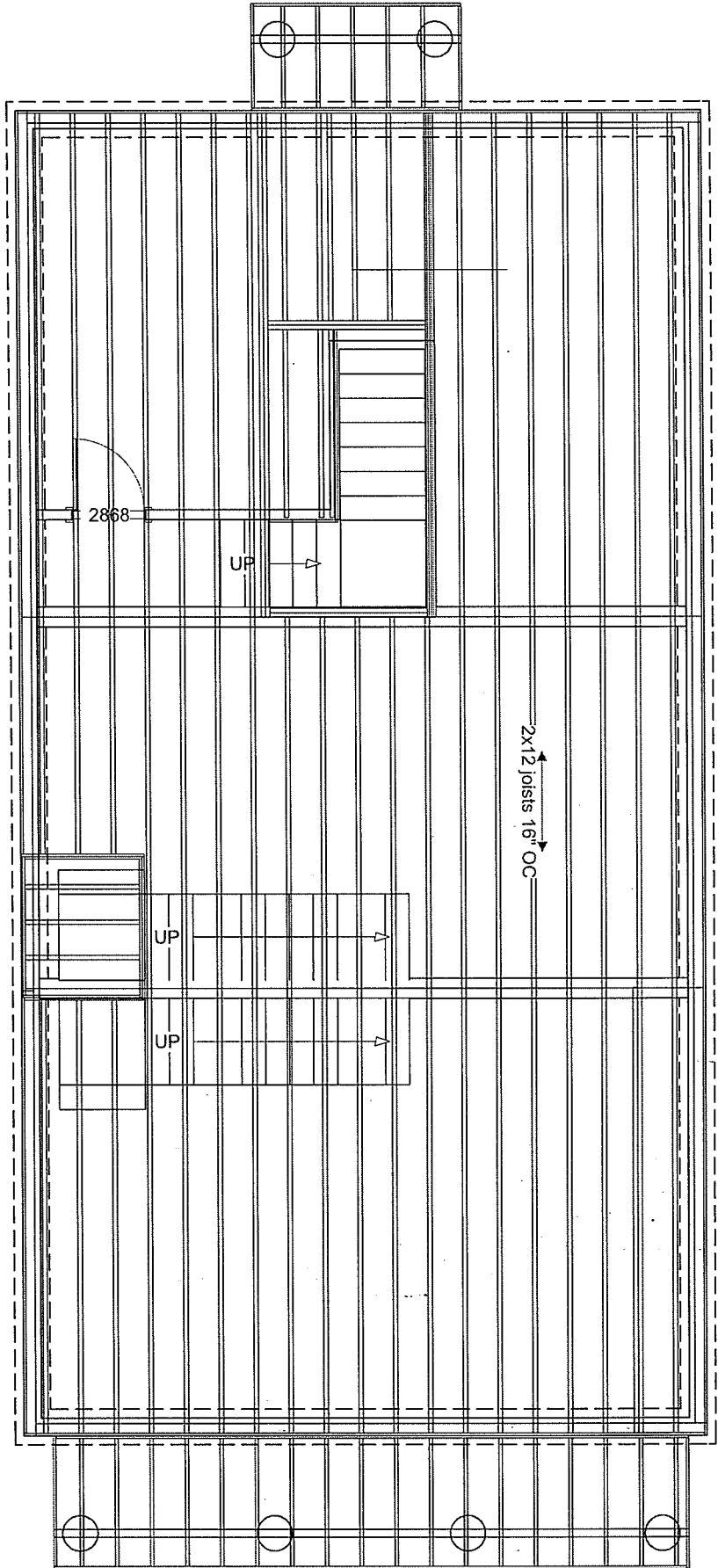
SHEET TITLE:
SECTIONS 1 & 2

NO.	DESCRIPTION	BY	DATE

A2.3

1ST FLOOR FRAMING PLAN

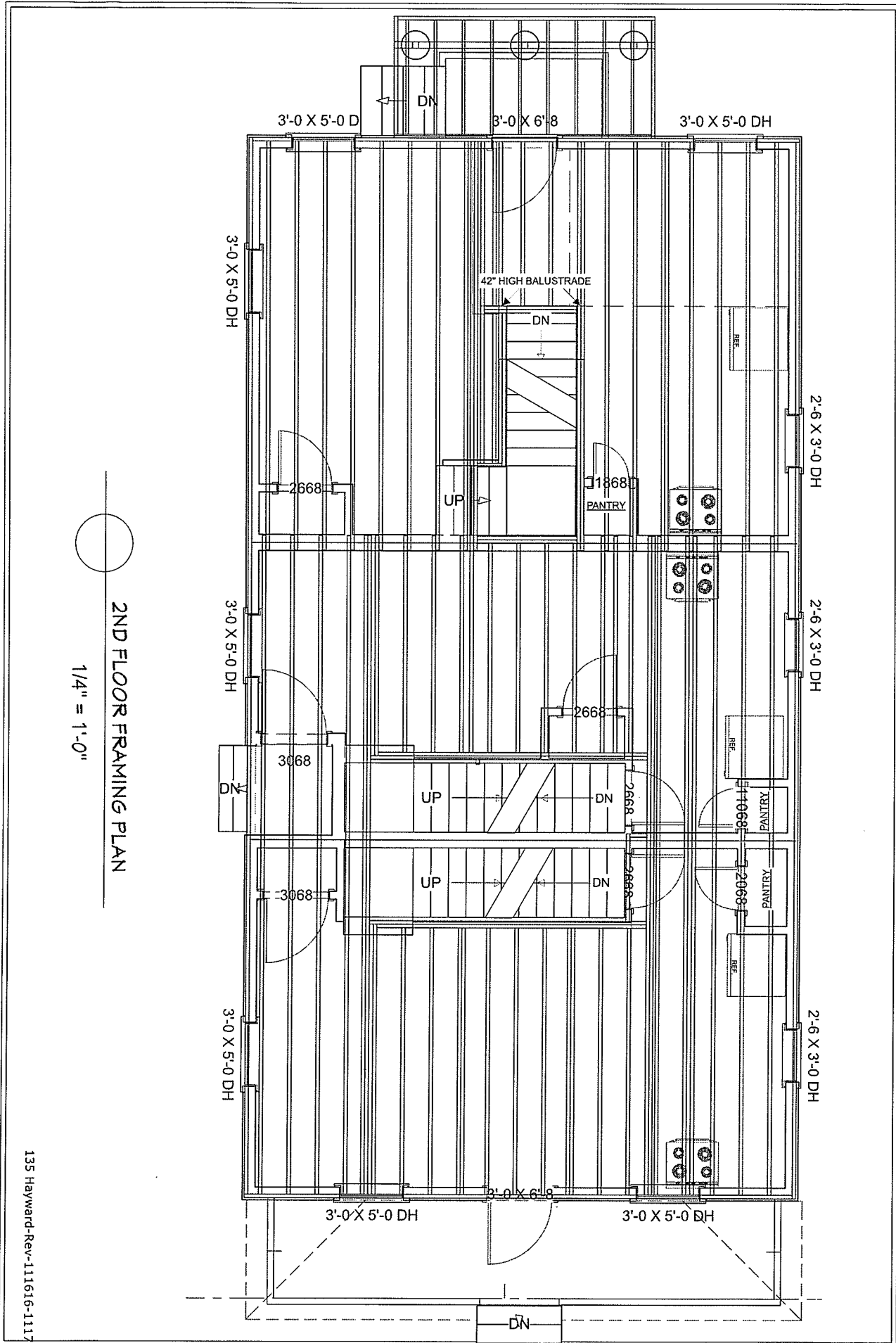
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135 Hayward-Rev-111616-1117

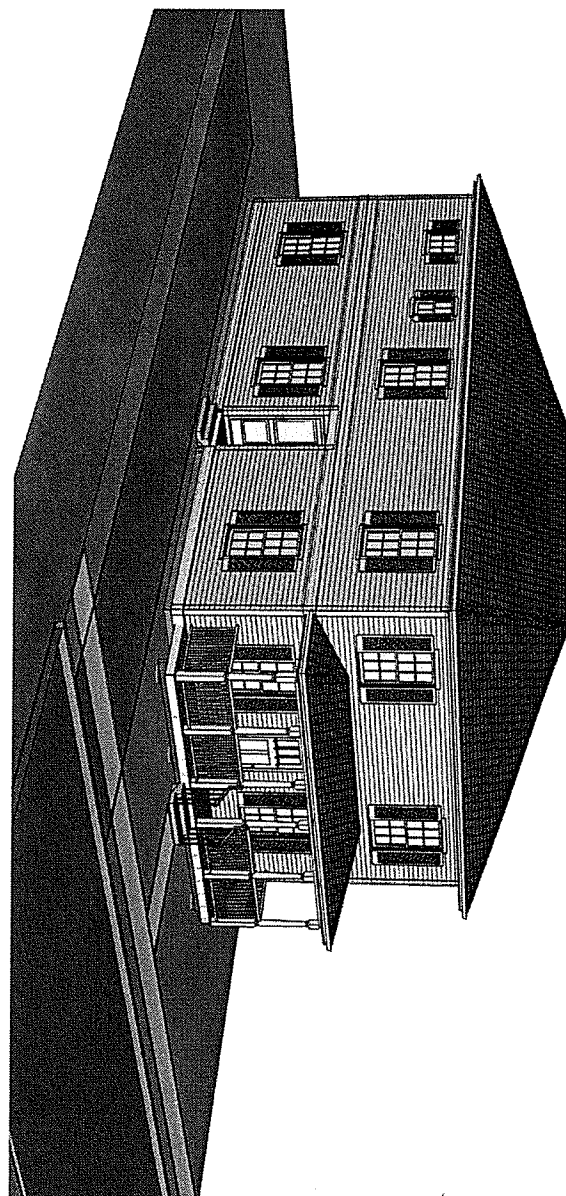
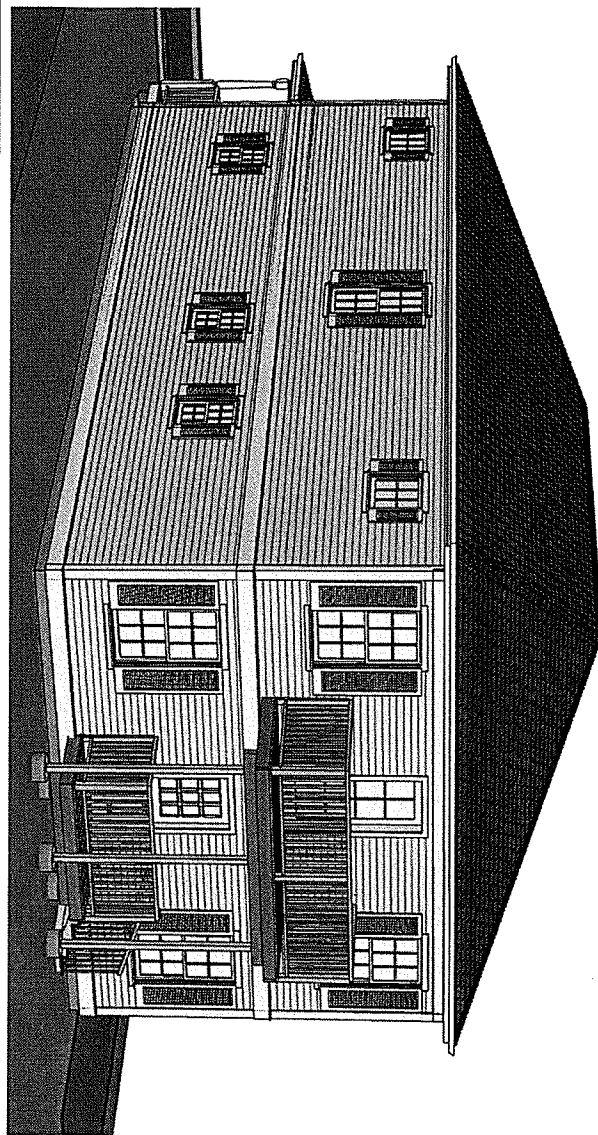
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					PROPOSED 1ST FLOOR				

FR1.1



2ND FLOOR FRAMING PLAN
1/4" = 1'-0"

135 Hayward-Rev-111616-1117



135 Hayward-Rev-111616-1117

A-1

SHEET:

NONE

SCALE:

11/16/2016

DATE:

DRAWINGS PROVIDED BY:
Kim Brown Projects

Box 92
Wallerbury Center, Vermont 05577
802-244-8156

PROJECT DESCRIPTION:

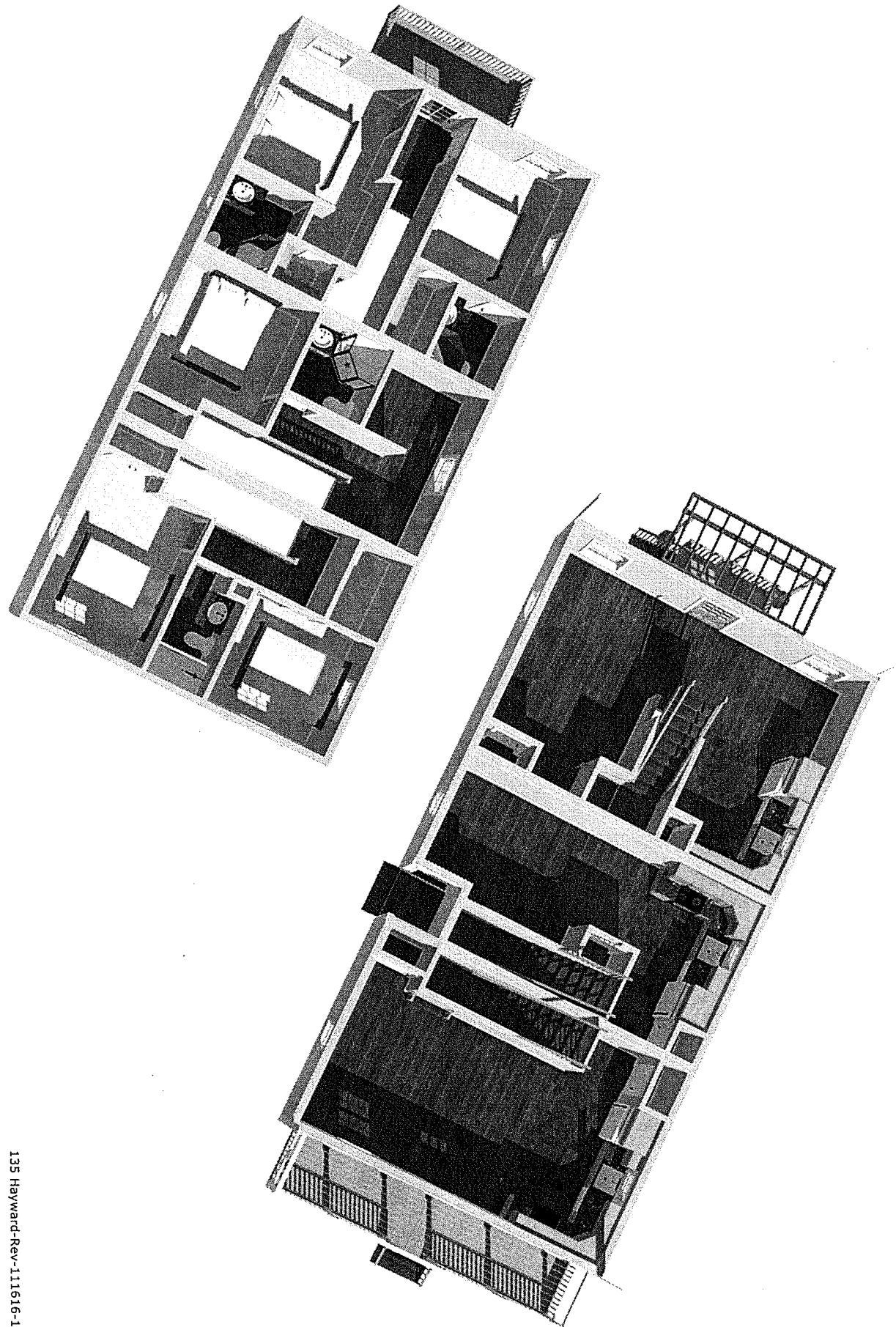
TRIPLEX
135 HAYWARD STREET
BURLINGTON, VERMONT

SHEET TITLE:

EXTERIOR OVERVIEWS

NO.	DESCRIPTION	BY	DATE

3D.1

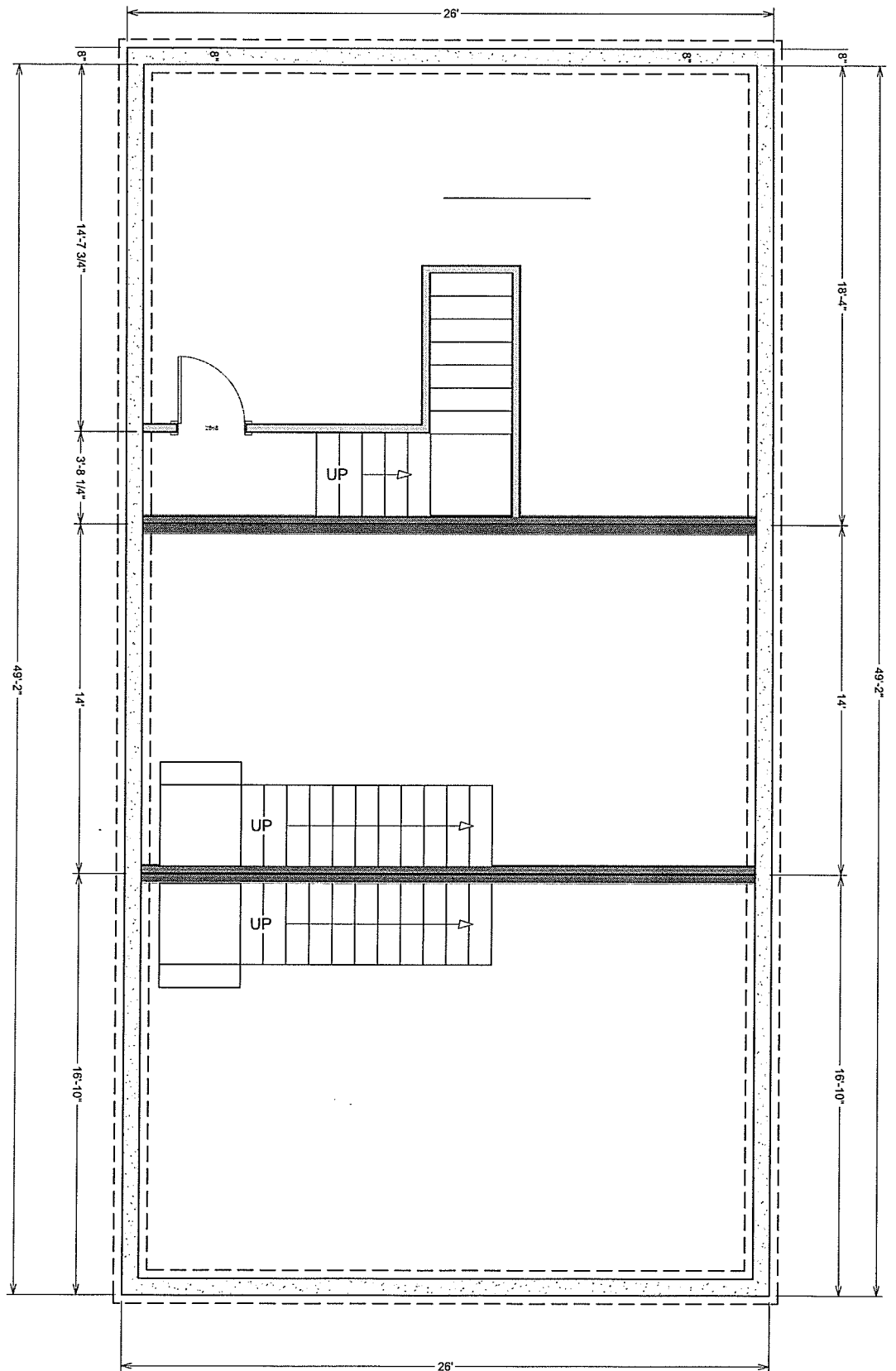


135 Hayward-Rev-111616-1117

SHEET: A-2	SCALE: NONE	DATE: 11/16/2011	DRAWINGS PROVIDED BY: Kim Brown Projects Box 92 Waterbury Center, Vermont 05677	PROJECT DESCRIPTION: TRIPLEX 135 HAYWARD STREET BURLINGTON, VERMONT	SHEET TITLE:	NO.	DESCRIPTION	BY	DATE	3D.2
					INTERIOR OVERVIEW					

BASEMENT FLOOR PLAN

1/4" = 1'-0"



LIVING AREA
1296 sq ft

135 Hayward-Rev-111616-1117

A-3

SHEET:

1/4" = 1'-0"

SCALE:

11/16/2016

DATE:

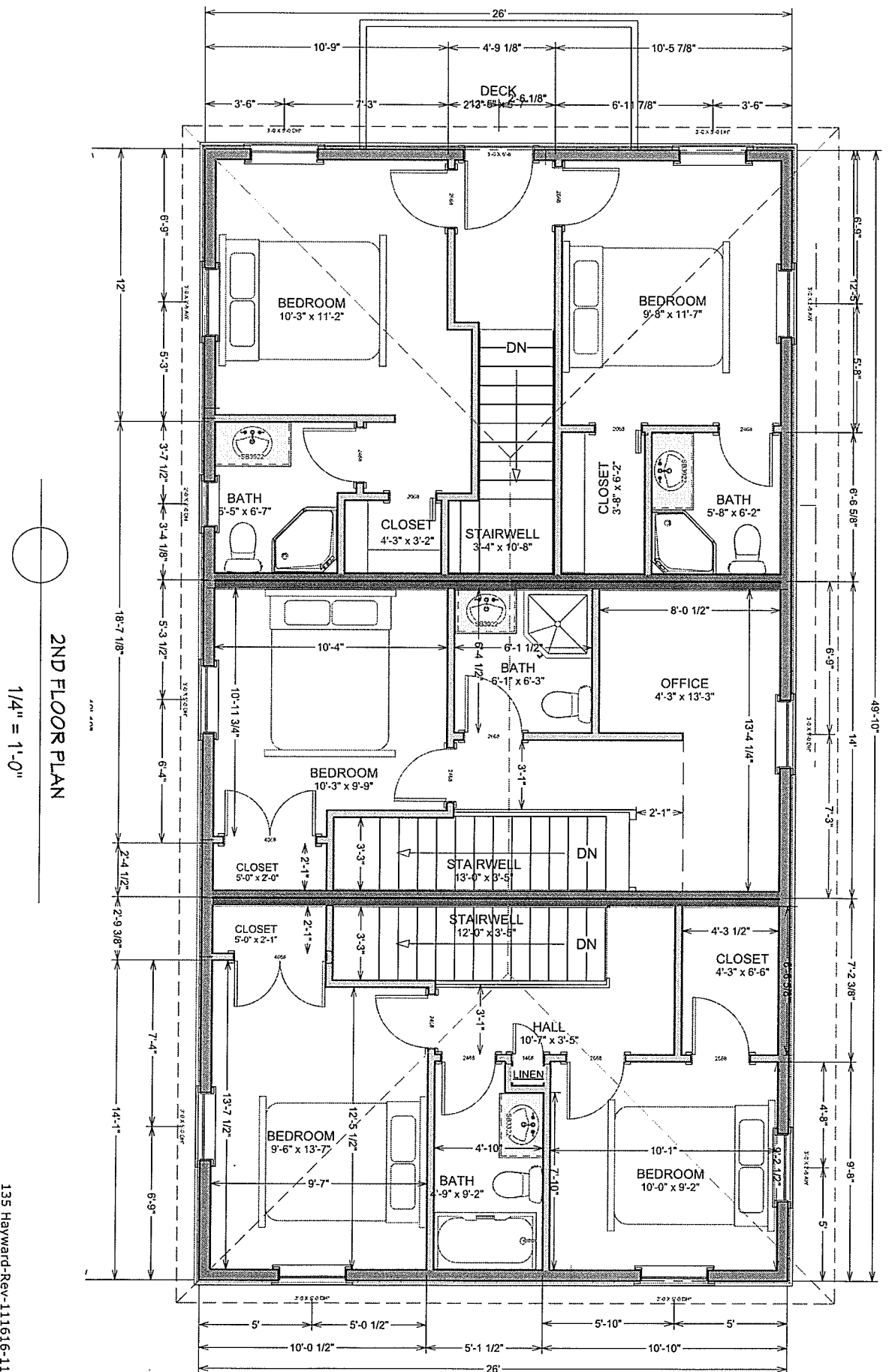
DRAWINGS PROVIDED BY:
Kim Brown Projects
Box 92
Waterbury Center, Vermont 05677
802-246-9156

