

Burlington Design Advisory Board

149 Church Street, City Hall

Burlington, VT 05401

www.burlingtonvt.gov/PZ/DAB

Phone: (802) 865-7188

Fax: (802) 865-7195

Matthew Bushey
Ron Wanamaker
Sean McKenzie
Steven Offenhartz
Tom Cullins
Philip Hammerslough, Alt.
Jeremy Gates, Alt.



DESIGN ADVISORY BOARD Tuesday, June 27th, 2017 at 3:00 PM Conference Room 12, City Hall, Burlington, VT Agenda

Session I- 3:00PM–3:30 PM

- 1. 17-1204CA; 76 Deforest Heights (RL, Ward 6S) Christian and Susan Skalka**
Continued review for alterations to single family home (siding, window and door replacement, chimney removal, deck and stairs). Building (c. 1966) included in Prospect Park North & Middle *Historic Sites and Structure Survey*, determined to be eligible for historic designation. (Project Manager, Mary O'Neil)

Session II – 3:30PM-4:00PM

- 2. 17-1280CA; 55-57 Howard Street (RL, 5S) Patrick J. McHenry / Montana Burns**
Alterations to a two family home (rebuild and widen existing 2-story front porch, replace doors, add trim to existing windows, exterior lights, reinforce basement walls, & accompanied site work). Building (c. 1885) included on State Register of Historic Sites and Structures. (Project Manager: Ryan Morrison)

The programs and services of the City of Burlington are accessible to people with disabilities.

Individuals who require special arrangements to participate are encouraged to contact the Department of Planning & Zoning at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188 (TTY users: 865-7142).

Department of Planning and Zoning

149 Church Street, City Hall
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

David White, AICP, Director
Meagan Tuttle, Comprehensive Planner
Jay Appleton, Senior GIS/IT Programmer/Analyst
Scott Gustin, AICP, CFM, Interim Chief Administrative Officer
Mary O'Neil, AICP, Senior Planner
Ryan Morrison, CFM, Associate Planner
Layne Darfler, Planning Technician
Anita Wade, Zoning Clerk

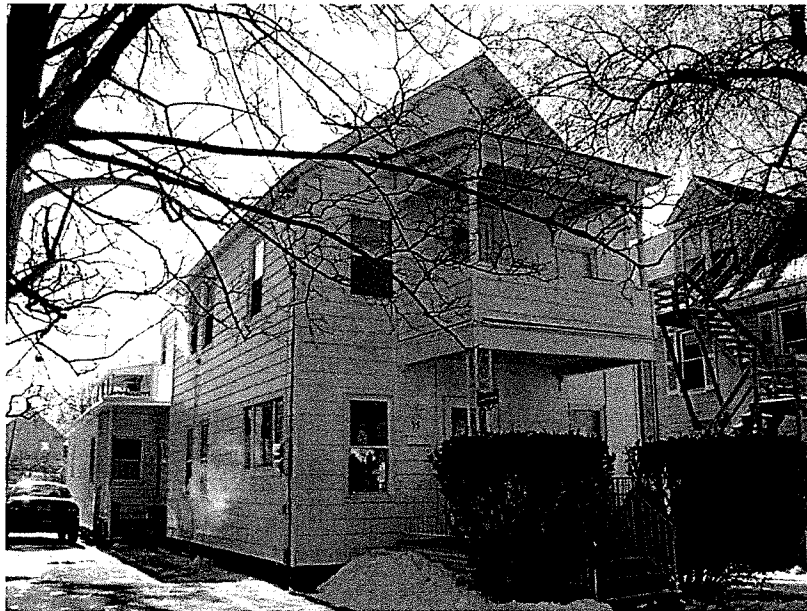


MEMORANDUM

To: The Design Advisory Board
From: Ryan Morrison, CFM, Associate Planner
RE: 55-57 Howard Street, ZP17-1280CA
Date: June 27, 2017

File: ZP17-1280CA
Location: 55-57 Howard Street
Zone: RL **Ward:** 5S
Date application accepted: June 14, 2017
Applicant/ Owner: PJ McHenry

Request: Alterations to a two family home (rebuild and widen existing 2-story front porch, relocate 2 windows and 2 doors, replace doors, add trim to existing windows, exterior lights, reinforce basement walls, & accompanied site work). The building (c. 1885) is listed on State Register of Historic Places.



Background:

- **Non-Applicability of Zoning Permit 12-0299NA;** repair slate roof. Approved 9/7/11
- **Zoning Permit 17-1191HO;** establish a medical office (acupuncture) as a home occupation. Some interior remodeling is also proposed. Currently under DRB review.

Overview: The property owner proposes to rebuild and widen the existing 2-story front porch, relocate 2 windows and 2 doors, replace doors, add trim to existing windows, add exterior lights, and reinforce the basement walls. Associated site work proposed includes the removal of existing asphalt around the rear of the structure, and reconfiguring the front walkway.

According to the state historic survey conducted in 1977, the structure was built circa 1885, originally as a residence. The state listing notes that the structure has a stone foundation, aluminum siding, and a slate roof. The listing also notes that the structure's current use (in 1977) was 'apartments'. Assessor's property listings as early as 1984 note that the structure has been a 2-unit residence. The structure is not included on any National Historic Register.

ARTICLE 5: HISTORIC BUILDINGS AND SITES

(a) Applicability

1. The building is 50 years old or older.

The building at 55-57