PROJECT DESCRIPTION:
TRIPLEX
135 HAYWARD STREET
BURLINGTON, VERMONT

SHEET TITLE:
FOUNDATION PLAN

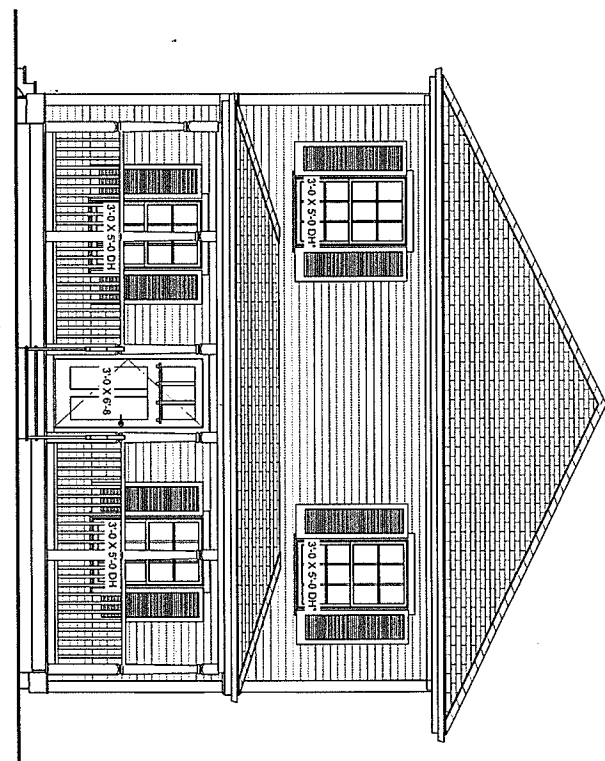
NO.	DESCRIPTION	BY	DATE

B1.1

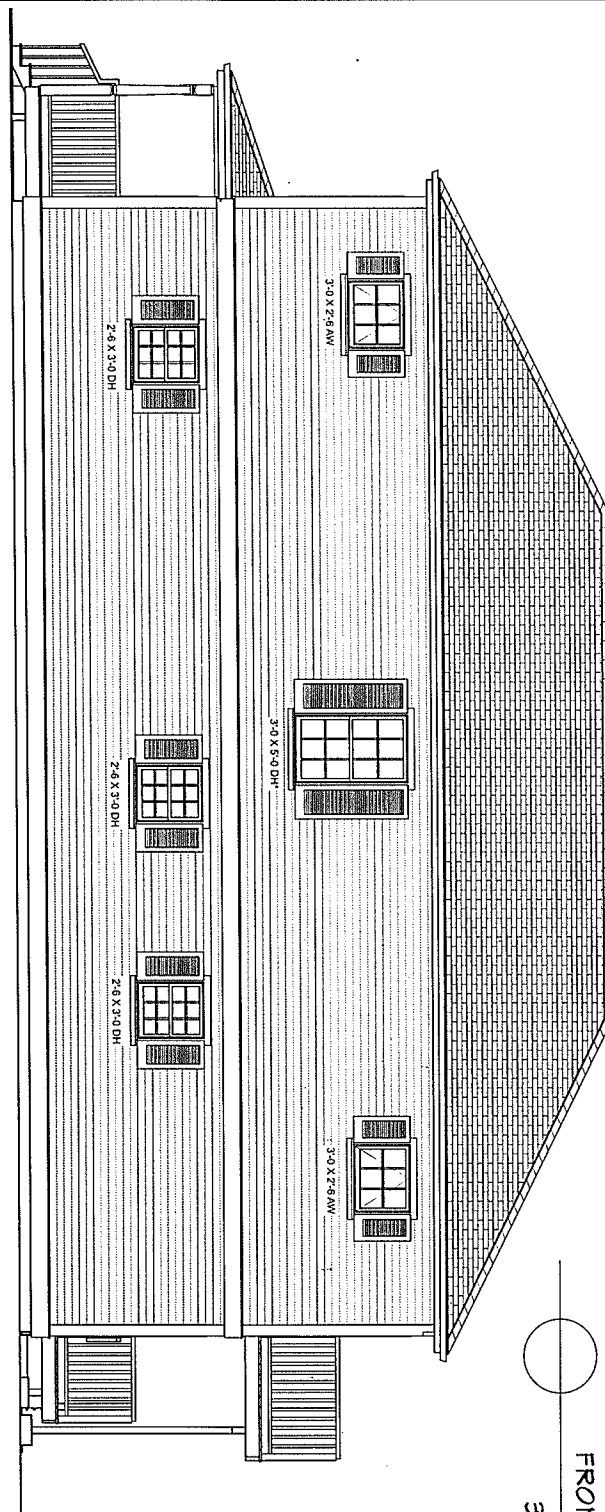




RIGHT ELEVATION
3/16" = 1'-0"



FRONT ELEVATION (EAST)
3/16" = 1'-0"



135 Hayward-Rev-111616-1117

A-6

DATE:

11/16/20

SCALE:

3/16" = 1'

SHEET:

DRAWINGS PROVIDED BY:
Kim Brown Projects
Box 92
Waterbury Center, Vermont 05672

PROJECT DESCRIPTION:

TRIPLEX
135 HAYWARD STREET
BURLINGTON, VERMONT

SHEET TITLE:

ENTRY & RIGHT ELEVATIONS

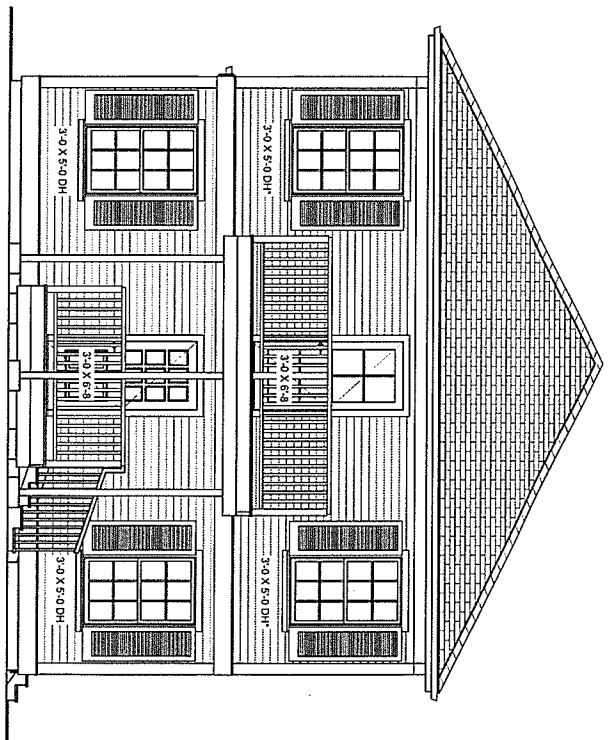
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A2.1



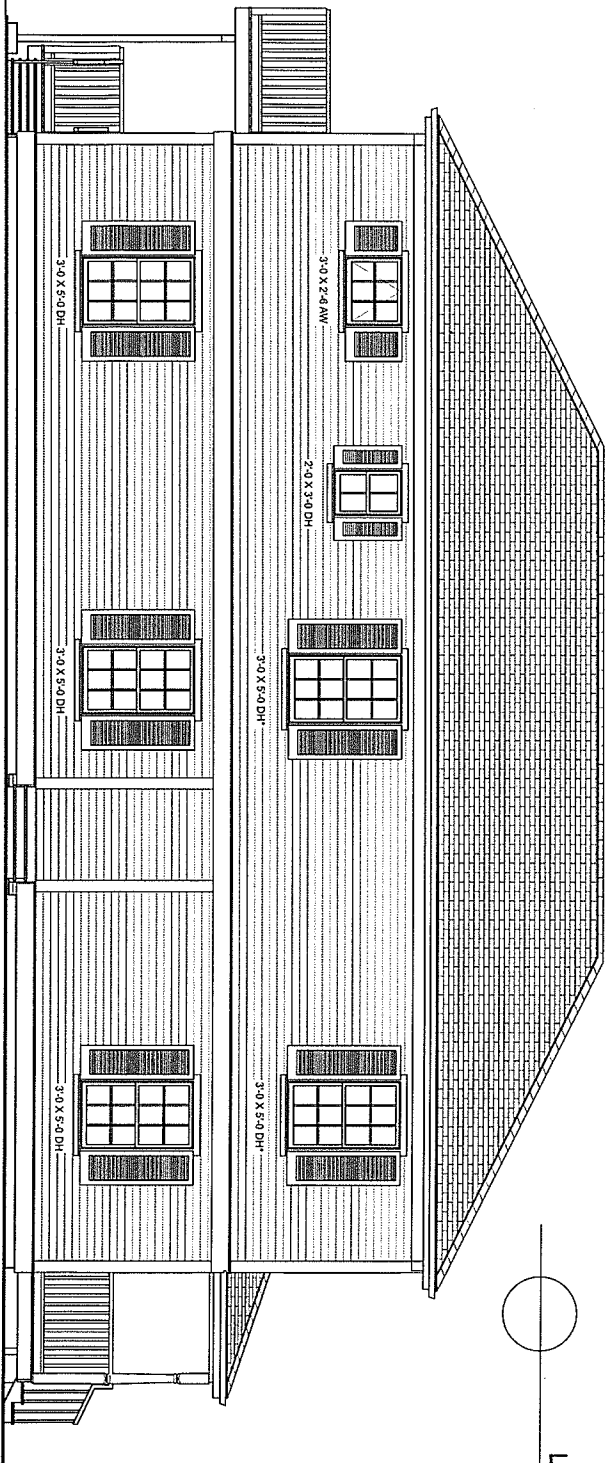
REAR ELEVATION

3/16" = 1'-0"



LEFT ELEVATION

3/16" = 1'-0"



135 Hayward-Rev-111616-1117

A-7

DRAWINGS PROVIDED BY:
Kim Brown Projects
Box 92
Waterbury Center, Vermont 05677
802-245-1156

PROJECT DESCRIPTION:
TRIPLEX
135 HAYWARD STREET
BURLINGTON, VERMONT

SHEET TITLE:
LEFT & REAR ELEVATIONS

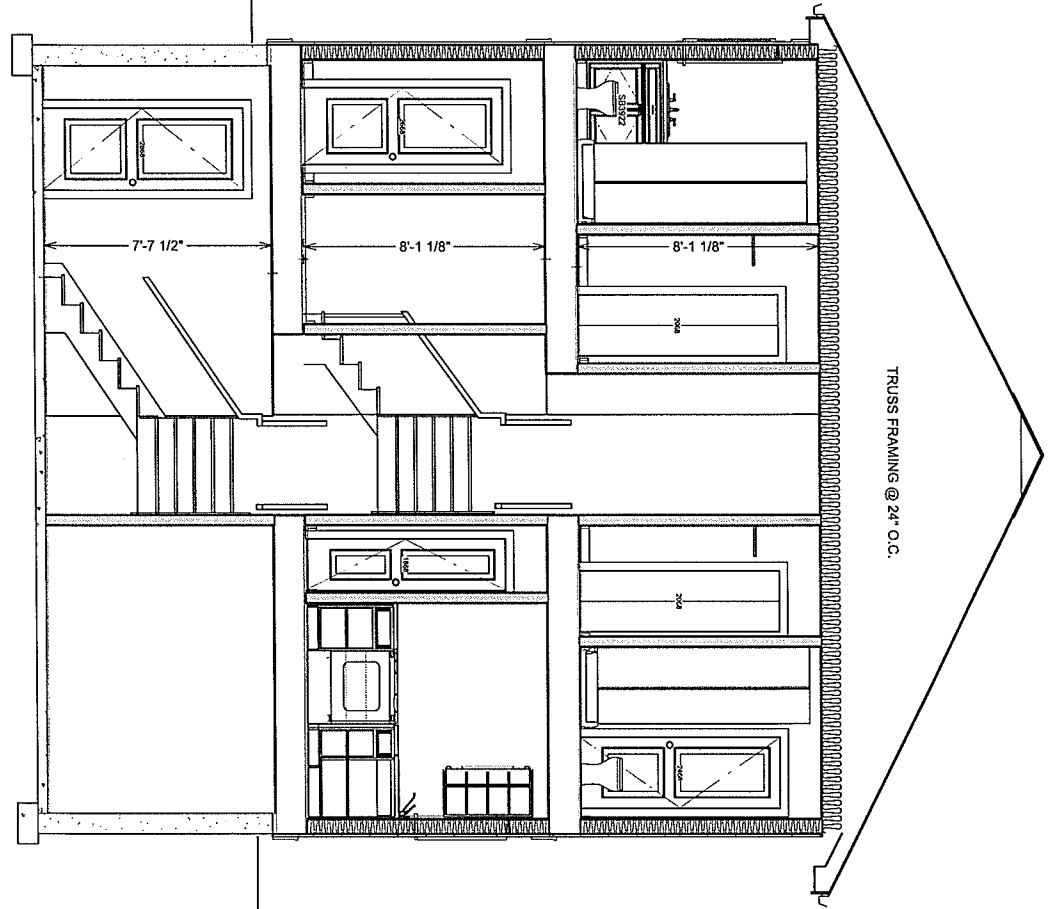
NO.	DESCRIPTION	BY	DATE

A2.2

1
A2.3

SECTION @ 2-BEDROOM UNIT STAIRS

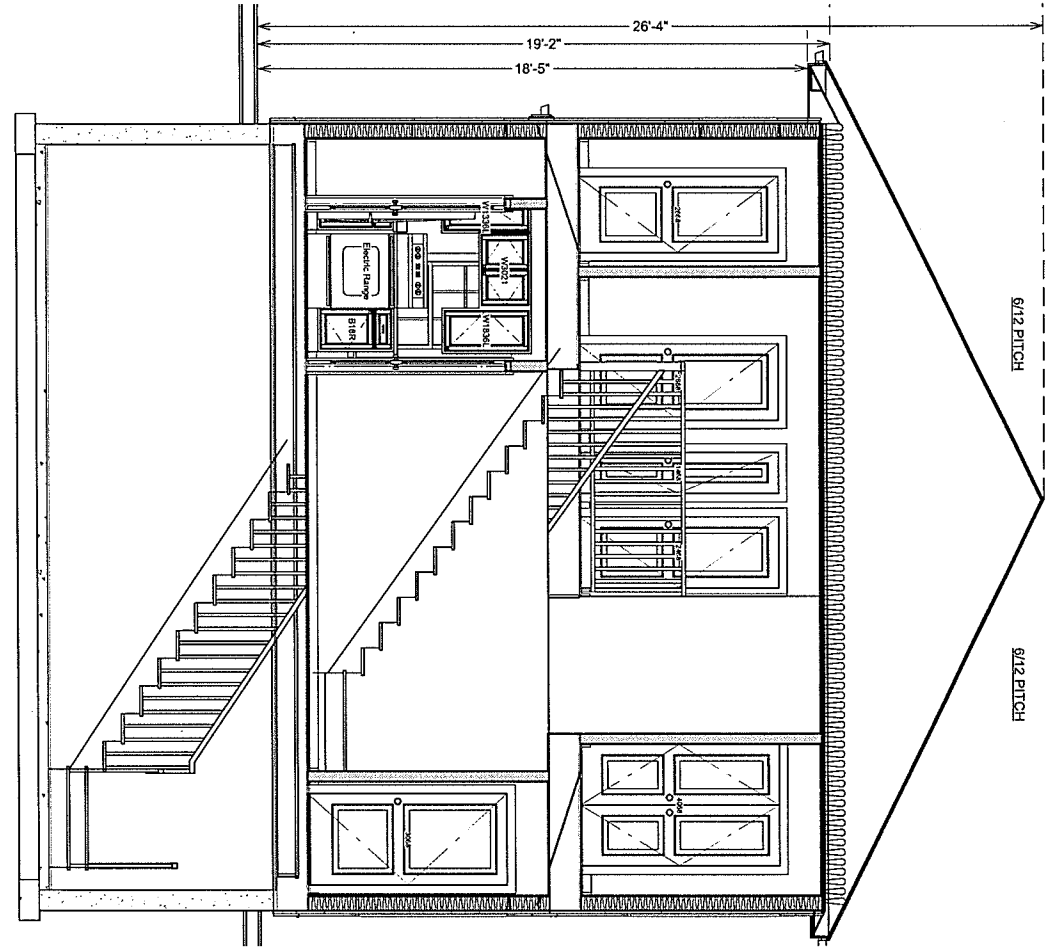
1/4" = 1'-0"



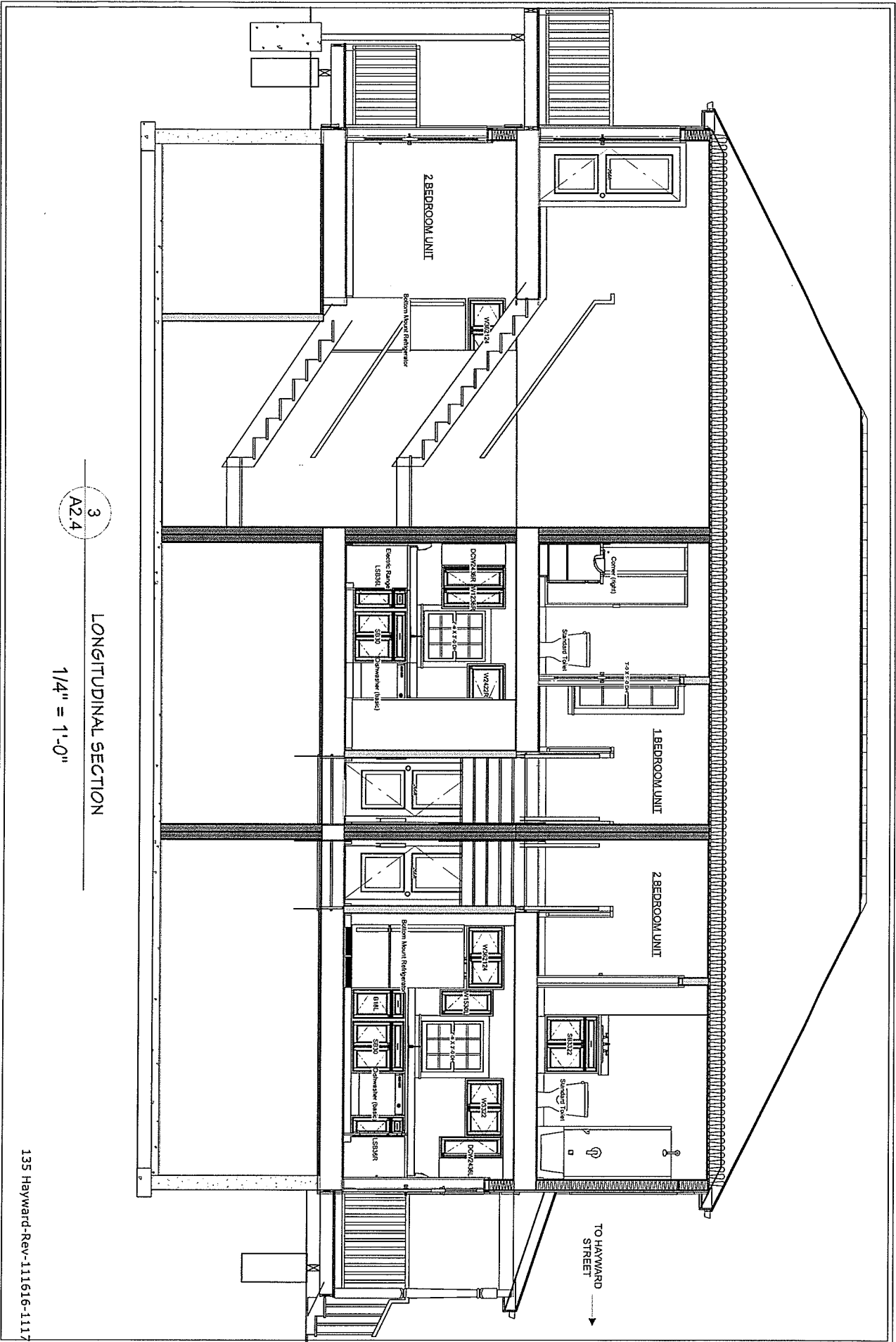
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A2.3

TYPICAL TRANSVERSE SECTION

1/4" = 1'-0"

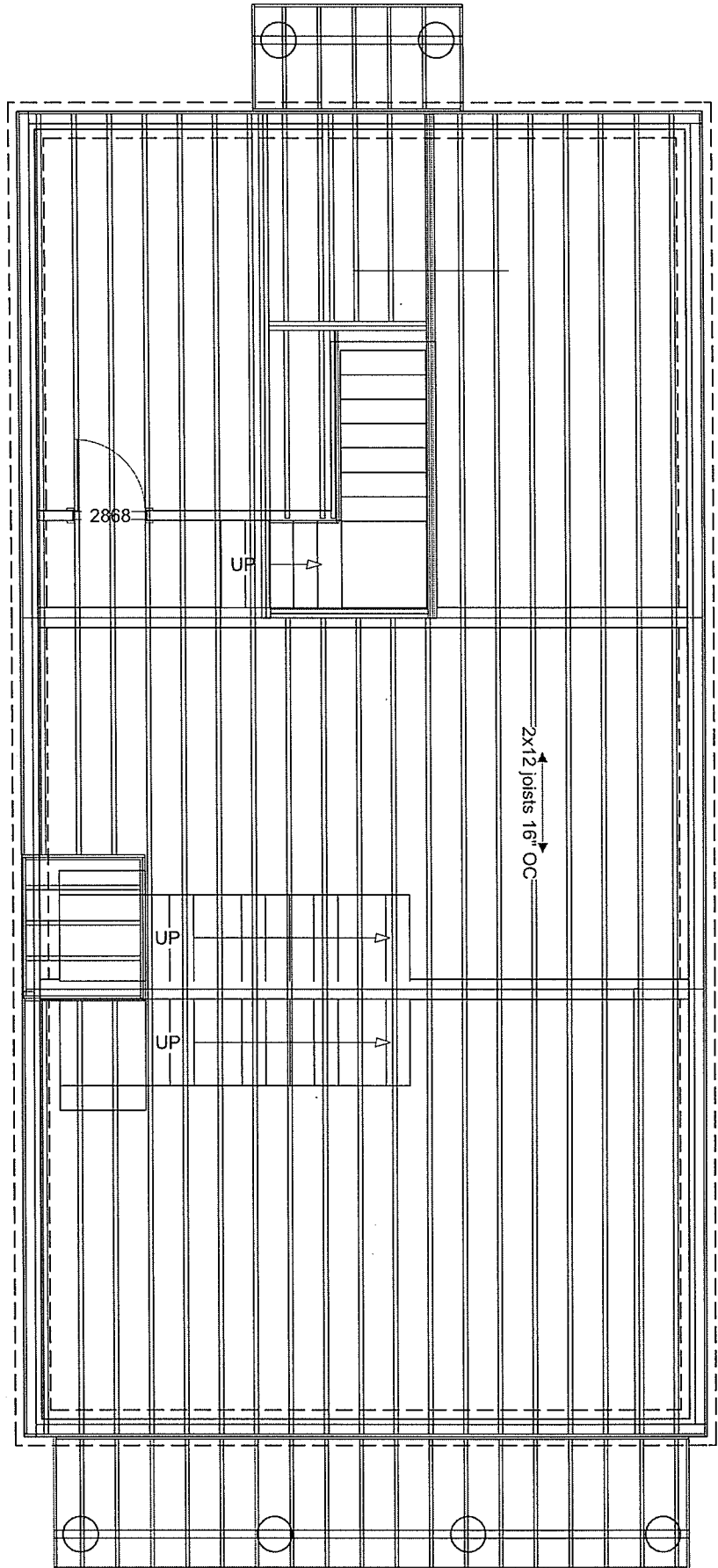


135 Hayward-Rev-111616-1117

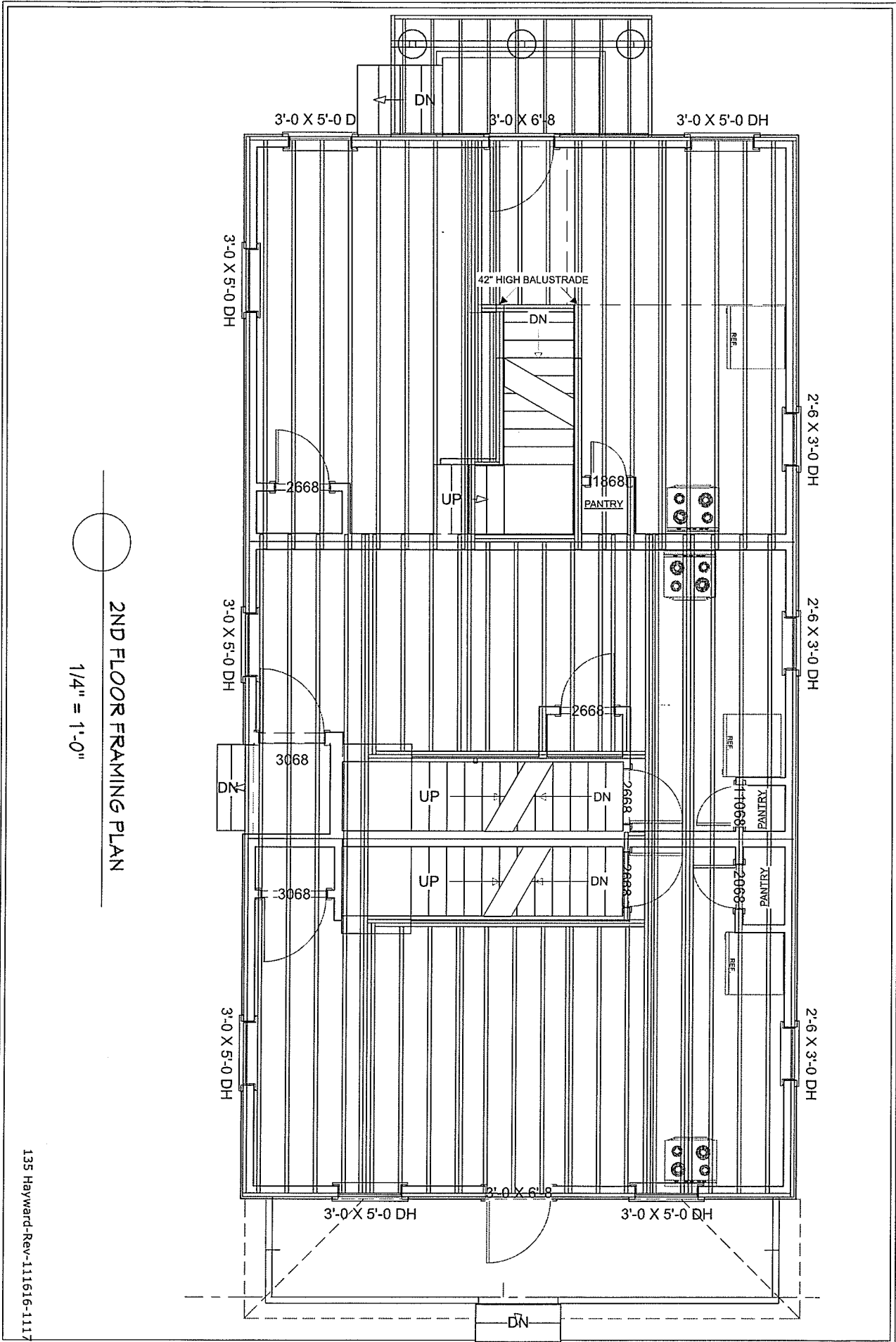


1/4" = 1'-0"

1ST FLOOR FRAMING PLAN



135 Hayward-Rev-111616-1117



2ND FLOOR FRAMING PLAN

1/4" = 1'-0"

135 Hayward-Rev-111616-1117

DRAWINGS PROVIDED BY: Kim Brown Projects Box 92 Watersbury Center, Vermont 05677 802-254-0156	PROJECT DESCRIPTION: TRIPLEX 135 HAYWARD STREET BURLINGTON, VERMONT	SHEET TITLE: PROPOSED 2ND FLOOR FRAMING PLAN	<table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>			NO.	DESCRIPTION	BY	DATE																
			NO.	DESCRIPTION	BY	DATE																			
DATE: 11/16/2016	SCALE: 1/4" = 1'-0"	SHEET: A-11	FR1.2																						



Freedom Mortgage Corporation
PO Box 100563
Florence, SC 29502-0563

May 25, 2017

Fairbanks Construction, LLC
c/o Michael Rainville
PO Box 1119
Jericho Ctr, VT 05465

RE: Repairs to 135 Hayward St, Burlington VT 05401

Dear Mr. Rainville,

Please accept this letter in regards to your request for documentation to provide in your meeting with the zoning board to support the need for an extension. This letter is to serve as confirmation that our records show that the repairs for the claim with date of loss of 04/21/16 have been delayed due to the claim amount not being finalized by Proctor Financial.

Should you have any questions or require additional information, please feel free to contact our Insurance Department at (888) 810-7318 where Customer Care representatives are available to assist you Monday through Friday from 8:00am - 8:00pm and Saturday from 9:00 am - 2:00 pm Eastern Time.

Sincerely,

Loss Drafts Department



802-863-6222 • Fax: 802-860-7

www.sdireland.com

Concrete Construction Corporation

October 25, 2016

Fairbanks Construction
Attn: Mike Rainville
195 Nashville Rd
Jericho, VT 05465

RE: Rowen Residence 135 Hayward Street - Burlington

S.D. Ireland Concrete Construction Corporation is pleased to provide a quote for all labor and material for one residential foundation at the above referenced location. Includes Winter Concrete Admix.

Our Scope Includes:

- All concrete to be 3,000 PSI at 28 days
- Footings to be 10"x16" with 2 runs of #4 rebar continuous and keyway
- Full walls to be 8"x 7'-10" reinforced with 2 runs of #4 rebar top and bottom tie
- 1/2"x8" anchor bolts 12" from corners and 6' OC
- (4) 32"x16" windows
- Breaking of ties
- Slab to be 4" thick with steel trowel finish
- Supply and install 6 mil vapor barrier
- Saw cut slab to help control random cracking
- One coat of cure and seal applied upon completion
- Concrete pumping as required

Total Quote: \$14,975.00
Rehab foundation and slab: \$13,000.00

Exclusions:

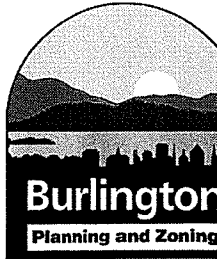
- Excavation, backfill, and fine grading for slab
- Testing and inspections, permits
- Protection of work against weather and vandalism.
- Structural design
- Rigid Insulation
- Embedded Items
- Specialty coatings
- Concrete rubbing or grinding
- Patching of tie holes
- Exposed aggregate finish

If you have any questions or should additional information be required, please contact JD Hoffmann at (802) 863-6222.

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Meagan Tuttle, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, CFM, Associate Planner
Anita Wade, Zoning Clerk
Layne Darfler, Planning Technician



TO: Development Review Board
FROM: Scott Gustin 
DATE: June 6, 2017
RE: 15-0868CU; 404 College Street

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: RH Ward: 1E

Owner/Representative: Dunlap Riehle

Request: Extend expiration date of zoning permit approving change in use from duplex to single residential unit and boarding house.

Applicable Regulations:

Article 3 (Applications, Permits, & Project Review)

Background Information:

The applicant is seeking approval for a 1-year time extension to complete the construction associated with the change in use from a duplex to a single residential unit and boarding house. No changes to the project are included in this extension request.

Previous zoning actions for this property are noted below.

- Zoning Permit 77-752; to erect a 40' x 112' apartment house. This appears to be the incorrect address as the subject building was built in 1844.
- Zoning Permit 91-303; construct retaining wall. April 1991. Permit expired.
- Zoning Permit 95-391; fence. Approved April 27, 1995.
- Zoning Permit 01-333 / COA 02-11; Change of use from fraternity to duplex; each unit with four bedrooms. Approved March 8, 2001.
- Zoning Permit 06-464CA; Site modifications to previous approval (Zoning Permit 01-333 / COA 02-11) not to reduce parking. Approved March 20, 2006.
- Zoning Permit 06-465FC; fence and trash bin enclosure. Approved February 16, 2006.
- Zoning Permit 06-731CA; Revised parking configuration and construct patio and walkway. Parking to be white crushed gravel and patio and walkway to be slate. Approved June 6, 2006 (06/06/06)
- Zoning Permit 15-0868CU; Change of use from duplex to single residential unit and boarding house

Recommendation: **Consent approval** as per, and subject to, the following findings and conditions:

I. Findings

Article 3: Applications and Reviews

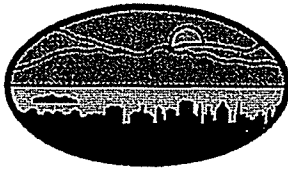
Sec. 3.2.9, Zoning Permits

(d) Time Limit on Zoning Permits:

The zoning permit for this project was approved by the Development Review Board on May 4, 2015. Construction was commenced within 1 year as required. A second year is allowed for completion of construction; however, construction has not yet been completed. Per this criterion, the applicant may request a 1-year time extension prior to expiration of the zoning permit. The request for extension was submitted May 3, 2017, prior to the May 4 expiration date. No changes to the project are proposed. Extension by 1 year is acceptable. Construction must be complete by May 4, 2018. **(Affirmative finding as conditioned)**

II. Conditions of Approval

1. Except as specifically modified in this approval, all conditions of the original zoning permit approval dated May 4, 2015 shall remain in effect.
2. Standard permit conditions 1 -15 (including construction completion date no later than May 4, 2018).



City of
Burlington, Vermont
149 Church Street

Conditional Use – Findings of Fact

ZP #: 15-0868CU

Tax ID: 050-1-098-000

Issue Date: May 4, 2015

Decision: Approved w/ Pre-Release
Conditions

Property Address: 404 COLLEGE STREET

Burlington Development Review Board

Minutes/Findings of Fact
May 4, 2015

File: ZP15-0656 CA/MA
Location: 404 College Street
Zone: RH Ward: 1E

Date application accepted: March 11, 2015

Applicant/ Owner: Dunlap Riehle

Request: Change of use from duplex to a single residential unit and boarding house in the second unit.

Members Present:

Jonathan Stevens, Brad Rabinowitz, AJ LaRosa, Jim Drummond, Missa Aloisi, Israel Smith, Michael Long

Evidence Presented:

The Board examined the materials submitted in support of this request.

I. FINDINGS

Background:

- Zoning Permit 77-752; to erect a 40' x 112' apartment house. This appears to be the incorrect address as the subject building was built in 1844.
- Zoning Permit 91-303; construct retaining wall. April 1991. Permit expired.
- Zoning Permit 95-391; fence. Approved April 27, 1995.
- Zoning Permit 01-333 / COA 02-11; Change of use from fraternity to duplex; each unit with four bedrooms. Approved March 8, 2001.
- Zoning Permit 06-464CA; Site modifications to previous approval (Zoning Permit 01-333 / COA 02-11) not to reduce parking. Approved March 20, 2006.
- Zoning Permit 06-465FC; fence and trash bin enclosure. Approved February 16, 2006.
- Zoning Permit 06-731CA; Revised parking configuration and construct patio and walkway. Parking to be white crushed gravel and patio and walkway to be slate. Approved June 6, 2006. (06/06/06)

Overview: The structure is known as the Captain Daniel Lyon House (c. 1844), and is listed on the National Register of Historic Places within the Main Street College Street Historic District. The building is the former Acacia Fraternity house that was converted into two residential units with occupancy of four bedrooms in each unit (Zoning Permit 01-333 / COA 02-11). The current request is to convert one of these six bedroom units into a boarding house unit with occupancy of the six rooms. The owner will live on the premises intending to occupy the unit that does not contain the boarding rooms.

Section 3.5.6 Review Criteria

The application and supporting documentation submitted for proposed development involving Conditional Use and/or Major Impact Review, including the plans contained therein, shall indicate how the proposed use and associated development will comply with the review criteria specified below:

(a) Conditional Use Review Standards: Approval shall be granted only if the DRB, after public notice and public hearing, determines that the proposed conditional use and associated development shall not result in an undue adverse effect on the following general standards:

1. The capacity of existing or planned community facilities;

This is an existing high density residential area. This is a large building and the number of rooms occupied will increase from eight (four/unit) to ten (four in one unit and six in the other). The increase in the number of occupied rooms should ultimately pose no adverse impact to existing or planned community facilities. **Affirmative finding.**

2. The character of the area affected as defined by the purpose or purposes of the zoning district(s) within which the project is located, and specifically stated policies and standards of the municipal development plan;

As there are no exterior or interior modifications to the building or site proposed the occupancy of two additional rooms in the existing large building in this high-density residential district would not change the character and specified intent of the zoning district.

Previous application, Zoning Permit 01-333 /COA 02-11, was approved with the understanding that there would be multiple roommates and require adequate parking counts. This proposal is answering the demand for housing that has become a recent focus; finding residential options for individuals that wish to live close to where they work and play. The change to boarding use and increase in the bedroom occupancy count is an exception to the change to the Functional Family Housing provision, which now extends into the RH zone.

From the MDP:

- *Support housing models, organizations, and programs that insure perpetual affordability, fill gaps in the housing tenure ladder, and increase the overall supply of housing the community. (Municipal Development Plan, Housing Plan, Page IX-2.)*
- *Support the development of additional housing opportunities within the city... (Municipal Development Plan, Housing Plan, Page IX-1.)*
- *Retain [Burlington's] moderate scale and urban form in its most densely developed areas, while creating opportunities for increased densities. (MDP, Page III-1.)*

Affirmative finding.

3. Traffic on roads and highways in the vicinity evaluated in terms of increased demand for parking travel during peak commuter hours, safety, contributing to congestion, as opposed to complementing the flow of traffic and/or parking needs; if not in a commercial district, the impact of customer traffic and deliveries must be evaluated;

The proposal represents that the existing parking configuration will be maintained. As the current use of the parking lot does not conform to the parking plan approved in 2006; see approved site plan and 2012 aerial photo, this needs to be addressed. Also refer to discussion under 4 and Article 8, below.

Affirmative finding as conditioned.

4. *Any standards or factors set forth in existing City bylaws and city and state ordinances;*

The zoning district and the City Master Plan support increased residential use in the RH zone.

The boarding house use itself is not in conflict with City bylaws or state ordinances; however it must meet any life safety requirements that may be triggered as a result in the change of occupancy. However, the approved parking lot configuration does not conform to the actual parking occurring on site. In addition, while not directly related to the boarding house it appears that replacement windows have been installed without the benefit of zoning permits. This will be referred to Code Enforcement for investigation.

Affirmative finding as conditioned.

5. *The utilization of renewable energy resources*

No part of this application will prevent the use of wind, solar, or water energy sources. Southerly exposure will complement the rear access/lobby for residential use. **Affirmative finding.**

and,

In addition to the General Standards specified above, the DRB;

6. *shall consider the cumulative impact of the proposed use. For purposes of residential construction, if an area is zoned for housing and a lot can accommodate the density, the cumulative impact of housing shall be considered negligible;*

The parcel is zoned for high density residential housing, and can accommodate the proposed occupancy. The cumulative impact must be considered negligible. **Affirmative finding.**

7. *in considering a request relating to a greater number of unrelated individuals residing in a dwelling unit within the RL, RL-W, RM and RM-W districts than is allowed as a permitted use, in addition to the criteria set forth in Subsection (a) hereof, no conditional use permit may be granted unless all facilities within the dwelling unit, including bathroom and kitchen facilities are accessible to the occupants without passing through any bedroom. Additionally, each room proposed to be occupied as a bedroom must contain at least one hundred twenty (120) square feet. There must also be a parking area located on the premises at a location other than the front yard containing a minimum of one hundred eighty (180) square feet for each proposed adult of the dwelling unit in excess of the number of occupants allowed as a permitted use. All other green space standards must be observed.*

Zoning Amendment ZA-13-01 extended the Functional Family provisions of the ordinance to the RH district. *In all residential districts except the RH district, the occupancy of any dwelling unit is limited to members of a family as defined in Article 13.*

No new units are being created although occupancy of one unit is changing from a four bedroom occupancy to a 6 room boarding use. **Affirmative finding.**

8. *may control the location and number of vehicular access points to the property, including the erection of parking barriers.*

The proposal intends to utilize the existing vehicular access point off Williams Street. The parking barriers, planters and bollards, as approved are not in place. The bollards are in a different location and are moveable posts set in a concrete base connected simply by a single strand of rope. The planters are pots lined up along the east side of the house. The whole parking lot appears disorganized with vehicles haphazardly parked on the site. Neither the "picnic area" nor the walkway indicated on the site plan is evident. This needs to be resolved as the current situation is not in compliance with approved 2006 site plan, and is unacceptable. **Affirmative finding as conditioned.**

9. may limit the number, location and size of signs.

No signs proposed. Any signage will require a separate sign permit. **Not applicable.**

10. may require suitable mitigation measures, including landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area.

The parking area and the building itself have not been maintained in good repair as this historic site deserves. The applicant has submitted the approved site plan (dated 6/18/2006) with a picnic area, walkway, landscaping, planters, and bollards that have not been implemented as approved. A fence was also approved but it too is in some disrepair. In order, not only to mitigate the increase in the use of the property, but to bring it into compliance with the approved site plan measures are needed to insure reliable parking in the future. **Affirmative finding as conditioned.**

11. may specify a time limit for construction, alteration or enlargement of a structure to house a conditional use.

The Comprehensive Development Ordinance Section 3.2.9 (d) affects a two year time limit on project completion. **Affirmative finding as conditioned.**

12. may specify hours of operation and/or construction to reduce the impact on surrounding properties.

Any exterior changes required for improving the parking area are allowed to be constructed Monday through Friday 7am to 6 pm with a limit on weekend hours (Saturday 9 am to 5 pm for interior work only.) **Affirmative finding as conditioned.**

13. may require that any future enlargement or alteration of the use return for review to the DRB to permit the specifying of new conditions.

This is a statutory requirement. **Affirmative finding as conditioned.**

14. may consider performance standards, should the proposed use merit such review.

Hours of construction are proposed to be limited. In addition, the parking lot needs to be improved and function in an organized manner. Any other performance standards would be at the discretion of the DRB. **Affirmative finding as conditioned.**

15. may attach such additional reasonable conditions and safeguards, as it may deem necessary to implement the purposes of this chapter and the zoning regulations.

Conditions are proposed as indicated under the appropriate findings to address compliance with approved plans, and referrals to Code for potential violations. **Affirmative finding as conditioned.**

Article 4: Maps and Districts

Section 4.4.5 Residential Districts

Boarding House⁶ (5 persons or more) is a Conditional Use in the RH district. Footnote 6 requires owner occupancy. Owner occupancy is defined as: *Where owner occupancy is required by this ordinance, owner occupancy shall mean occupancy of premises by an owner for at least 50% of the year. (CDO Article 13)* The applicant/owner is proposing to live on the premises in the non-boarding house unit. **Affirmative finding as conditioned.**

Article 5: Citywide General Regulations

Part 2: Dimensional Requirements

Section 5.2.1 Existing Small Lots

Not applicable.

Section 5.2.2 Required Frontage or Access

The lot has access to a public road. (College Street.)

Affirmative finding.

Section 5.2.3 Lot Coverage Requirements

No additional lot coverage is proposed. **Not applicable.**

Section 5.2.4 Buildable Area Calculation

Not within the RCO, WRM, RM, WRL or RL zoning district. **Not applicable.**

Section 5.2.5 Setbacks

No changes to setbacks are proposed. However, any modification to the parking area will need to respect minimum setback requirements. **Affirmative finding as conditioned.**

Section 5.2.6 Building Height Limits

No change to building height is proposed. **Not applicable.**

Section 5.2.7 Density and Intensity of Development Calculations

No change to density is proposed; remains two units. **Not applicable.**

Part 4: Special Use Regulations

Section 5.4.8 Historic Buildings and Sites

404 College Street is on the National Register of Historic Places, within the Main Street College Street Historic District.

As there are no changes propose for the structure itself this section is **not applicable**. However, as noted there were some changes that were undertaken without approvals and this will be referred to Code Enforcement for investigation.

Article 6: Development Review Standards

PART 2: SITE PLAN DESIGN STANDARDS

The applicant is not proposing any exterior changes and is relying on an already approved site plan. However, this site plan has not been implemented as approved. With the change in occupancy parking lot improvements appear to be needed.

Section 6.2.2 Review Standards

(a) Protection of Important Natural Features:

No natural features. **Not applicable.**

(b) Topographical Alterations:

No topo changes. **Not applicable.**

(c) Protection of Important Public Views:

There are no publically accessible views. **Not applicable.**

(d) Protection of Important Cultural Resources:

No changes to the historic building are proposed. However, as observed the building is somewhat in disrepair and unapproved windows have been installed. This will be referred to Code Enforcement for investigation. **Not applicable**

(e) Supporting the Use of Renewable Energy Resources:

No part of this application will preclude an opportunity to use direct sunlight, solar, wind, or geothermal all of which are encouraged. **Affirmative finding.**

(f) Brownfield Sites:

None identified.

(g) Provide for nature's events:

The proposed condition to improve the parking lot may require a Small Project Erosion Prevention & Sediment Control Plan. **Affirmative finding as conditioned.**

(h) Building Location and Orientation:

No changes to the building are proposed. **Not applicable.**

(i) Vehicular Access:

There is no change proposed to the vehicular access. The existing curb cut and driveway will be utilized. The applicant is proposing to locate a dumpster at the northeast corner of the parking lot. There does not appear to have been any scaling or details of the exact location. It must be a minimum of five feet from side property line and cannot occupy a required parking space. Also it needs to be screened. A revised site plan of professional quality and to scale is needed to determine how parking and trash removal will operate. **Affirmative finding as conditioned.**

(j) Pedestrian Access:

Pedestrians shall be provided one or more direct and unobstructed paths between a public sidewalk and the primary building entrance. Well defined pedestrian routes shall be provided through parking areas to primary building access points and be designed to provide a physical separation between vehicles and pedestrians in a manner that minimizes conflicts and improves safety. Where sidewalks and driveways meet, the sidewalk shall be clearly marked by differentiated ground materials and/or pavement markings. There is an existing pedestrian walkway to the building from College Street. A walkway is delineated on the 2006 site plan but does not exist on the site. This is needed and should be added in detail to the required site plan. **Affirmative finding as conditioned.**

(k) Accessibility for the Handicapped:

Special attention shall be given to the location and integration of accessible routes, parking spaces, and ramps for the disabled. Special attention shall also be given to identifying accessible access points between buildings and parking areas, public streets and sidewalks. The federal Americans with Disabilities Act Accessibility Guidelines (ADAAG) shall be used as a guide in determining the adequacy of the proposed development in addressing the needs of the disabled.

The property will need to meet any ADA compliance as may be required. **Affirmative finding as conditioned.**

(l) Parking and Circulation:

The parking area is existing. However, as noted throughout these comments it has not been implemented as approved, nor has it functioned as anticipated. The "existing" parking and a site visit confirmed the haphazard nature of the parking area and the inconsistency of the "improvements". The parking spaces are not defined and need to be.

All parking areas shall provide a physical separation between moving and parked vehicles and pedestrians in a manner that minimizes conflicts and gives pedestrians a safe and unobstructed route to building entrance(s) or a public sidewalk.

The pedestrian walkway illustrated on the approved plan between the parking area and the building is non-existent. A walkway differentiation from the parking area needs to be provided and indicated on the site plan. **Affirmative finding as conditioned.**

(m) Landscaping and Fences:

Landscaping/planting is shown on the 2006 plan. The current site conditions need to rethink these details and improve the provision of landscaping. **Affirmative finding as conditioned.**

(n) Public Plazas and Open Space:

No public open space proposed. **Not applicable.**

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

No indication of any proposed lighting has been provided. If any lighting fixtures are to be placed on site details and photometrics are needed to assure appropriate light levels and compliance with Sec. 5.5.2.

Affirmative finding as conditioned.

(p) Integrate infrastructure into the design:

A dumpster is proposed but merely noted by an arrow on the northeast of the parking area. This is insufficient detail and the dumpster location dimensions and screening (required) must be provided. It cannot be located within a setback nor can it usurp a parking space. There is no enclosure defined, and needs to be. **Affirmative finding as conditioned.**

Article 8: Parking

Parking (site within a Neighborhood District) for the property with the proposed boarding house is calculated as follows:

Required

2 units x 2 spaces =4;

Six boarding rooms (1 per 2 beds) =3

Total of 7 parking spaces required

Provided

10 are illustrated on the 2006 approved site plan.

While 10 spaces meet the requirement, there are some concerns:

- Four spaces (two x two) are in tandem. **Section 8.1.14 (b)** addresses tandem parking allowing tandem parking for duplexes; however, as this proposal modifies the duplex use and results in six rooms rented to six individuals, tandem parking is not appropriate. As there are eight spaces that are not tandem this plan is only acceptable as long as the parking lot operates as approved. However, this has not occurred and the resulting problem is considered below.
- The lack of organized parking occurring on site must be addressed. With the increase in occupants whereby six unrelated individuals will be living in one unit, there is greater need for the parking lot and useable spaces to be clearly defined. This has not occurred in the past, thus it is recommended that, in order for the lot to operate effectively, the parking area should be paved and all parking spaces clearly striped. In addition, each occupant who has a vehicle must have an assigned space. All required barriers as illustrated on the approved site plan must also be installed to prevent continued unorganized parking. A revised site/parking plan may be considered to meet these concerns as well. **Affirmative finding as conditioned.**

Section 8.2.5 Bicycle Parking Requirements

Table 8.2.5-1

Requirement per CDO	Residential Housing Living, multi-unit, 1 per 4 units Long Term; 1 per 10 units Short term.
---------------------	---

While bicycle parking is not required, it is suggested that the applicant provide long-term and short term bike parking. **Affirmative finding.**

II. MINUTES The meeting minutes will be distributed separately upon review and approval by the Development Review Board.

III. MOTION: Brad Rabinowitz

I move that the Board approve certificate of appropriateness approval for the change of use from duplex to a single residential unit and boarding house in the second unit for the property at 404 College Street in the RH zone and adopt the staff findings and conditions modified as follows:

Conditions of Approval

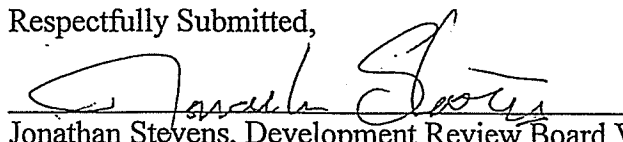
1. **Prior to release of the zoning permit**, the applicant shall submit a zoning application for a revise site/parking plan, subject to review and approval by staff. This plan shall include the following:
 - a. the lot shall be paved & striped to assure all parking occurs in an organized manner;
 - b. landscaping, barriers or other techniques that insure there will be organized and clearly defined parking on the site;
 - c. provide for a pedestrian walkway, (the approved walkway is not evident on the ground). The pedestrian walkway shall be differentiated, other than typical striping.
 - d. details of the location for the dumpster and its enclosure shall be included.
 - e. a Small Project Erosion Prevention & Sediment Control Plan to be provided if required.
 - f. any short term bicycle parking racks shall be illustrated and detailed
2. Any occupants with vehicles shall be assigned specific a parking space.
3. Hours for any construction related to exterior work (the parking lot) is limited to Monday through Friday 7am to 6 pm with a limit on weekend hours (Saturday 9 am to 5 pm for interior work only)
4. If there are any exterior lighting fixtures proposed, they need to be detailed and photometrics included to assure appropriate light levels and compliance with Sec. 5.5.2.
5. The property will need to meet any ADA compliance as may be required.
6. Standard Permit Conditions 1-15.

Seconded: Israel Smith

Vote: 7-0-0, motion carried

Dated at Burlington, Vermont, this 11 day of May 2015

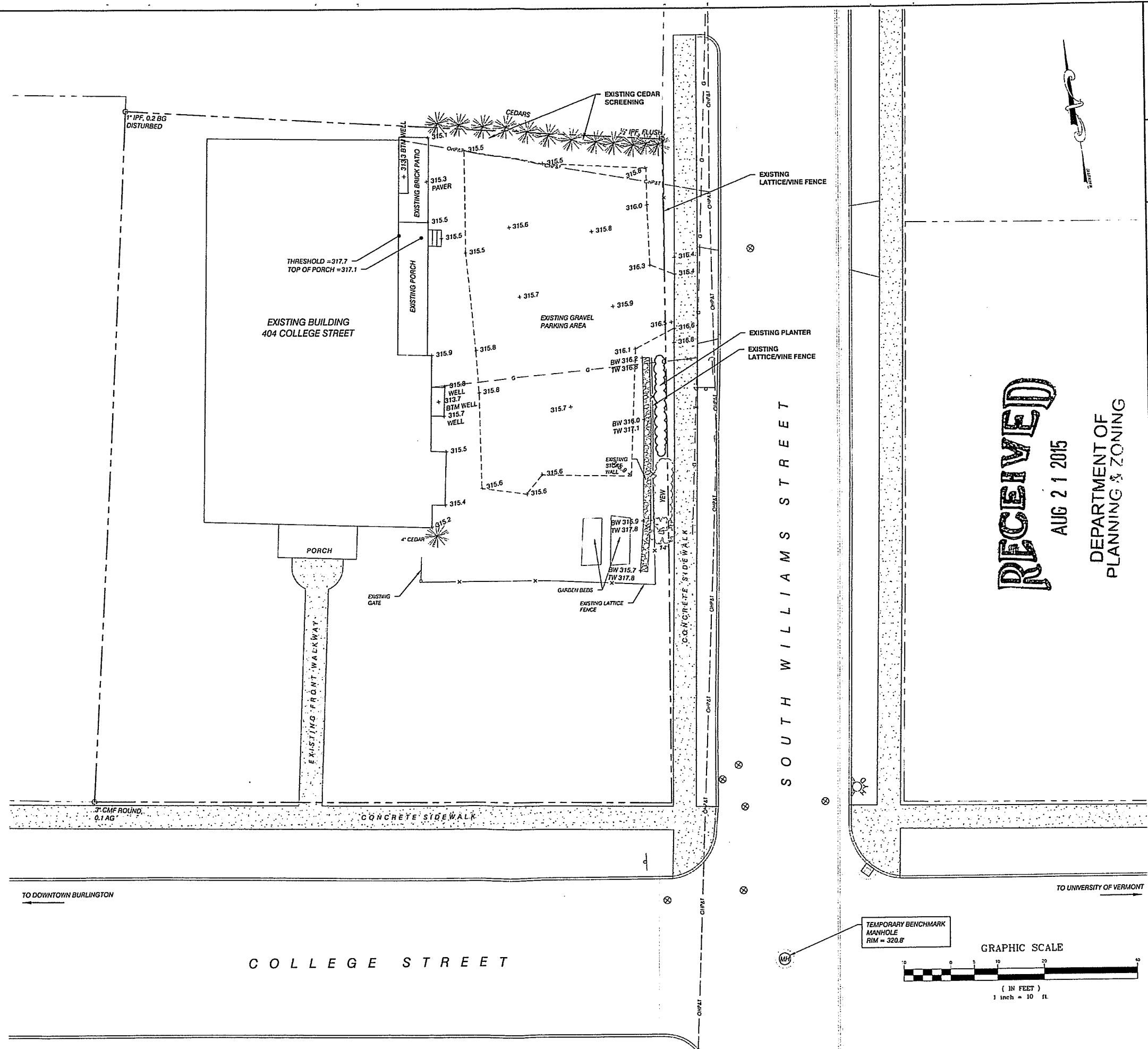
Respectfully Submitted,



Jonathan Stevens, Development Review Board Vice Chair

Please note that an interested person may appeal a decision of the Development Review Board to the Vermont Superior Court Environmental Division. (Zoning Ordinance Article 17, Section 17.1.7, Appeals of Development Review Board Decisions: An interested person may appeal a decision of the Development Review Board to the Vermont Superior Court Environmental Division. The appeal shall be taken in such a manner as the Supreme Court may by rule provide for appeals from state agencies governed by Sections 801 through 816 of Title 3). The Court rules may require that such an appeal be commenced within Thirty (30) days of the Board's decision.

	APPROXIMATE PROPERTY LINE
	APPROXIMATE SETBACK LINE
	EXISTING CONTOUR
	EXISTING CURB
	EXISTING STOCKADE FENCE
	EXISTING GRAVEL
	EXISTING PAVEMENT
	EXISTING OVERHEAD ELEC. & TEL.
	EXISTING GAS
	EXISTING MANHOLE
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING SHUT OFF
	EXISTING UTILITY POLE
	EXISTING GAS VALVE
	EXISTING GUY WIRE/POLE
	EXISTING SIGN
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	IRON ROD/PIPE FOUND
	ABOVE GRADE / BELOW GRADE



1. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
2. PROPERTY LINE INFORMATION IS APPROXIMATE AND ABSTRACTED FROM THE CITY OF BURLINGTON LAND RECORDS. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE. MONUMENTATION RECOVERED IS CONSISTENT WITH RECORDED DOCUMENTS.
4. SITE INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY CIVIL ENGINEERING ASSOCIATES, INC JULY 2015.
5. VERTICAL DATUM IS NGVD 29 AND DERIVED FROM MH 113.07 (RIM ELEVATION = 320.78) AS SHOWN ON THE CITY OF BURLINGTON EXISTING SEWER AND DRAINAGE SYSTEM PLANS PREPARED BY CAMP, DRESSER &

CIVIL ENGINEERING ASSOCIATES, INC.
 10 MAPSFIELD VIEW LANE, SOUTH BURLINGTON, VT 05403
 02-864-2323 FAX: 802-864-2271 web: www.ces4t.com

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ОПРАКН

MAB

CHECKED

SAV

APPROVED

SAV

OWNER:

DUNLAP RIEHLE

404 COLLEGE STREET
BURLINGTON VERMONT
05401

PROJECT:

PAVEMENT IMPROVEMENTS

04 COLLEGE STREET
BURLINGTON, VT



LOCATION MAP

 $1^\circ = 2$ [illegible]

EXISTING CONDITIONS SITE PLAN

DATE
8/20/2015

SCALE
 $1'' = 10'$

PROJ. NO.
15100

DRAWING NUMBER

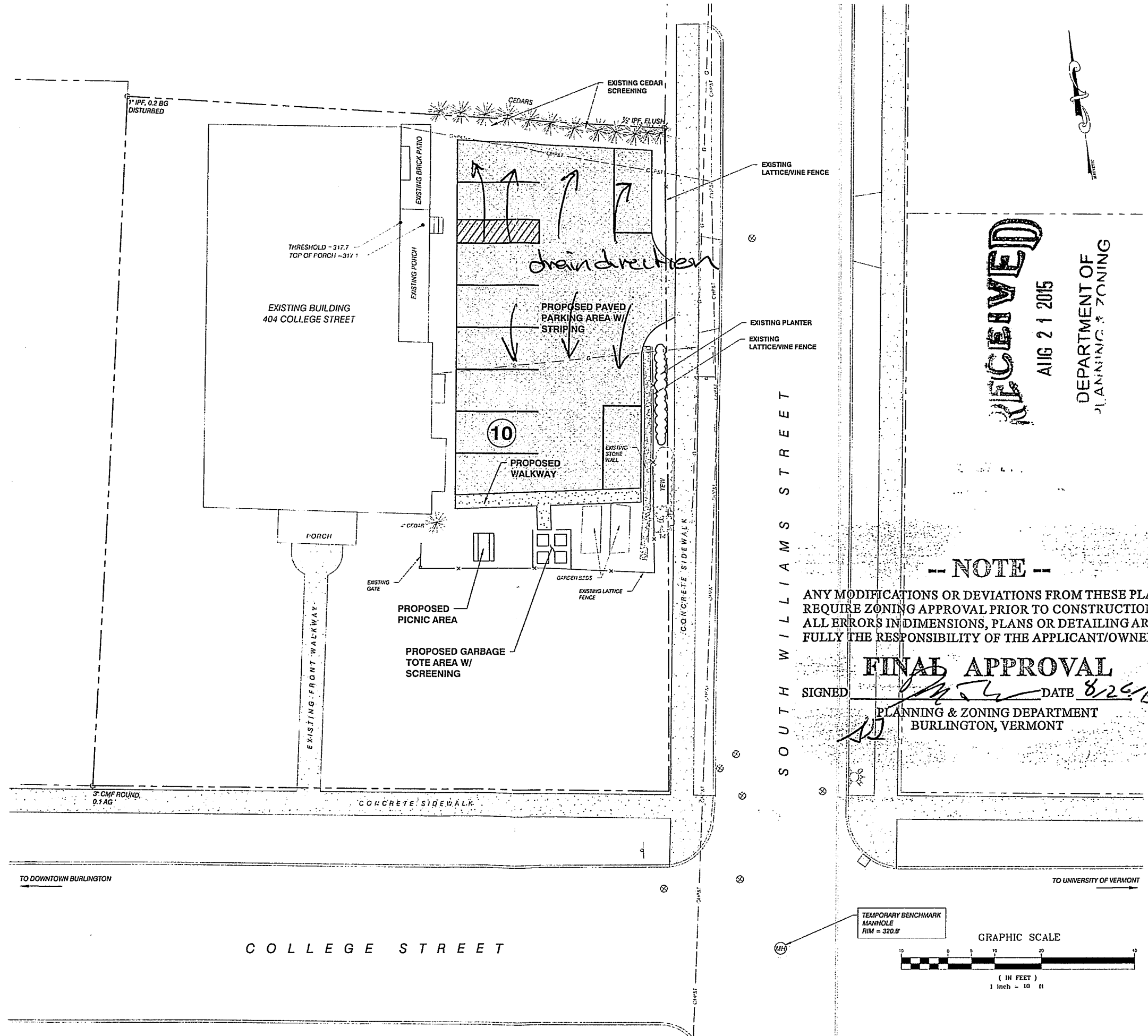
C1.

LEGEND

---	APPROXIMATE PROPERTY LINE
---	APPROXIMATE SETBACK LINE
---	EXISTING CONTOUR
---	EXISTING CURB
---	EXISTING STOCKADE FENCE
---	EXISTING GRAVEL
---	EXISTING PAVEMENT
---	EXISTING OVERHEAD ELEC. & TEL.
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---	EXISTING HYDRANT
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---	EXISTING GAS VALVE
---	EXISTING GUY WIRE/POLE
---	EXISTING SIGN
---	EXISTING DECIDUOUS TREE
---	EXISTING CONIFEROUS TREE
---	IRON ROD/PIPE FOUND
AG / BG	ABOVE GRADE / BELOW GRADE

GENERAL NOTES

- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES NOT INCORPORATED INTO THE FINAL DESIGN SHALL BE REMOVED OR ABANDONED AS INDICATED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS (WITH TIES) FOR ALL UNDERGROUND UTILITIES. THOSE PLANS SHALL BE SUBMITTED TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL REPAIR/RESTORE ALL DISTURBED AREAS (ON OR OFF THE SITE) AS A DIRECT OR INDIRECT RESULT OF THE CONSTRUCTION.
- ALL GRASSED AREAS SHALL BE MAINTAINED UNTIL FULL VEGETATION IS ESTABLISHED.
- MAINTAIN ALL TREES OUTSIDE OF CONSTRUCTION LIMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY FOR COMPLETE AND OPERABLE FACILITIES AND UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS AND MATERIALS INCORPORATED INTO THE SITE WORK. WORK SHALL NOT BEGIN ON ANY ITEM UNTIL SHOP DRAWING APPROVAL IS GRANTED.
- IN ADDITION TO THE REQUIREMENTS SET IN THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLETE THE WORK IN ACCORDANCE WITH ALL PERMIT CONDITIONS AND ANY LOCAL PUBLIC WORKS STANDARDS.
- THE TOLERANCE FOR FINISH GRADES FOR ALL PAVEMENT, WALKWAYS AND LAWN AREAS SHALL BE 0.1 FEET.
- ANY DEWATERING NECESSARY FOR THE COMPLETION OF THE SITEWORK SHALL BE CONSIDERED AS PART OF THE CONTRACT AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN CITY ROAD R.O.W. WITH CITY AUTHORITIES.
- IF THERE ARE ANY CONFLICTS OR INCONSISTENCIES WITH THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION BEFORE WORK CONTINUES ON THE ITEM IN QUESTION.
- PROPERTY LINE INFORMATION IS APPROXIMATE AND BASED ON EXISTING TAX MAP INFORMATION. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING TESTING AND INSPECTION SERVICES INDICATED IN THE CONTRACT DOCUMENTS, TYPICAL FOR CONCRETE AND SOIL TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT AND FIELD ENGINEERING REQUIRED FOR COMPLETION OF THE PROJECT. CIVIL ENGINEERING ASSOCIATES WILL PROVIDE AN AUTOCAD FILE WHERE



SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATES, INC.
10 MANSFIELD VIEW LANE, SOUTH BURLINGTON, VT 05403
802-854-2223 FAX: 802-864-2271 web: www.cca1.com

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DRAWN

GAC

CHECKED

SAV

APPROVED

SAV

OWNER:

DUNLAP RIEHLE

404 COLLEGE STREET
BURLINGTON VERMONT
05401

PROJECT:

PAVEMENT
IMPROVEMENTS

404 COLLEGE STREET
BURLINGTON, VT



LOCATION MAP

1" = 20'

DATE	CHECKED	REVISION

PROPOSED
CONDITIONS SITE
PLAN

DATE
8/20/2015

SCALE
1" = 10'

PROJ. NO.
15-000

DRAWING NUMBER

C1.0



RECEIVED
MAY 30 2017

DEPARTMENT OF
PLANNING & ZONING

CITY OF BURLINGTON
DEPARTMENT OF PUBLIC WORKS

OFFICE OF PLANNING
645 PINE STREET, SUITE A
BURLINGTON, VT 05402
802.863.9094 P
802.863.0466 F
802.863.0450 TTY
WWW.BURLINGTONVT.GOV

CHAPIN SPENCER
DIRECTOR OF PUBLIC WORKS

NORMAN J. BALDWIN, P.E.
ASSISTANT DIRECTOR OF PUBLIC WORKS

Date: May 26, 2017
To: City of Burlington Planning & Zoning Department
Dan Goltzman, Development Manager Redstone-Applicant
From: Norman J. Baldwin, P.E.-City Engineer/Ass't Director, DPW *NJB*
C.C. Laura K. Wheelock, P.E.-Public Works Engineer, DPW
Subject: ZP 17-0825 CA/MA: 85 North Avenue 43 Residential Units

The Department of Public Works(DPW) staff has

- Reviewed the Site Plans dated February 27, 2017
- Reviewed the Traffic Impact Analysis prepared by Stantec dated February 24, 2017.
- Attended the May 2, 2017 Design Review Board meeting to hear public comment.
- Reviewed the supplemental report prepared by Stantec dated May 25, 2017.

Staff's has concluded that:

- The projected volumes and directional trips assignments are accurate and supported by known and accepted standards of practice relying on ITE and U.S. Census Tract Data.
- The operational analysis for North Street and North Avenue indicates the volume of traffic introduced is negligible and with the 20 year future projections under Conditions will remain within acceptable operational levels of service.
- The Department is satisfied and agrees with the conclusion's of the applicant's consultant and have no further issues or concerns.

The City has expressed an interest to the applicant in preserving future opportunity to establish walking and biking connections from Lakeview Terrace and Depot Street. In conversations with the applicant they have agreed to:

- establish a 30 foot right of way from the south east corner of their parcel adjacent to Depot Street to the face of their eastern edge of their proposed building.
- Allow in the future any signage and marking necessary to establish a bike/walk route.

Public Works would request the proposed easement, markings and signage be memorialized as a condition of their proposed project.

Should you have any questions please contact me at nbaldwin@burlingtonvt.gov or 802.865.5826.

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55 Green Mountain Drive
South Burlington, VT 05403

RECEIVED
MAY 30 2017
DEPARTMENT OF
PLANNING & ZONING

May 25, 2017
File: 195311183

Attention: Dan Goltzman
Development
Redstone
210 College Street, Ste 201
Burlington, VT 05401

Dear Dan,

Reference: 85 North Avenue, Burlington, VT

In preparation for your continued public hearing with the Burlington Development Review Board regarding the above referenced project we are providing herein responses to issues raised at the May 2, 2017 meeting. We are also available to attend the June 6, 2017 meeting to address any additional issues.

Trip Generation Rates

Vehicle trip generation estimates for the proposed project were developed using trip rates published by the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual, 9th Edition*, 2012. The ITE trip rates for Land Use Code 220-Apartment indicate that apartments generate 0.51 vehicle trips per dwelling unit during the AM commuter peak hour and 0.62 vehicle trips per dwelling unit during the PM peak hour. These rates however, are derived from data collected at sites in suburban settings where there is little or no use of alternative travel modes (walking, bike and/or transit). In an urban setting these rates should be adjusted downward. For this project, the ITE rates were reduced 40 percent. The US Census Journey-to-Work data for the adjacent US Census tract indicates a 53 percent share for alternative modes. The trip rates and Census reference are attached.

The 40 percent reduction in the base ITE trip rates is supported not only by the US Census data but also by recent traffic surveys we conducted in the City of Burlington. In support of the Pine Street Deli project, we conducted trip generation studies at two multi-family residential properties in Burlington's South End: Champlain School and Flynn Avenue Coop. The two properties are located approximately 1.4 miles from Burlington City Hall. Vehicle trip generation rates observed at these two sites were generally only 62 to 63 percent of the unadjusted ITE trip rates. (A copy of the Pine Street Deli project traffic data is attached.) More recently data were collected by Stantec for another Redstone apartment building at 247 Pearl Street in Burlington located approximately 0.5 miles from City Hall. The vehicle trip generation rates at this property are less than half of the unadjusted ITE rates. The subject site is located approximately 0.7 miles from City Hall.



May 25, 2017
Dan Goltzman

Reference: 85 North Avenue, Burlington, VT

The following table provides a comparison among the ITE trip generation rates, rates observed at three local properties and the assumed rates in the traffic study for the 85 North Avenue project. Based on this comparison and the proposed project's location it is reasonable to assume that trip generation rates for the proposed 85 North Avenue project will be 40 percent less than the unadjusted ITE trip rates.

Table 1 Trip Rate Comparison

Commuter Peak Hour	Trip Rate (Vehicle Trips per Dwelling Unit)				
	ITE, Unadjusted ¹	Flynn Housing Coop ²	Champlain School Apartments ²	247 Pearl Street ³	Proposed 85 North Avenue
AM	0.51	0.32	0.32	0.28	0.31
PM	0.62	0.46	0.38	0.31	0.37

¹ ITE, *Trip Generation Manual, Ninth Edition*, 2012. Land Use Code 220 – Apartments

² Based on driveway counts conducted by Stantec June 2016.

³ Based on driveway counts conducted by Stantec, May 2017.

Vehicle Trip Generation

The adjusted ITE trip rates were applied to the proposed project to estimate peak hour vehicle trip generation. Assuming development of 43 residential apartment units the project will generate 13 AM commuter peak hour vehicle trips and 16 PM commuter peak hour vehicle trips as shown in Table 2. In order to provide a more conservative analysis condition a smaller, 30 percent, adjustment factor for use of alternative modes was also applied. As noted, with the smaller adjustment only two more peak hour vehicle trips are added.

Table 2 Project Traffic Generation

Direction	Vehicle Trips			
	40 Percent Adjustment		30 Percent Adjustment	
	AM Peak Hour	PM Peak Hour	AM Peak Hour	PM Peak Hour
Entering	2	10	3	12
Exiting	11	6	12	6
Total	13	16	15	18

Source: ITE Land Use Code 220 – Apartments applied to 43 dwelling units.



May 25, 2017
Dan Goltzman

Reference: 85 North Avenue, Burlington, VT

Lakeview Terrace Impacts

Lakeview Terrace provides access to the subject site from the north. It was assumed that half of the project related vehicle trips would be oriented to destinations north of the subject site. Based on this assumption approximately six vehicle trips will be oriented north of the site during the AM peak hour and eight trips will be oriented to the north during the PM peak hour.

Motorists traveling to or from destinations north of the site may use either North Avenue or Lakeview Terrace. Generally, all traffic entering the site from the north would be expected to use North Avenue since: 1) North Avenue can accommodate higher travel speeds; and, 2) southbound traffic volumes are at a low level during the PM peak hour when entering volumes are heaviest. (Southbound is the off-peak direction on North Avenue during the PM commuter peak period.) Motorists exiting to the north however, may choose to use Lakeview Terrace to avoid delays associated with the traffic signal on North Avenue at North Street. Should half of these motorists choose to use Lakeview Terrace, an estimated three vehicle trips will be added to Lakeview Terrace during the AM peak hour and an estimated two vehicle trips will be added during the PM peak hour.

Cut-Through Traffic

Stantec conducted initial traffic observations for the 85 North Avenue project in February 2016. At this time, the former Burlington College building/current COTS building was vacant. Accordingly, there were no vehicles parked in the adjacent parking lot. Absent any parked vehicles the wide-open lot was used as a cut-through route between Lakeview Terrace and North Avenue, generally in the southbound direction. A portion of the lot has since been reconstructed by COTS with striped parking stalls and raised islands defining parking bays. Similar enhancements to the balance of the lot will be made by the 85 North Avenue project. With these changes and the more active use of the lot for parking, the level of cut-through traffic and the speed of cut-through traffic are expected to diminish significantly.



May 25, 2017
Dan Goltzman

Reference: 85 North Avenue, Burlington, VT

We trust that the above adequately addresses the traffic concerns raised at the DRB hearing. If we can be of further assistance, please do not hesitate to call.

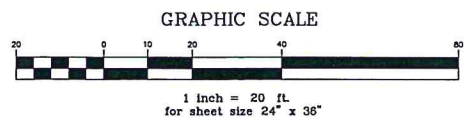
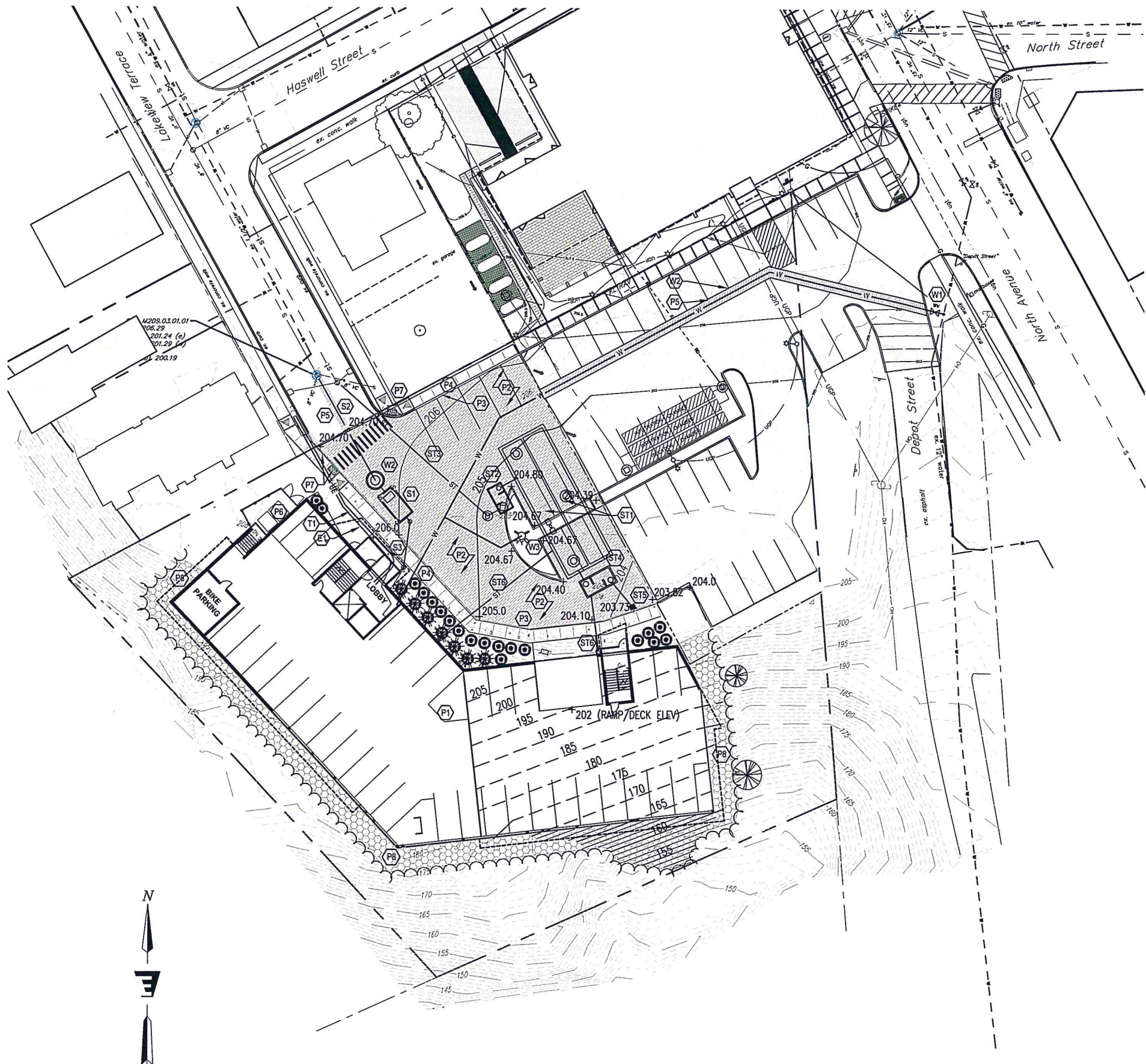
Regards,

Stantec Consulting Services Inc.

Richard S. Bryant, P.E.
Senior Associate
Phone: 802 864 0223
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Richard.Bryant@stantec.com

Cc Norm Baldwin, Burlington DPW

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LEGEND

EXISTING		PROPOSED
-----100-----	CONTOUR	=====100=====
-----S-----	SANITARY SEWER LINE	=====S=====
-----ST-----	STORM LINE	=====ST=====
-----W-----	WATER LINE	=====W=====
-----UE-----	UNDERGROUND ELECTRIC	=====UE=====
	UNDERGROUND TELECOM	=====UT=====
	CATCH BASIN	
	STORM MANHOLE	
	FLARED END SECTION	
	GATE VALVE	
	HYDRANT	
	WATER SHUT OFF	

GENERAL NOTES

1. LOCATE AND PROTECT IN PLACE ALL EXISTING UNDERGROUND AND OVERHEAD POWER, TELEPHONE, AND DATA LINES NOT NOTED FOR DEMOLITION.
2. COORDINATE ALL WORK NEAR OR ON UTILITIES OWNED BY OTHERS WITH THE UTILITY PROVIDER.
3. PROTECT ALL DISTURBED AREAS FROM EROSION IN ACCORDANCE WITH THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN.
4. PROTECT ALL TREES AND VEGETATION NOT SLATED FOR REMOVAL.

SITE AND UTILITY NOTES

- P1 NEW BUILDING
- P2 NEW ASPHALT PAVEMENT . SEE DETAIL SHEET C3.3.
- P3 NEW 6" CONCRETE CURB. SEE DETAIL SHEET C3.3.
- P4 NEW CONCRETE SIDEWALK. SEE DETAIL SHT C3.3
- P5 NEW PAVEMENT TRENCH PATCH. SEE DETAIL SHEET C3.3.
- P6 TRASH ENCLOSURE. SEE DETAIL SHEET C3.3.
- P7 NEW CONCRETE SIDEWALK WITH TIP DOWNS, TRUNCATED DOMES AND AND FLUSH CURB. SEE DETAIL SHEET C3.3
- P8 STONE STABILIZATION. SEE DETAIL SHEET C3.4
- W1 NEW TAPPING VALVE. SEE DETAIL SHEET C3.0.
- W2 NEW 8" DI WATERLINE. SEE DETAIL SHEET C3.0.
- W3 NEW FIRE HYDRANT AND APPURTENANCES. SEE DETAIL SHEET C3.0
- S1 NEW 4,000 GALLON PUMP STATION AND VALVE CHAMBER. SEE DETAIL SHEET C3.1
- S2 NEW 2" PVC FORCEMAIN. SEE DETAIL SHEET C3.1
- S3 NEW 4" BUILDING SEWER AND CLEANOUTS. 2% MINIMUM SLOPE.
- ST1 NEW STORMITEK INFILTRATION CHAMBERS. SEE DETAIL SHEET C3.2
- ST2 NEW 4,000 GALLON STORM WATER OVERFLOW TANK. SEE DETAIL SHEET C3.2.
- ST3 NEW 12" HDPE STORM LINE. SEE DETAIL SHEET C3.2
- ST4 NEW 4,000 GALLON STORMWATER PRE-TREATMENT TANK. SEE DETAIL SHEET C3.2
- ST5 NEW 48" DIA CATCH BASIN. SEE DETAIL SHEET C3.2
- ST6 NEW 8" PVC ROOF DRAIN COLLECTOR. SEE DETAIL SHEET C3.2.
- E1 NEW ELECTRIC CONDUIT. COORDINATE WITH BURLINGTON ELECTRIC DEPARTMENT
- T1 NEW TELECOM CONDUIT. COORDINATE WITH SERVICE PROVIDER.

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85
North
Avenue
Burlington, Vermont

Revisions:
Bldg/Siteplan update 3/1
Crosswalks update 4/2
Site Grading update 5/2

Job Number: 000

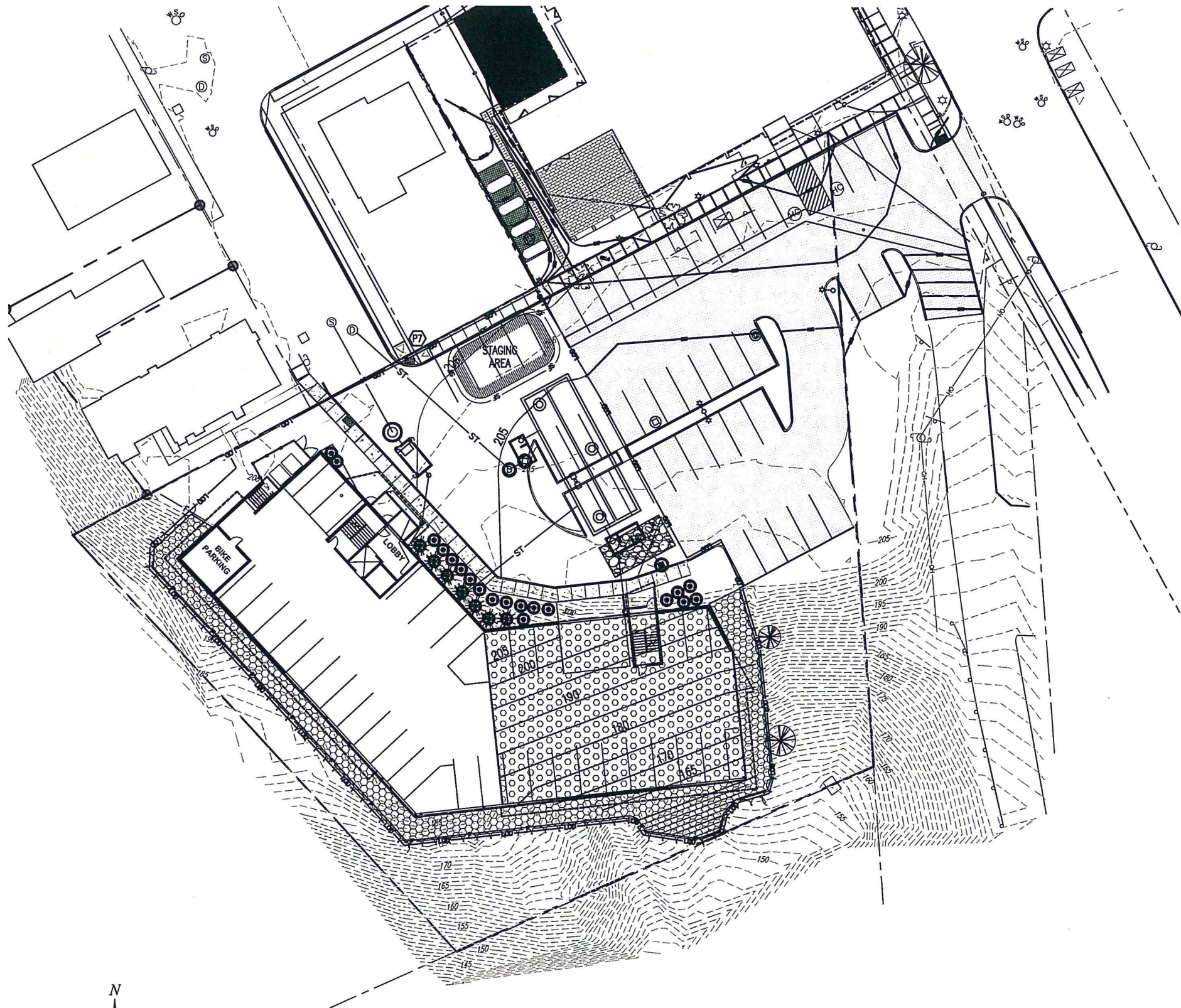
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Date: February 27,

GRADING
AND UTILITIES
PLAN

C1



GENERAL EROSION CONTROL NOTES

1. THE DISTURBANCE LIMITS INDICATED INCLUDE LESS THAN 1 AC OF SOIL DISTURBANCE AREA, WHICH IS BELOW THE THRESHOLD FOR COVERAGE UNDER VERMONT CONSTRUCTION GENERAL PERMIT 3-9020. THE CONTRACTOR MUST STILL MEET THE "LOW-RISK" REQUIREMENTS OF THAT PERMIT. CHANGES TO THE SCOPE OF WORK OR PROCEDURES OUTLINED ON THIS SHEET ARE TO BE CLEARED WITH THE ENGINEER PRIOR TO IMPLEMENTATION.
2. A PRE-CONSTRUCTION MEETING INCLUDING THE ON-SITE COORDINATOR (OSC), CONTRACTOR, BURLINGTON PUBLIC WORKS DEPARTMENT, AND ENGINEER IS TO BE SCHEDULED BY THE CONTRACTOR AT LEAST ONE WEEK PRIOR TO THE PLANNED START OF CONSTRUCTION. AT LEAST 72 HOURS OF NOTICE TO THE ABOVE PARTIES IS REQUIRED PRIOR TO THE MEETING.
3. A COPY OF THE EPSC PLAN, WITH ALL AMENDMENTS AND ASSOCIATED REPORTS, SHALL BE KEPT ON SITE DURING CONSTRUCTION, AND SHALL BE MADE AVAILABLE TO AUTHORIZED REPRESENTATIVES OF THE CITY OF BURLINGTON UPON REQUEST. THE NOTICE PAGE, PROVIDED BY THE CITY, MUST BE POSTED IN A PUBLICLY VISIBLE LOCATION.
4. DISTURBANCE LIMITS ARE TO BE MARKED, AND THE FOLLOWING MANAGEMENT PRACTICES INSTALLED, PRIOR TO BEGINNING EARTH WORK IN ANY GIVEN AREA: SILT FENCE, CONSTRUCTION ENTRANCE, TREE PROTECTION, CHECK DAMS, AND INLET PROTECTION.
5. THE CONTRACTOR MUST INSPECT ALL BMP'S AND WALK THE SITE PERIMETER AT THE END OF EACH WORKDAY TO ENSURE THAT SEDIMENT WILL NOT LEAVE THE SITE. ANY SEDIMENT FOUND BEYOND THE SITE LIMITS IS TO BE REMOVED IMMEDIATELY.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "VERMONT HANDBOOK FOR SOIL EROSION AND SEDIMENT CONTROL ON CONSTRUCTION SITES," THE VERMONT GENERAL PERMIT 3-9020 FOR STORMWATER RUNOFF FROM CONSTRUCTION SITES AND BURLINGTON ORDINANCE.
7. ALL DISTURBED AREAS ARE TO BE STABILIZED (TEMPORARY OR FINAL) WITHIN 14 DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE WITHIN THIS WORK AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
 - a. STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN 24 HOURS AND NO LIQUID PRECIPITATION IS FORECAST DURING THAT PERIOD.
 - b. WORK IS OCCURRING WITHIN A SELF-CONTAINED EXCAVATION, 2 FEET OR MORE IN DEPTH.
8. THE PERIOD BETWEEN OCTOBER 15TH AND APRIL 15TH IS CONSIDERED THE "WINTER CONSTRUCTION PERIOD". DURING THIS PERIOD, STABILIZATION MUST OCCUR AT THE END OF EACH WORKDAY UNLESS EXCEPTIONS a AND b ABOVE APPLY.
9. ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED WITHIN 48 HOURS OF FINAL GRADING. THIS WILL INCLUDE MATTING AT A MINIMUM.
10. ALL STABILIZATION INVOLVING SEEDING IS TO BE COMPLETED BY SEPTEMBER 15TH.
11. THE CONTRACTOR SHALL CLEAN ALL EXISTING INLETS AND FLUSH THE EXISTING STORM SEWER SYSTEM AS NEEDED TO PREVENT EXISTING PIPES FROM CLOGGING.
12. THE CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTION OF THE ADJACENT ROADWAYS FOR OFF-SITE TRACKING OF SOIL MATERIALS. SOIL, STONE, AND DEBRIS FOUND LEAVING THE SITE ARE TO BE REMOVED (WHEN FOUND) BY SWEEPING AT THE END OF EACH CONSTRUCTION DAY, OR MORE FREQUENTLY WHEN NEEDED TO PREVENT IMPACTS TO ADJACENT ROADS AND SIDEWALKS.
13. THE CONTRACTOR IS REQUIRED TO CONTACT THE CITY FOR INSPECTION ONCE FINAL STABILIZATION MEASURES ARE IN PLACE, AND ANOTHER INSPECTION ONCE FINAL STABILIZATION HAS BEEN REACHED (VEGETATED AREAS HAVE GROWN IN).
14. IF DEMATERING IS REQUIRED FOR CONSTRUCTION, THE CONTRACTOR MUST UTILIZE SEDIMENT FILTER BAGS (OR ALTERNATE APPROVED BY THE ENGINEER) TO PREVENT DISCHARGE OF SEDIMENT-LOADED WATER OFF SITE.

EPSC NOTES & LEGEND

DUST CONTROL
DUST SHALL BE CONTROLLED THROUGH APPLICATION OF WATER, AS REQUIRED TO PREVENT MIGRATION BEYOND THE PROJECT LIMITS. CONTROL OF DUST REMAINS AN ONGOING RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED.

INSPECTION REQUIREMENTS
THE ON-SITE COORDINATOR (OSC) IS RESPONSIBLE FOR INSPECTION OF ALL EPSC MEASURES EVERY DAY AND AS SOON AS REASONABLY POSSIBLE DURING OR AFTER WEATHER RESULTING IN RUNOFF FROM THE SITE. FULL COMPLIANCE WITH THE REQUIREMENTS OF VERMONT GENERAL PERMIT 3-9020 IS THE RESPONSIBILITY OF THE CONTRACTOR AND OSC. INSPECTION FREQUENCY MAY BE REDUCED TO MONTHLY IF ALL DISTURBED AREAS HAVE BEEN STABILIZED. INSPECTION AND REPORTING REQUIREMENTS DO NOT CEASE UNTIL THE SITE IS PERMANENTLY STABILIZED AND A NOTICE OF TERMINATION HAS BEEN FILED. DISCHARGE OF SEDIMENT AFTER FILING A NOTICE OF TERMINATION IS PROHIBITED.

VEGETATIVE STABILIZATION
ALL SEEDING FOR VEGETATIVE STABILIZATION IS TO TAKE PLACE BETWEEN APRIL 15TH AND SEPTEMBER 15TH UNLESS OTHERWISE APPROVED.

STABILIZATION REQUIREMENTS
TO BE CONSIDERED PERMANENTLY STABILIZED, ALL DISTURBED AREAS MUST BE PROTECTED BY ONE OF THE FOLLOWING: PAVEMENT, GRAVEL, MULCH BEDS, OR VEGETATION (70% MINIMUM COVERAGE). THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL SEDIMENT CONTROL MEASURES (SILT FENCE, DISTURBANCE LIMIT MARKERS, INLET PROTECTION, ETC.) AND FOR RESTORATION OF ALL STAGING AND SOIL STOCKPILE AREAS BEFORE FILING NOTICE OF TERMINATION.

EROSION PREVENTION AND SEDIMENT CONTROL STRATEGY
THE FOLLOWING TECHNIQUES WILL BE UTILIZED AS PART OF A SEDIMENT AND EROSION CONTROL PROGRAM. THE SEDIMENT AND EROSION CONTROL PROGRAM WILL BE IMPLEMENTED IN STAGES. CERTAIN ITEMS FROM ONE STAGE WILL LIKELY OVERLAP OR TAKE PLACE CONCURRENTLY WITH ITEMS FROM OTHER STAGES. REFER TO DETAILS ON SHEET C3.4.

TEMPORARY EPSC LEGEND

- STABILIZED CONSTRUCTION ENTRANCE**
THIS STRUCTURAL MEASURE IS A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER FABRIC LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, SIDEWALK, OR PARKING AREA. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS. THIS WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED.
- SILT FENCING**
THIS STRUCTURAL MEASURE IS A TEMPORARY BARRIER OF GEOTEXTILE FABRIC USED TO INTERCEPT SEDIMENT LOADED RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. IT IS INSTALLED ALONG THE PERIMETER OF IMPACTED AREAS AND ALONG THE BASE OF THE FILL SLOPES. ADDITIONALLY, WHEN DESIGNATED ALONG THE LIMITS OF DISTURBANCE, INSTALL CONSTRUCTION FENCE BEHIND THE SILT FENCE. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED.
- FIBER ROLL**
THIS STRUCTURAL MEASURE IS A TEMPORARY BARRIER USED TO INTERCEPT SEDIMENT LOADED RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. IT IS INSTALLED ALONG THE PERIMETER OF IMPACTED AREAS AND ALONG THE BASE OF THE FILL SLOPES. ADDITIONALLY, WHEN DESIGNATED ALONG THE LIMITS OF DISTURBANCE, INSTALL SPECIFIED FENCE BEHIND THE FIBER ROLL. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED.
- APPROXIMATE STAGING AND WASTE AREAS**
THESE ARE APPROVED LOCATIONS WHERE NON-SOIL, NON-ERODIBLE MATERIALS MAY BE STORED. SOILS SHALL NOT BE STORED IN THESE AREAS.
- LIMITS OF DISTURBANCE**
THE CONTRACTOR SHALL CONTAIN ANY EARTH MOVING ACTIVITIES WITHIN THE DESIGNATED LIMITS SHOWN ON THIS PLAN. THE ENGINEER SHALL REVIEW THE SITE TO MAKE ANY ADJUSTMENTS TO ACCOUNT FOR ENVIRONMENTALLY SENSITIVE AREAS, SPECIFIC TREES AND SPECIAL AREAS OF CONCERN. THE LIMITS SHALL BE DEMARKED WITH ORANGE CONSTRUCTION FENCE OR CHAIN LINK FENCE AS SPECIFIED ON PLANS. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED. CONFIRM LOCATION, EXTENTS AND GATES WITH OWNER. FENCE LOCATION AND GATES TO BE RE-ADJUSTED AS NECESSARY BASED ON CM REQUIREMENTS AND PROJECT PHASING AND COORDINATION.
- CHAIN LINK FENCING**
CONTRACTOR SHALL INSTALL AS INDICATED ON PLANS AT LIMIT OF DISTURBANCE.
- TEMPORARY INLET PROTECTION**
INSTALL AS INDICATED ON PLANS. STONE TO BE REMOVED AND REPLACED WITH CLEAN STONE WHEN SEDIMENT REACHES $\leq 1/2$ DEPTH OF STONE. REMOVE ALL SEDIMENT IF COLLECTED IN STRUCTURE AS SOON AS POSSIBLE. FIBER ROLLS MAY BE USED AS AN ALTERNATIVE TO CRUSHED STONE.

PERMANENT STABILIZATION LEGEND

- SLOPE STABILIZATION - OUTSIDE BUILDING FOOTPRINT**
THIS PERMANENT STRUCTURAL MEASURE TO BE INSTALLED IN LOCATIONS INDICATED ON THIS PLAN TO STABILIZE THE SLOPE AND REDUCE THE EROSION POTENTIAL. STABILIZING MATERIALS TO BE INSTALLED PER DETAIL 10/C3.4.
- SLOPE STABILIZATION - WITHIN BUILDING FOOTPRINT**
THIS PERMANENT STRUCTURAL MEASURE TO BE INSTALLED IN LOCATIONS INDICATED ON THIS PLAN TO STABILIZE THE SLOPE AND REDUCE THE EROSION POTENTIAL. STABILIZING MATERIALS TO BE INSTALLED PER DETAIL 11/C3.4.

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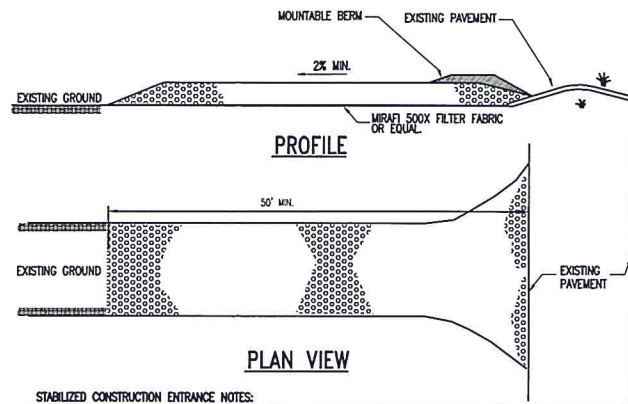
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Revisions:
Bldg/Siteplan update 3/
Siteplan update 5/
Job Number: 00
File Name: 15330 C1.
Scale: As
Date: February 27,

EROSION
PREVENTION
AND SEDIMENT
CONTROL PLAN

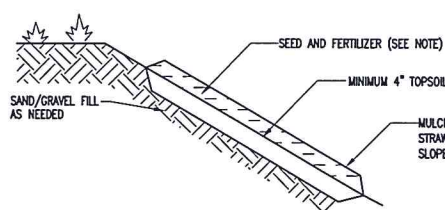


STABILIZED CONSTRUCTION ENTRANCE NOTES:

1. STONE SIZE: USE 1-1/2" CRUSHED STONE.
2. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
4. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
5. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

CONSTRUCTION ENTRANCE DETAIL

SCALE: NONE

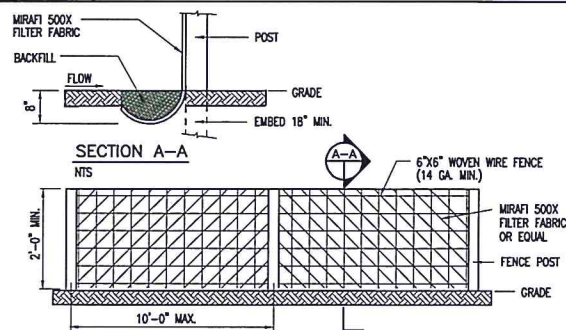


NOTES FOR SEEDED AND MULCHED AREAS:

1. ALL DISTURBED SURFACES SHALL BE TEMPORARILY OR PERMANENTLY SEEDED AND MULCHED WITHIN 7 DAYS OF DISTURBANCE.
2. SEEDING AND MULCHING OF DISTURBED AREAS SHALL TAKE PLACE WITHIN 48 HOURS OF FINAL GRADING.
3. MULCH: TYPICALLY HAY OR STRAW MAY BE UTILIZED AND SHALL BE APPLIED AT A RATE OF 90-100 LBS/1,000 SF. MULCH SHALL NOT BE PLACED ON SLOPES OF GREATER THAN 3:1. EROSION CONTROL MATTING SHALL BE USED IN ITS PLACE.
4. SEED: SEEDING SHALL OCCUR AFTER APRIL 15 AND PRIOR TO SEPTEMBER 15TH IN ORDER TO ESTABLISH A STAND OF GRASS PRIOR TO GROUND FREEZING. SEED SHALL BE IN ACCORDANCE WITH SECTION 32 9200.
5. COVER SEED WITH 1/2 INCH SOIL UNLESS A HYDROSEEDER IS USED.
6. MULCH ANCHORING: SHALL BE ACCOMPLISHED BY DEGRADABLE MULCH NETTING. USE WHEN SLOPES ARE GREATER THAN 10%.
7. TOPSOIL AND MULCHING NOT TO BE APPLIED IN AREAS OF TRAVEL WAYS.
8. REFER TO SECTION 32 9200 FOR TOPSOIL AND PERMANENT SEEDING INFORMATION.

SEEDED AND MULCHED AREAS DETAIL

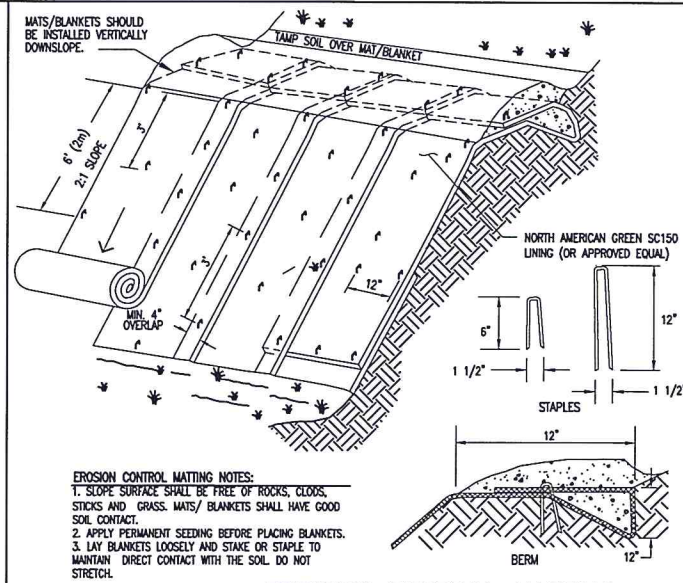
SCALE: NONE



SILT FENCE NOTES:

1. SILT FENCE SHALL BE PRE-FABRICATED EROSION CONTROL FENCE BY MIRAFI OR EQUAL, OR CONSTRUCTED IN PLACE AS SPECIFIED HEREIN.
2. CONSTRUCTED IN PLACE SILT FENCE:
 - A. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - B. FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE TIES SPACED EVERY 24" AT TOP OF MID SECTION.
 - C. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6", FOLDED AND STAPLED.
3. INSPECTION SHALL BE FREQUENT (MINIMUM ONCE A WEEK AND AFTER EVERY RAINFALL). MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.
4. WOVEN WIRE FENCE REINFORCEMENT IS REQUIRED BY THE VT CONSTRUCTION GENERAL PERMIT WHEN SILT FENCE IS PLACED WITHIN 100 FEET UPSLOPE OF RECEIVING WATERS.

SILT FENCE DETAIL

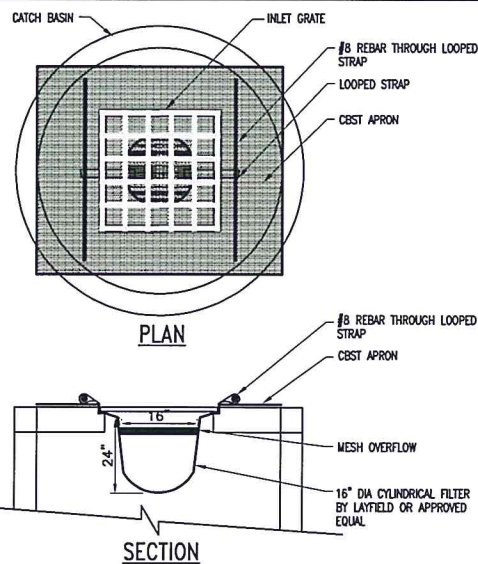


EROSION CONTROL MATTING NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

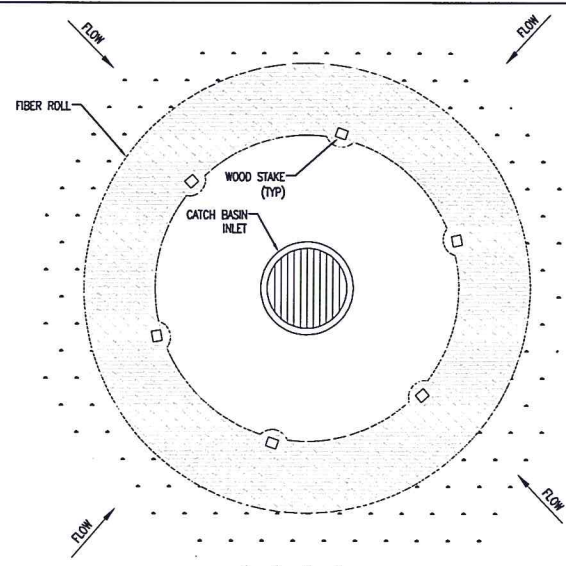
EROSION CONTROL MATTING

SCALE: NONE

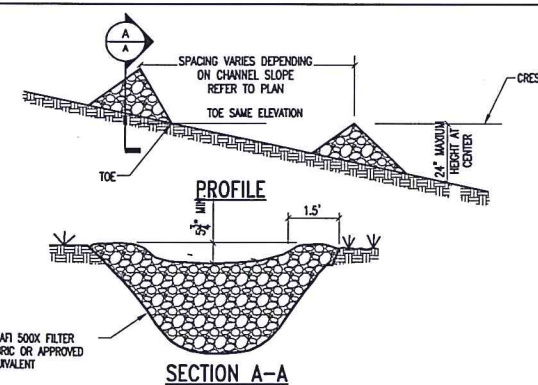


FABRIC INLET PROTECTION

NOT TO SCALE



FIBER ROLL INLET PROTECTION DETAIL

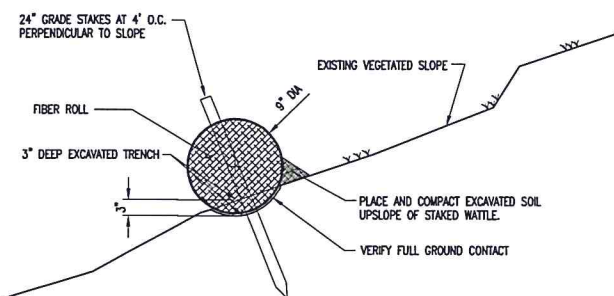


CHECK DAM NOTES:

1. TYPE I STONE FILL WILL BE PLACED ON A FILTER FABRIC FOUNDATION AT THE GRADES AND LOCATIONS AS DESCRIBED HEREIN, AND TO MEET THE ABOVE DETAIL IN AREAS SHOWN ON PLANS.
2. SET SPACING OF CHECK DAMS SUCH THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM FOR A MINIMUM OF 100' DOWNSTREAM OF DISTURBED EARTH.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED WEEKLY (EVERY 7 DAYS) AND WITHIN 24 HOURS AFTER EACH RAIN.
6. REMOVE SEDIMENT COLLECTED BEHIND EACH DAM WHEN DEPTH OF SEDIMENT IS ONE HALF THE HEIGHT OF THE DAM.

STONE CHECK DAM DETAIL

SCALE: NONE

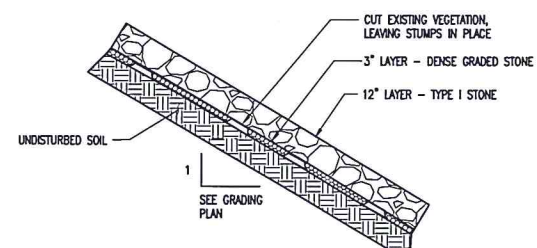


NOTES:

1. FIBER ROLL PRODUCT TO BE NORTH AMERICAN GREEN SEDMAX-SWB9 OR APPROVED EQUIVALENT.
2. ROLLS TO BE 9" DIAMETER AND CONSIST OF AGRICULTURAL STRAW WRAPPED IN BIODEGRADABLE, ORGANIC JUTE NET.
3. INSTALL PER MANUFACTURER'S RECOMMENDATION.

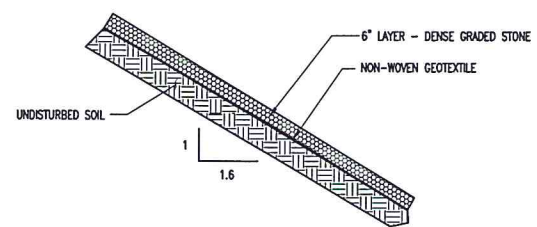
FIBER ROLL DETAIL

NOT TO SCALE



SLOPE STABILIZATION - OUTSIDE BUILDING FOOTPRINT

NOT TO SCALE



SLOPE STABILIZATION - WITHIN BUILDING FOOTPRINT

EPSC NOTES

1. PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE CONTRACTOR, OWNER, PROJECT ENGINEER AND CITY DPW TO REVIEW PROCEDURES AND IDENTIFY RESPONSIBILITIES. 4 WEEKS NOTICE SHALL BE GIVEN TO THE CITY PRIOR TO START OF CONSTRUCTION. UNLESS STATED OTHERWISE STATED, ALL MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE VIRANS SPECIFICATIONS.
2. ALL REMAINING DISTURBED AREAS SHALL BE FERTILIZED AND SEEDED IN ACCORDANCE WITH APPLICABLE STATE SPECIFICATIONS FOR EROSION CONTROL.
3. THE SEEDING OF 10% OR GREATER SLOPES SHALL REQUIRE THE USE OF EROSION CONTROL MATTING.
4. ALL EARTHWORK MATERIALS SHALL BE OBTAINED FROM APPROVED SOURCES. THEY SHALL CONSIST OF SATISFACTORILY GRADED, FREE DRAINING MATERIAL, REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIAL. EARTHWORK MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING TABLES:

WINTER EROSION CONTROL NOTES

WINTER CONSTRUCTION PROCEDURES:

1. DURING WINTER CONSTRUCTION, INSPECTIONS BY THE ON-SITE PLAN COORDINATOR SHALL OCCUR DAILY WHEN AREAS ARE UN-STABLE, AND WEEKLY PRIOR TO ANY FORECASTED RAIN, THAW OR SPRING MELT WHEN TEMPORARY STABILIZATION IS IN PLACE.
2. IN AREAS TO BE STABILIZED BY VEGETATION, ALL SEEDING MUST BE COMPLETED BY SEPTEMBER 15 TO ALLOW GROWTH TO OCCUR PRIOR TO THE GROUND FREEZING. STABILIZATION OF ALL OTHER DISTURBED AREAS SHALL BE COMPLETED BY OCTOBER 15.
3. ENLARGED ACCESS POINTS, STABILIZED TO PROVIDE FOR SNOW STOCKPILING SHALL BE INSTALLED.
4. LIMITS OF DISTURBANCE SHALL BE MOVED OR REPLACED TO REFLECT BOUNDARY OF WINTER WORK.
5. SNOW WILL NOT BE PILED WITHIN 25 FEET OF PERIMETER CONTROLS (SUCH AS SILT FENCE) TO ALLOW FOR CLEARING AND MAINTENANCE. SNOW IS TO BE REMOVED FROM ALL STRUCTURAL EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES FOLLOWING EACH SIGNIFICANT SNOWFALL. NO SNOW STORAGE UP-GRADE OF DISTURBANCE. NO SNOW DISPOSAL IN SEDIMENT PONDS/BASINS. IF NECESSARY, SNOW/ICE MUST BE REMOVED PRIOR TO STABILIZATION OF DISTURBED AREAS. ACCESS POINTS SHALL BE ENLARGED AND STABILIZED TO ALLOW FOR SNOW STOCKPILING.
6. IN AREAS OF DISTURBANCE WITHIN 100 FT OF A RECEIVING WATER, SILT FENCE SHALL BE REINFORCED OR ELSE REPLACED WITH PERIMETER DIKES, SWALES OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
7. DRAINAGE STRUCTURES SHALL BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
8. ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE BY OCTOBER 15, OR IF NOT POSSIBLE, THEN PRIOR TO GROUND FREEZE.
9. MULCH IS TO BE APPLIED AT THE END OF EACH WORKDAY TO ALL EXPOSED AREAS THAT HAVE NOT YET REACHED FINAL GRADE AT TWICE THE RATE INDICATED IN THE SEEDING AND MULCHING DETAIL FOR THE REGULAR CONSTRUCTION SEASON. MULCH SHALL BE TRACKED IN OR STABILIZED WITH NETTING.
10. TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
 - A) IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
 - B) DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
11. SNOW AND ICE SHALL BE REMOVED TO LESS THAN 1" THICKNESS PRIOR TO STABILIZATION.
12. STONE STABILIZATION, 10 TO 20 FT WIDE IN AREAS SUCH AS THE PERIMETER OF BUILDINGS UNDER CONSTRUCTION WHERE CONSTRUCTION VEHICLE TRAFFIC IS ANTICIPATED SHALL BE INSTALLED.

gossens.bachman.Architect
85 granite shed lane
montpelier, vt 05602
802.229.1664
802.229.4822 FAX

www.gharchitecture.com

85
North
Avenue
Burlington, Vermont

Revisions:
Added Details 10, 11 5/2

Job Number: 000

File Name: C3.X

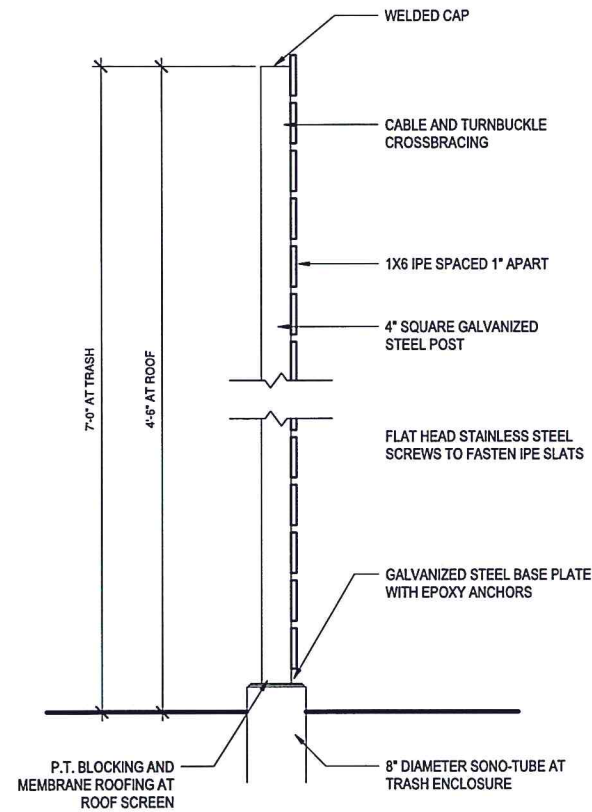
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Date: February 27,

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MAY 26 2017
DEPARTMENT OF
PLANNING & ZONING

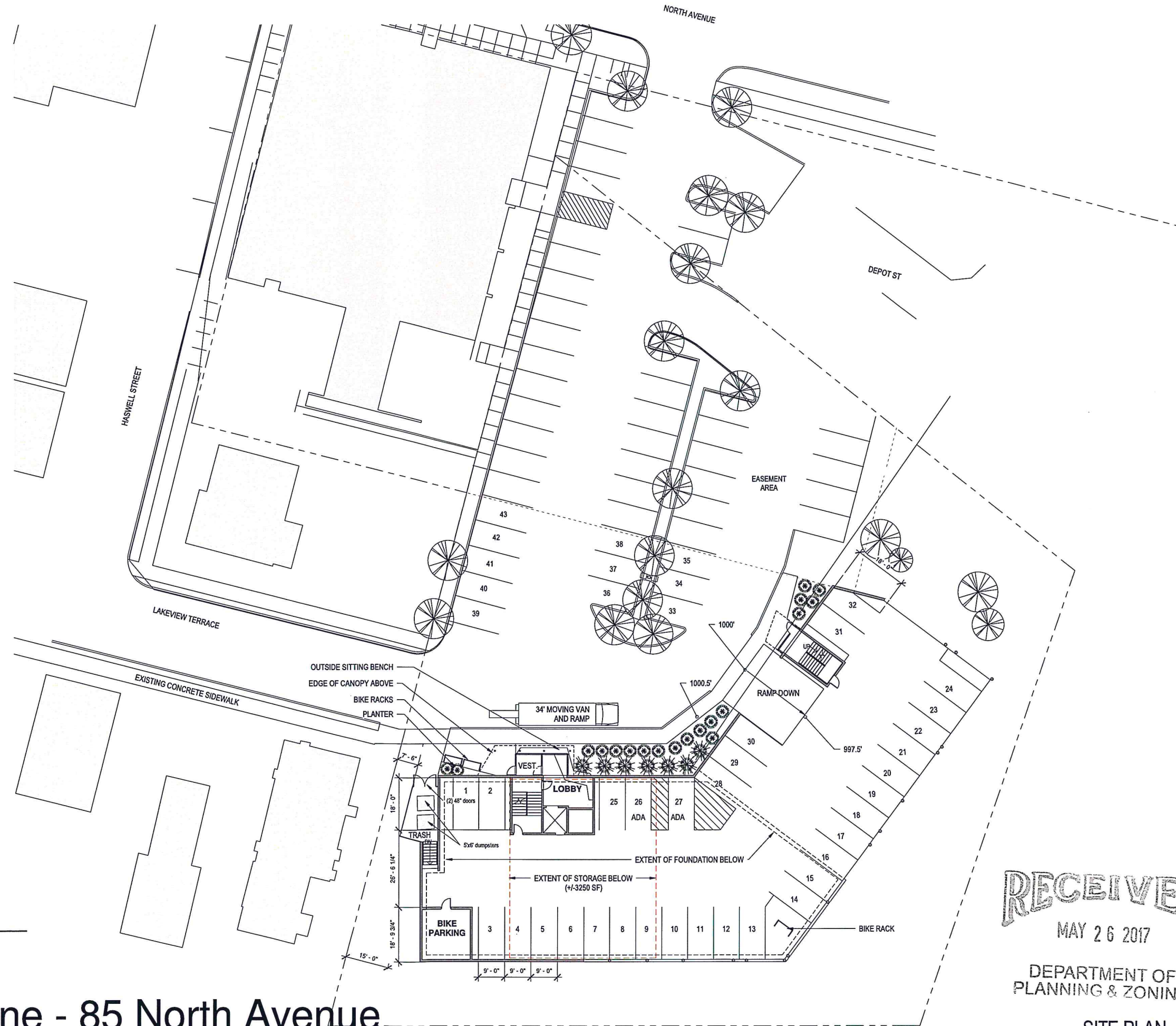
EROSION
PREVENTION AND
SEDIMENT CONTR
DETAILS

C3



2 WOOD SLAT SCREEN
SCALE: 1" = 1'-0"

1 LEVEL 1 - PARKING
SCALE: 1/16" = 1'-0"



RECEIVED
MAY 26 2017

DEPARTMENT OF
PLANNING & ZONING

SITE PLAN

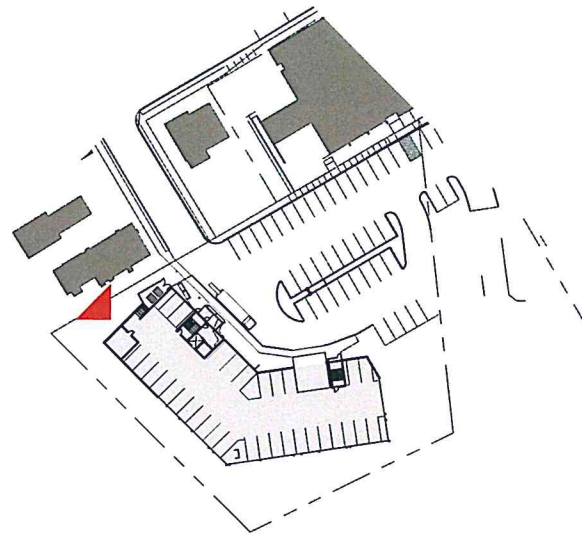
Redstone - 85 North Avenue



1 North and Northeast Elevations
SCALE: 3/32" = 1'-0"

RECEIVED
MAY 26 2017

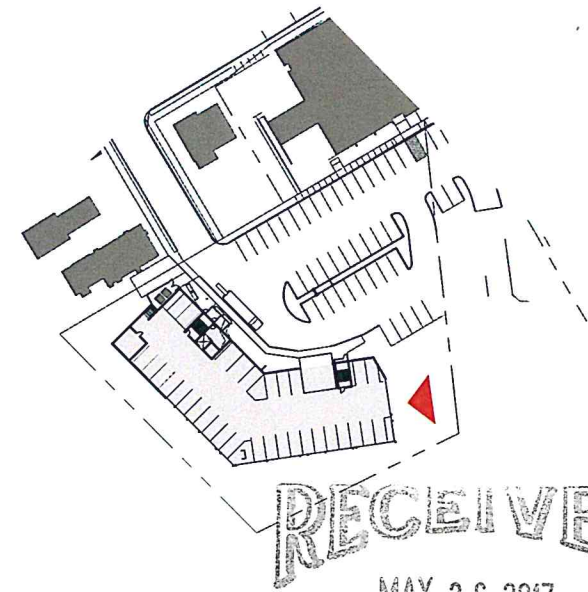
DEPARTMENT OF
PLANNING & ZONING



1 North West Elevation
SCALE: 3/32" = 1'-0"



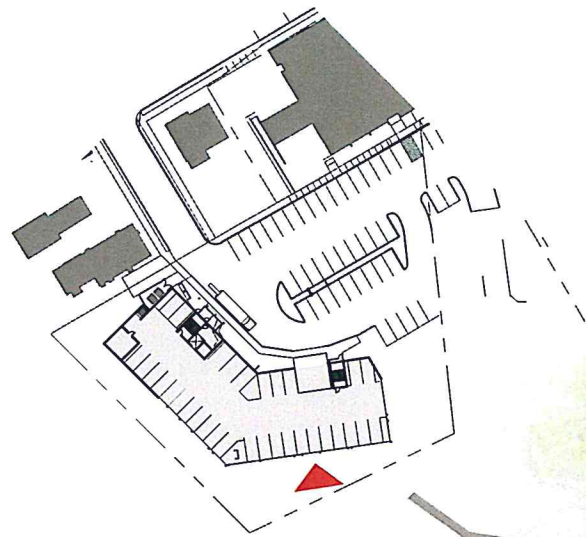
2 East Elevation
SCALE: 3/32" = 1'-0"



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MAY 26 2017

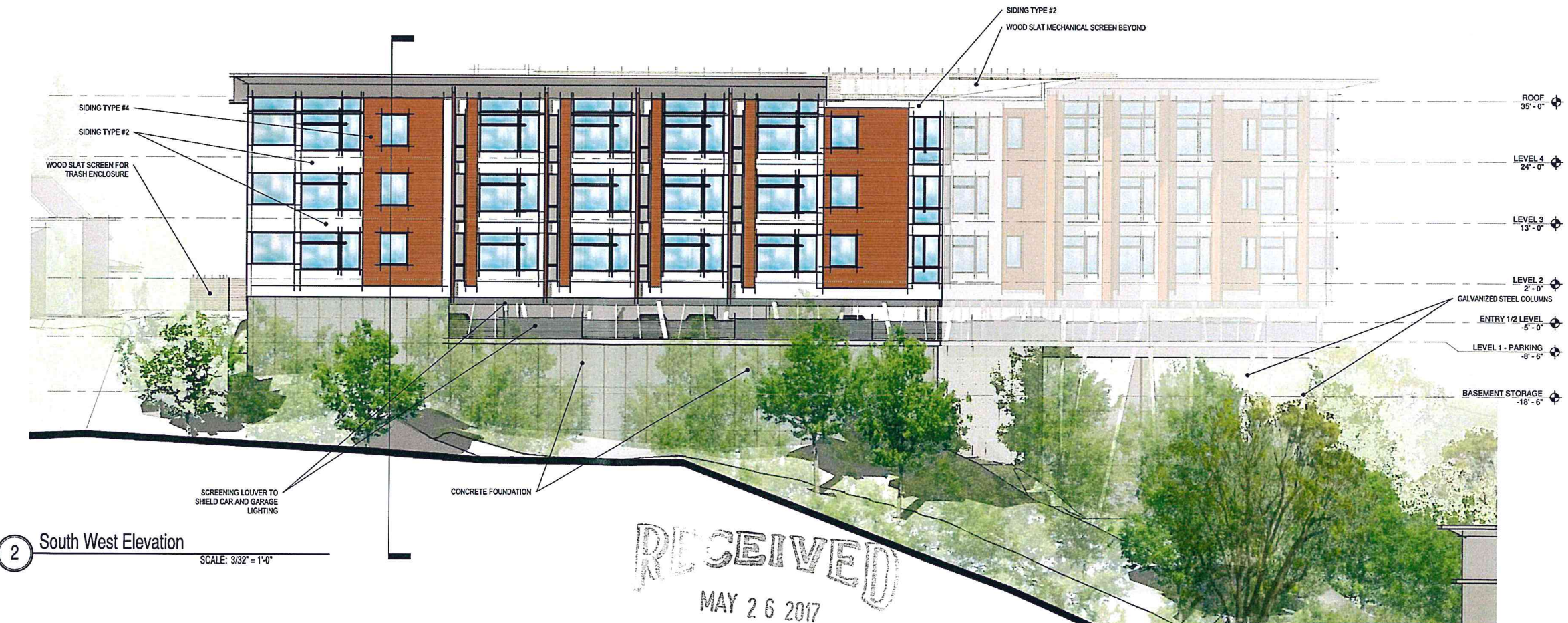
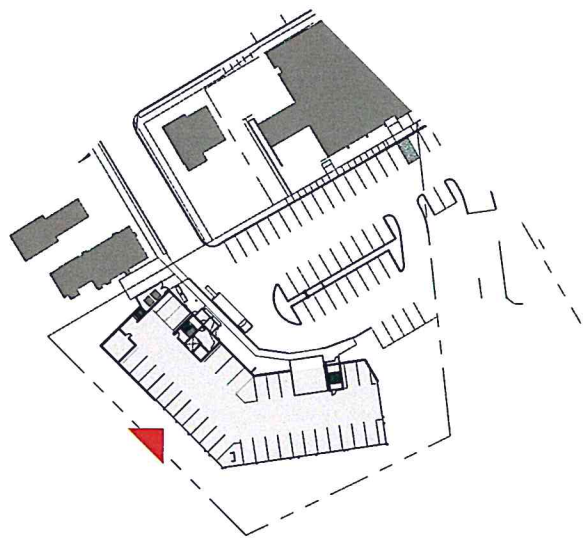
DEPARTMENT OF
PLANNING & ZONING

NORTHWEST AND EAST ELEVATIONS



1 South Elevation

SCALE: 3/32" = 1'-0"



2 South West Elevation

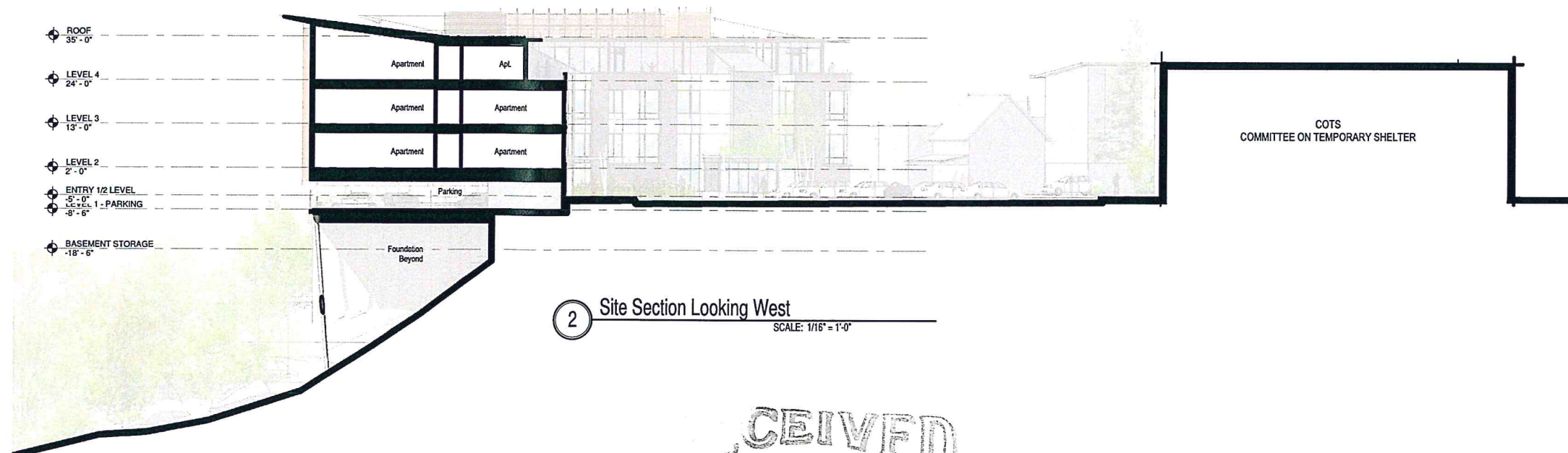
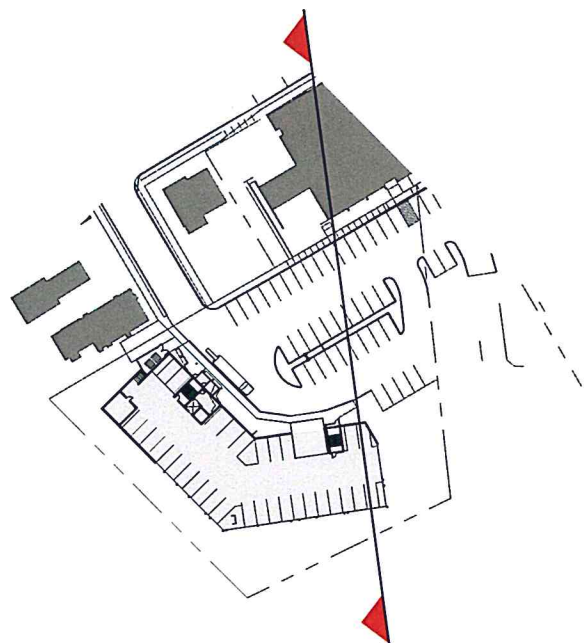
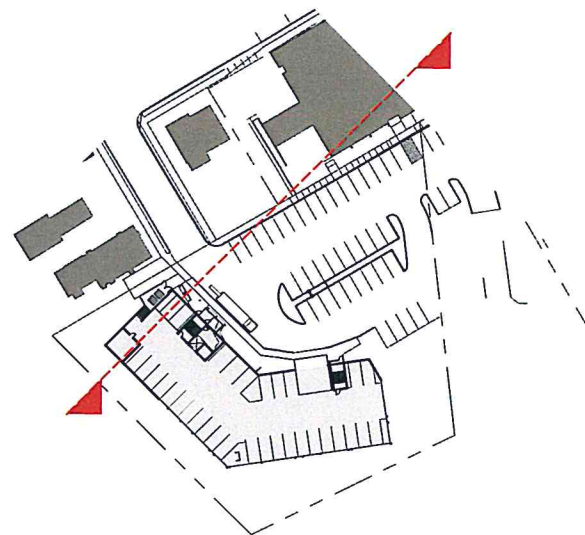
SCALE: 3/32" = 1'-0"

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MAY 26 2017

DEPARTMENT OF
PLANNING & ZONING

Redstone - 85 North Avenue

SOUTH AND SOUTHWEST ELEVATIONS



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MAY 26 2017

Burlington Development Review Board

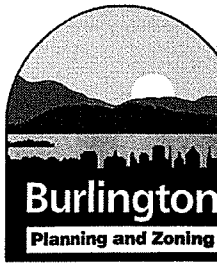
149 Church Street, City Hall
Burlington, VT 05401

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Phone: (802) 865-7188

Fax (802) 865-7195

*Austin Hart
Brad Rabinowitz
Israel Smith
AJ LaRosa
Alexandra Zipparo
Geoffrey Hand
Wayne Senville
Jim Drummond (Alt.)
Robert Purvee (Alt.)*



Burlington Development Review Board

**Findings of Fact
Deliberative Hearing Tuesday, June 6, 2017**

In RE: 15-0868CU; 404 College St. (Ward 1E, RH) (Tax Lot No. 050-1-098-000)

Owner/Applicant: Dunlap Riehle

Request: Extend expiration date of zoning permit approving change in use from duplex to single residential unit and boarding house.

Members Present:

Austin Hart
Brad Rabinowitz
AJ LaRosa
Alexandra Zipparo
Geoff Hand
Wayne Senville
Rob Purvee

Evidence Presented:

The Board examined the materials submitted in support of this request.

I. FINDINGS

Background Information:

The applicant is seeking approval for a 1-year time extension to complete the construction associated with the change in use from a duplex to a single residential unit and boarding house. No changes to the project are included in this extension request.

Previous zoning actions for this property are noted below.

- Zoning Permit 77-752; to erect a 40' x 112' apartment house. This appears to be the incorrect address as the subject building was built in 1844.
- Zoning Permit 91-303; construct retaining wall. April 1991. Permit expired.
- Zoning Permit 95-391; fence. Approved April 27, 1995.
- Zoning Permit 01-333 / COA 02-11; Change of use from fraternity to duplex; each unit with four bedrooms. Approved March 8, 2001.

- Zoning Permit 06-464CA; Site modifications to previous approval (Zoning Permit 01-333 / COA 02-11) not to reduce parking. Approved March 20, 2006.
- Zoning Permit 06-465FC; fence and trash bin enclosure. Approved February 16, 2006.
- Zoning Permit 06-731CA; Revised parking configuration and construct patio and walkway. Parking to be white crushed gravel and patio and walkway to be slate. Approved June 6, 2006 (06/06/06)
- Zoning Permit 15-0868CU; Change of use from duplex to single residential unit and boarding house

Article 3: Applications and Reviews

Sec. 3.2.9, Zoning Permits

(d) Time Limit on Zoning Permits:

The zoning permit for this project was approved by the Development Review Board on May 4, 2015. Construction was commenced within 1 year as required. A second year is allowed for completion of construction; however, construction has not yet been completed. Per this criterion, the applicant may request a 1-year time extension prior to expiration of the zoning permit. The request for extension was submitted May 3, 2017, prior to the May 4 expiration date. No changes to the project are proposed. Extension by 1 year is acceptable. Construction must be complete by May 4, 2018. **(Affirmative finding as conditioned)**

II. MINUTES

The meeting minutes will be distributed separately upon review and approval by the Development Review Board.

III. MOTION

Motion: Brad Rabinowitz

I move that the Board grant a 1-year extension to the expiration date of the zoning permit approving change in use from duplex to single residential unit and boarding house at 404 College Street, in the RH zone, in accordance with Article 3. Approval is subject to the following conditions:

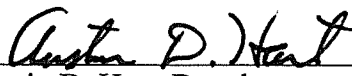
1. Except as specifically modified in this approval, all conditions of the original zoning permit approval dated May 4, 2015 shall remain in effect.
2. Standard permit conditions 1 -15 (including construction completion date no later than May 4, 2018).

Seconded: Wayne Senville

Vote: 7-0-0, motion carried.

Dated at Burlington, Vermont, this 24 day of June, 2017

Respectfully Submitted,

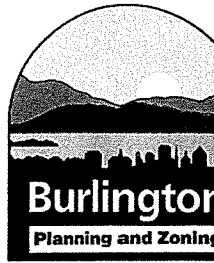

Austin D. Hart, Development Review Board Chair

Please note that an interested person may appeal a decision of the Development Review Board to the Vermont Superior Court Environmental Division. (Zoning Ordinance Article 17, Section 17.1.7, Appeals of Development Review Board Decisions: An interested person may appeal a decision of the Development Review Board to the Vermont Superior Court Environmental Division. The appeal shall be taken in such a manner as the supreme court may by rule provide for appeals from state agencies governed by Sections 801 through 816 of Title 3). The Court rules may require that such an appeal be commenced within Thirty (30) days of the Board's decision.

10/10/10

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Austin Hart, Chair
Geoff Hand
Alexander J. LaRosa
Brad Rabinowitz
Israel Smith
Wayne Senville
Alexandra Zipparo,
Jim Drummond, (alternate)
Rob Purvee, (alternate)



Burlington Development Review Board
Findings of Fact
Deliberative Hearing Monday, June 12, 2017

Board Members Present: Austin Hart, Geoff Hand, Brad Rabinowitz, Alexander LaRosa, Ali Zipparo, Wayne Senville, Jim Drummond (alternate) and Rob Purvee (alternate.)

Absent: Israel Smith

Staff member present: Mary O'Neil

File: ZP17-1047CU

Location: 158 South Willard Street

Zone: Institutional **Ward:** 6S

Date application accepted: May 1, 2017

Applicant/ Owner: Champlain College, Inc. / Phi Gamma Delta Housing Corp

Request: Change of use from Fraternity to Dormitory. No change in number of beds, occupancy, parking, or exterior of building.

Evidence Presented:

The Board examined the materials submitted in support of this request.

I. Findings

Background:

- Zoning Permit 08-822CA; Add handicap ramp. Repair of windows, soffit/trim and moulding damage. Repair rear porch columns, repair front porch and 2nd floor porch. Repair to downspouts, gutters and roof. Limited slate repair/replacement. All materials to match existing. June, 2008.

Overview: The issuance of a multi-year suspension to fraternity Phi Gamma Delta ("Fiji") has introduced an opportunity for Champlain College to repurpose the building as a student dormitory. Residency by a similar population is proposed; however, the Comprehensive Development Ordinance articulates a difference between "fraternity/sorority" and "dormitory" as specific uses; therefore, requiring conditional use review by the DRB (Footnote 5; Appendix A.) Only interior alterations are proposed to prepare the building for occupancy. Similar to a previously approved decision for 371 Main Street, the conversion from fraternity to dormitory will continue the same number of beds (30), occupancy, and parking. The

College will extend its property management oversight to the facility for the duration of the lease agreement, which is anticipated as 5 years.

Article 3: Applications, Permits and Project Reviews

Sec. 3.5.6 – Review Criteria

(a) Conditional Use Review Standards:

Approval shall be granted only if the DRB, after public notice and public hearing, determines that the proposed conditional use and associated development shall not result in an undue adverse effect on each of the following general standards:

1. *Existing or planned public utilities, facilities or services are capable of supporting the proposed use in addition to the existing uses in the area;*

The proposed use as a student dormitory will serve a similar population with the same number of occupants. No additional demand on public utilities, facilities or services are anticipated.

Affirmative finding.

2. *The character of the area affected as defined by the purpose or purposes of the zoning district(s) within which the project is located, and specifically stated policies and standards of the municipal development plan;*

The parcel is within the Institutional Zoning District, intended to “support continued growth and flexibility of the city’s major educational and health care institutions within their respective institutional missions.” **Affirmative finding.**

3. *The proposed use will not have nuisance impacts from noise, odor, dust, heat, and vibrations greater than typically generated by other permitted uses in the same zoning district;*

The assured oversight from the lessee as part of their property management of residential facilities promises increased supervision, response, and remediation should any nuisance activities occur. Odor, dust, heat and vibration are not anticipated as likely impacts.

The submission narrative includes the intent to have an on-site resident supervisor, which is consistent with other college residences for this institution.

Affirmative finding as conditioned.

4. *The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street designations and capacity; level of service; and other performance measures; access to arterial roadways; connectivity; transit availability; parking and access; impacts on pedestrian, bicycle and transit circulation; safety for all modes; and adequate transportation demand management strategies;*

Champlain College has a sophisticated and finely articulated transportation plan, adopted as part of the Joint Institutional Parking Management Plan (JIPMP.) Those efforts for supervision and compliance will be extended to this parcel. The submitted narrative defines a consistent requirement for student vehicles to be registered with the college and parked at the remote lot on Lakeside Avenue. Students would then utilize Champlain’s transportation shuttles.

The property remains centrally located, existing access available from Main Street and within a developed street network that includes pedestrian and bicycle paths.

Although the lease is anticipated to be for five years, Champlain College shall include this facility as appropriate in scheduled revisions to their submission for the institutional transportation/parking plan. **Affirmative finding as conditioned.**

and,

5. *The utilization of renewable energy resources;*

The requested change-of-use will not preclude the inclusion of any renewable energy resources. **Affirmative finding**

and,

6. *Any standards or factors set forth in existing City bylaws and city and state ordinances.*

None identified. It is the applicant's obligation to secure any additional permits (from state or federal offices) as required. **Affirmative finding as conditioned.**

(C) Conditions of Approval:

In addition to imposing conditions of approval necessary to satisfy the General Standards specified in (a) or (b) above, the DRB may also impose additional conditions of approval relative to any of the following:

1. *Mitigation measures, including but not limited to screening, landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area.*

As no parking or exterior changes are proposed, no mitigation measures are warranted. **Affirmative finding.**

2. *Time limits for construction.*

No exterior alterations are proposed. Interior work will be subject to trades permits, under the regulation of the Department of Public Works. **Affirmative finding as conditioned.**

3. *Hours of operation and/or construction to reduce the impacts on surrounding properties.*

No exterior construction is proposed. Hours of operation are not applicable to residential uses. **Not applicable.**

4. *That any future enlargement or alteration of the use return for review to the DRB to permit the specifying of new conditions;*

Any request to expand the use will require review under the regulations in effect at the time of application. **Affirmative finding as conditioned.**

and,

5. *Such additional reasonable performance standards, conditions and safeguards, as it may deem necessary to implement the purposes of this chapter and the zoning regulations.*

This remains at the discretion of the Development Review Board.

Article 4: Maps and Districts
Sec. 4.4.4 Institutional District

Per Appendix A of the Comprehensive Development Ordinance, dormitory use is a Conditional use in the Institutional zone. Footnote #5 states:

An existing fraternity, sorority, or other institutional use may be converted to dormitory use subject to conditional use approval by the DRB.

See Article 3, Section 3.5.2, above.

Article 8: Parking

In the Shared Use parking district, the parking requirement is the same for dormitory and fraternity (1 parking space is required for every 2 beds.) As the occupancy is not proposed to change, the parking requirement remains the same. The submission narrative, however, states that “the existing on-site parking spaces will not be used by student residents living at the property. Consistent with College policy, any student having a vehicle must register it with the College, and the vehicle must be parked at our remote lot on Lakeside Avenue.”

Affirmative finding.

II. Minutes

The meeting minutes will be distributed separately upon review and approval by the Development Review Board.

III. Motion by Geoff Hand

In the matter of ZP17-1047CU, 158 South Willard Street, I move we approve the application and adopt findings and conditions in support of the request.

IV. Conditions of Approval

1. Parking management will be subject to the current requirements and oversight as currently exercised by Champlain College for its properties.
2. The property will be managed per current policies of Champlain College and exercised in the same manner as all existing Champlain College dormitories.
3. Champlain College shall include, as appropriate, this facility in any scheduled revisions to the Joint Institutional Parking Management Plan within the lease period.
4. Any signage will require a separate permit, and will be subject to conditions approved under Master Sign Plan ZP 12-0763MP.
5. Any change or expansion of the Conditional Use will require separate review and approval by the Development Review Board under regulations in effect at the time of application.
6. Standard Permit Conditions 1-15.

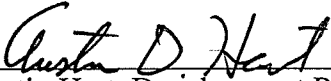
Second: Ali Zipparo

Vote: 7-0 (JD not participating.)

Vote: motion carried

Dated at Burlington, Vermont, this 14th day of June, 2017.

Respectfully Submitted,


Austin Hart, Development Review Board Chair

Please note that an interested person may appeal a decision of the Development Review Board to the Vermont Superior Court, Environmental Division. (Comprehensive Development Ordinance Article 12, Section 12.2. Appeals of Development Review Board Decisions: An interested person may appeal a decision of the Development Review Board to the Vermont Environmental Court within 30 days of the date of the written decision as follows:

(a) Notice of Appeal: The appeal shall be taken in such a manner as the Supreme Court or the environmental court may by rule provide for appeals from state agencies governed by Sections 801 through 816 of Title 24, Vermont Statutes Annotated. Notice of the appeal shall be sent by mail to every interested person appearing and having been heard at the hearing before the DRB, and, if any one or more of those persons are not then parties to the appeal, upon motion they shall be granted leave by the court to intervene.)

Burlington Development Review Board

149 Church Street, City Hall

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Austin Hart
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Wayne Senville
Jim Drummond, (Alternate)
Robert Purvee, (Alternate)



BURLINGTON DEVELOPMENT REVIEW BOARD Tuesday, June 6, 2017, 5:00 PM Contois Auditorium, City Hall, 149 Church St, Burlington, VT Minutes

Board Members Present: Austin Hart, Brad Rabinowitz, Wayne Senville, Jim Drummond (alt), A.J. LaRosa, Alexandra Zipparo, Geoff Hand, Robert Purvee (alt)

Board Members Absent: Israel Smith

Staff Members Present: Mary O'Neil, Scott Gustin, Layne Darfler

I. Agenda

Scott Gustin recommends 158 South Willard for consent

II. Communications – no action to take

Board accepts communications submitted in the supplemental packet.

III. Minutes

A.Hart: Board is up to date with reviewing previous minutes, board members are asked to bring any issues regarding most recent minutes to the next meeting

IV. Consent

1. 17-0081DT; 135 Hayward Street (RL, Ward 5S) Andrew and Daniel Rowan

Request to extend retention of nonconforming triplex status past 1 year related to previous determination and appeal. (Project Manager, Scott Gustin)

A.J. LaRosa: Recused himself

A.Hart: Asks applicant if they have reviewed staff comments or if they have any questions.

A. Rowan: applicant affirms this and has no questions.

A. Hart: Members of the public have requested to speak. Opens the project up for public hearing.

A.Hart: Applicant and interested parties sworn in.

B. McNichols: Concerned that all pertinent information was not shared with the Board previously. Ask the Board to not approve extension due to misleading information and due to the case that the property has not been touched since early September of 2016. Property is overgrown, littered with garbage and glass, construction and/or demolition is not finished, crumbling foundation, property in sad condition.

B.Kellc: Asked if the applicant was obliged to mow the grass. Why hasn't the applicant cleaned the site up from the original fire?

A.Hart: The condition is that you will have another year, but not another extension.

A. Hart: neighbors have asked legitimate questions, asks applicants to return to address these questions and concerns.

A. Rowan: after the fire they lost home owners insurance which held up the project- a \$240k check had been deposited and the construction is starting as soon as possible.

D.Rowan: it was a lengthy project working with the multiple agencies.

A.Hart: the question is: what can we do as the neighbors have been living with this eyesore for a length of time- what can u do about cleaning up what is there now and when will u begin and complete construction?

D.Rowan: foundation cannot be torn down until it was determined removable by the insurance company. It will be torn down in next 6 weeks, we will be in front of the DRB again to submit plans, high grass will be taken care of, fence has been maintained any glass is inside that fence, and there are no trespassing signs.

G.Hand: Question about applicant's transparency with the board. Concerned that there was information not provided.

A.Rowan: We have documented emails of weekly conversations with proctor, which then were sent to freedman.

G.Hand: Why wasn't this identified as something that was still holding you up?

A.Rowan: it was moved back after appeal. Money wise, we had to make sure things were clear. Time was of the essence and still is, we are trying very hard to get this project going.

A.Hart: mentioned that the Board understands this is a difficult project, but it does have an impact on the community and if the applicant could take that into consideration.

A.Rowan: building permit looks like triplex, appealed that it was a single family home. Continue to battle with insurance company. Neighbors are concerned that this was a boarding house, however the end result is that the neighbors will be happy with the triplex instead of the 5 bedroom house that was previously there.

W.Senville: Asked Scott Gustin: with a one year extension requested, what needs to be done or accomplished by the applicant within that year?

S. Gustin: they need to retain non conformity. They need to file the complete permit application with Planning and Zoning within the year.

A. Hart: Do we have any discretion as to put conditions to the extension with tighter time frames.

S. Gustin: Yes. The finish line remains the complete application submitted with Planning and Zoning, but the board has discretion as to how long the extension is granted for.

B. Rabinowitz: if you were to remove the foundation, what condition would the site be in?

D.Rowan: the site would be a hole with gravel in the bottom, plans are close to being submitted to Planning and Zoning for the DRB process.

G.Hand: absent an appeal what is the expected timeline for completion?

D.Rowan: everything is lined up, we need to get on DRB schedule for the end of July/August. Looking at September before construction can begin.

J.Drummond: asked about preliminary plan

D.Rowan: that was a design to show the footprint but will be possibly altered, slightly.

A.Hart: closed the public hearing

2. 15-0868CU; 404 College Street (RH, Ward 1E) Dunlap Riehle

Time extension request for zoning permit establishing a single residential unit and boarding house. (Project Manager, Scott Gustin)

A.Hart: Staff recommends approval with conditions, any public comment requested?

B. Rabinowitz: Motion to approve adopted with staff's recommendations

W.Senville: seconds the motion

Board Vote: 6-0-0

3. 17-1047CA/CU; 158 South Willard (I, Ward 6S) Phi Gamma Delta Housing Corp.

Change in use from Fraternity to Dormitory. No change to the number of beds.

No change to exterior of building. (Project Manager, Mary O'Neil)

A.Hart: Any concerns or questions with staffs findings?
A.Hart: applicant and interested parties sworn in
A.Hart: posed question about Champlain College parking plan
Applicant: area coordinator will be parking there and may be used for faculty as well but no students/occupants.
Ah-any other questions by board members, none.
P.Lavin: will there be supervision of the tenants at all times in the building?
A.Hart: application says 'yes' but will let applicant answer the question
Applicant- there will be an "area coordinator"-staff member living there full time.
A.Hart: closed the public hearing

V. Public Hearing

1. 17-0825CA/MA; 85 North Avenue (RL, Ward 3C) Catamount/Lakeview LLC

Continued review for construction of a 43-unit residential building with associated parking and site improvements. (Project Manager, Scott Gustin)

G.Hand: recused himself
A.LaRosa: recused himself

A.Hart: This is a continued public hearing. The Board will be keeping in mind the previous meeting comments however any new info and questions will be welcomed.

E.Hoekstra: reviewed parcel map with parking lot/easement. Project proposes to construct on the slope/existing parking lot a 43 unit apt building. Project is in mixed use district- highlighting that the project is significantly lower than lot coverage, height requirements, and abide by the parking regulations with no waivers requested. Noted that nothing about project is beyond what the Mixed Use zoning district allows, asks the board to keep that in mind.

E.Hoekstra: addressing previously raised concerns and questions about loading and deliveries: we put a large scale moving truck to show how it sits as if parked in the loading zone. Pointed to a rendering which shows that it fits no problem and could easily fit multiple trucks if needed. Applicant sees no issues in loading and delivery circulations. Questions about trash and recycling: showed a robust enclosure with solid doors for the trash and recycling. Concerns about bike parking: we have more than the required space for bike storage. Also added 3,000 square feet of storage in the basement for bicycles and tenant use. Bike parking provided in front of the building and now in the basement. Comments and concerns about pets: the development ordinance doesn't deal with pets- not relevant for DRB. The city has regulations on pets and there is language in their leases for pets and the tenant's responsibilities regarding pets. Concerns regarding the connection to Depot Street: the applicant reviewed with DPW, right now there is no practical way from the front side of the building, and there is extreme slopes between the building and the street. However they will work with the City to provide a 30ft right of way for future connection establishment (public connection). Traffic and parking questions- we are providing the required number of spaces.

K.Worden: raised concern over the before and after slope stabilization and erosion control
B.Rabinowitz: lot coverage calculation, is shadow footprint on the building part of lot coverage?

E.Hoekstra: everything is in lot coverage.

K.Worden: questions about contours and grading. West/left slab on grade with basement below. Dashed lines on site plan represent grade below the building. Surface below will be stabilized with fabric and gravel. Proposed storm water system diverts water away from the bank and into infiltration system, less water going over the bank to help stabilize soil and control erosion.

K.Worden: prior to Kots coming in you could see the erosion problem, the applicant took part of the roof and parking lot and redesigned them in order to correct that problem. Any

water that doesn't infiltrate into the proposed system will bypass and be redirected to another infiltration system.

A.Hart: so this is for the more than a 10 year storm situation.

A. Zipparo: This would be more likely for a 100 year storm

K.Worden: Preventing water staying on the ground and helping it enter the ground faster

A.Hart: storm water offset. Is storm water going offsite?

K.Worden: storm water offsets have nothing to do with this site, this area is separated in which the storm water goes to a dedicated system. Worked closely with geo engineers in regards to how much weight the building will have on soils below. Stated that it is not uncommon to build an elevated building and gave a few examples

B.Rabinowitz: looks like there are a number of trees that will be taken out. Question what one will end up with other than gravel under the building and the approximately 20' wall? Concerns the project seems to have an un-orchestrated view. There is no landscaping, only a concrete wall. Renderings are nice but don't include material you are going to provide. Has there been any coordination with the city about what will be there in terms of vegetation?

E.Hoekstra: coordination with city property has not been brought up. The lands are all heavily vegetated, but the project would not be disturbing anything there.

B.Rabinowitz: you are disturbing everything on your property

E.Hoekstra: there aren't any views of the property from any neighboring properties, due to the heavy vegetation surrounding.

B.Rabinowitz: would like to see more effort being made to show consideration of neighboring views. Also the board does not have any plans of the lower portion of the building, no foot print

E.Hoekstra: pointed out where the footprint was provided. Commented that the slab on grade portion of the building includes no visual impact of the addition as they would not change anything visually to the exterior.

B.Rabinowitz: what is the end of the property?

E.Hoekstra: slab with frost walls go down to grade

K.Worden: surface grade is less than 5 feet

R.Bryant: Representations about traffic impacts. DPW had some input, the applicant met with them last week. DPW issued a statement that the analysis was reasonable and conclusions were found to be reasonable. Trip generation rates, how many trips to and from the site are occurring per development unit. Compared number of dwelling units versus average vehicle trips. Looked at U.S. Census data for north avenue, found that 85% of residents drive or carpool. Showcased comparable projects which helped identify trip rates for project site. Studies look at morning commuter peak hour and afternoon commuter peak hour trips.

E.Hoekstra: these trip calculations are for the peak hour-1hour during peak hour

R.Bryant: the ratio for residential uses peak versus rest of the day= 10:1. These are the busiest times of days for use Morning peak hour =15 trips, to/from north =8, via Lakeview Terrace = 4

E.Hoekstra: this is an aggressive look at the directional movement of the traffic. This projects more impact than would likely occur.

R.Bryant: made the assumption that there is a 50/50 split for directional trips taken, 1 new trip coming off site every 3-4 mins during peak hours, 1 new vehicle every 15 mins on Lakeview Terrace.

A.Zipparo: so vehicles that want to exit go up to North Street, does that light allow cars to exit the site and go toward North Street?

E.Hoekstra: that can be tricky during certain times in the day

A.Zipparo: traffic would have to obey the North Avenue light –you could not go straight across?

R.Bryant: study shows detail analysis of north to north intersection – North Avenue corridor study came back as showing intersection can handle new flow.

E.Hoekstra: another way to think about it is 1 new vehicle every 3-4 mins

B.Rabinowitz: doesn't seem like there is any scientific or specific way to analyze the parking lot as a means to exit. Parking lots are challenging things it becomes a person's choice to go one way or another, exiting through the Lakeview Terrace road over Parking lot exit. Going through a parking lot that belongs to someone else

E.Hoekstra: this is a site that used to be a grocery store. Changed to Burlington College-. The volume of traffic has to be less than the store or college ever was, the afternoon peak hour impact of this would be significantly less than a grocery store. For a period of time you had low intensity use with wide open parking lot which was very easy to fly through. The parking lot has since been redesigned with hardscapes to slow down and buffer traffic.

D. Golteman: no changes to the design of parking lot elevation. No change to elevation, no design changes to side elevations, the Lakeview elevation, change related to how the applicant decided to set the northern section of the building on the slab so the slab has been raised. Instead of structural fill behind basement wall, now it will be habitable space.

A.Hart: is the landscaping up against the foundation wall, is that vegetation on this site or city property?

D. Golteman: all vegetation on the slope currently are not necessarily on site or on site plan

D. Golteman: in addition to easement with DPW the applicant has also agreed to help work to implement the walk bike master plan as it continues to unfold.

L.Tierney: resides at 37 Lakeview Terrace States that the reality is that the city has always had a policy that a new building should not have a deleterious effect on neighborhood, which it will. Concern about the increased housing density on the street, new site triples residential density on the street. Packard Ross also had a traffic study done but resident can attest that they have tons of high speed traffic coming from Packard Ross. It has made a huge difference in traffic congestion and issues. Concern that parking was not mentioned. Concern over where the overflow parking will be going, parking regularly overflows onto Lakeview. Dog issues were mentioned. Resident would like to see a dog run in the site plan so that the neighborhood doesn't become a dog latrine. Asks the board to visit the site to appreciate what the neighborhood looks like with the over parking on the street. Resident feels that getting out of Lakeview Terrace to go north is practically impossible.

A.Newman: encourage the board to go down during the day and look at the parking lot to observe the traffic and parking situation. How are the moving trucks going to get there? There is no way for trucks to get in the site.

J. Perlommer: Lakeview Terrace Resident- Concern regarding the site-line looking at slope side. States the property is clearly and totally visible from the water and has concerns about how the barricade will look from the west. Concern over parking lot design and truck use. Concerned that whatever criteria they met to meet mixed use, it will change Lakeview Terrace, it will create a mini North Avenue. Concern regarding traffic study. The City could make Lakeview Terrace residents satisfied if you simply cut off Lakeview. Concerned that there will be a fatality, believes there will be a vehicle pedestrian accident. Questions how is the fire marshal going to use that site?

Resident- Concerned that with the development the trees are either going to be disturbed or removed. Requests that the Board require be some vegetation.

I.Goldstein: Good responsible neighbors don't do site work on a brownfield without warning the neighbor. Stated there was a bunch of dust that was created when the removal of 5 trees occurred. Stated that there is something in city code about public view protection and that this project entails a wrap-around large tall building which will be decrease the public view that is supposed to be protected in some way. Stated good neighbors don't put dumpsters next to a neighbor's home, questions why the applicant can't redesign and put them on the other side of the building. Stated it would be nice if the board addressed urban pet usage policy on the street. Concerned over the pile driving, stating they will be driving piles in to the brownfield. Questions how will the applicant protect the neighbors from dust. Questions why don't they have a wrap around for loading trucks/ dumpsters.

M.Tierney: question regarding if the south elevation a true structural solution? How is lot coverage figured here? Lot looks to be completely covered by hardscape

S. Gustin: lot cover is anything that is not green- walkways, building, etc.

A.Hart: where part of the surface is steep slope how does that come into play?

S.Gustin: the slope has no play

B.Rabinowitz: they have a slope stabilization that is a dense graded stone, would that also be lot cover?

S.Gustin: confirms

M.Tierney: what is the allowable coverage?

S.Gustin: 92%

A.Hart: asks the applicant come back and answer questions

E.Hoekstra: confirms the elevations are accurate

J.Drummond: he was asking if the columns reflect real design

E.Hoekstra: applicant confirms

A.Zipparo: Asks the applicant to explain how moving trucks would be using that building?

E.Hoekstra: we've been coordinating with the fire marshal's office- the biggest truck moves through the site with ease. Moving trucks have multiple routes for movement throughout the lot

A.Zipparo: so firetrucks would be able to fit those dimensions also

E.Hoekstra: confirms

A.Zipparo: they would exit by pulling forward

E.Hoekstra: because there is limited access to the building the fire department would park in front of the wings. Firetrucks wouldn't be letting anyone move in emergency situations anyway.

R.Purvie: would the walkway turn to private ownership or city?

E.Hoekstra: the city would like public access but would like it to remain private. Public permitted to use sidewalk but the property owner maintains it.

J.Drummond: looking up at the building what are we going to see on the underside of the parking garage?

E.Hoekstra: at the request of the DAB they are putting a screening to shield lights. There may be some vantage points where you see under the parking deck-

J.Drummond: would you see the steel deck and beams?

E.Hoekstra: Confirms

B.Rabinowitz: what would happen if access to property were only through that parking lot or garage?

E.Hoekstra: not our preference nor the preference of DPW or the fire marshal. Stated the fire marshal doesn't like the idea of botherance there.

A.Hart: Asks Norm Baldwin from City of Burlington DPW to come up and answer questions.

W.Senville: is there a process for closing off that street and how would the City decide that?

N.Baldwin: We provide recommendation to the City Council and it is Council decision. Significant consideration is taken in how the decision to close the road would impact neighborhood and fire department access. The fire department has expressed strong concern to keep the access open for emergency needs. Access is largely for fire response.

E.Hoekstra: fire marshals feedback wasn't as much as access to our building but in terms of historic access as they have used it as a public right of way for many years. Fire Marshal also did not like the idea of bollards or speed bumps.

A.Hart: Allowing a late public comment

J.Caesar: looking at the slope with the designers how they are using sustainable tactics to help mitigate runoff and erosion control.

A.Hart: discussion was already had on this topic.

J.Caesar: is there the use of permeable pavement on site?

B.Rabinowitz: No

E.Hoekstra: infiltration chambers but not using permeable pavement. Found it is difficult

with snow removal to maintain the permeable pavers.

A.Hart: closed the public hearing

A.Hart: Deliberative meeting to be held Monday at 5 in the office of Planning and Zoning.

VI. Other Business

Supplement Packet introduced by Scott Gustin regarding ZP 17-0914CA; 212 Elmwood Avenue; Demolish existing 3 bedroom single family residence and replace with a new 3 bedroom single family residence.

S.Gustin: recently the board approved construction of a single family residence at 212 Elmwood Avenue regarding a habitat for humanity project site. A request to the DRB has been made asking to allow volunteers to engage in construction activities on Saturday.

W.Senville: can the Board handle this administratively

S.Gustin: yes referring to previous examples

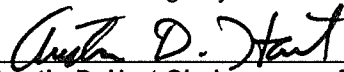
A.Hart: Does not seem appropriate to permit without notice to neighbors

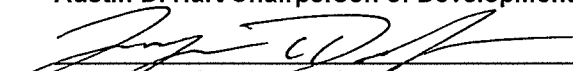
S.Gustin: we can put it on the agenda as an official item in 2 weeks

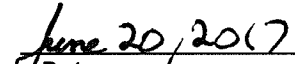
Board agreed to put this item on the agenda for 2 weeks from today.

VII. Adjournment

The meeting adjourned at 7:12 PM


Austin D. Hart Chairperson of Development Review Board


L. Danier, Planning Technician


Date


Date

Plans may be viewed in the Planning and Zoning Office, (City Hall, 149 Church Street, Burlington), between the hours of 8:00 a.m. and 4:30 p.m.

Participation in the DRB proceeding is a prerequisite to the right to take any subsequent appeal. Please note that ANYTHING submitted to the Planning and Zoning office is considered public and cannot be kept confidential. This may not be the final order in which items will be heard. Please view final Agenda, at www.burlingtonvt.gov/pz/drb/agendas or the office notice board, one week before the hearing for the order in which items will be heard.

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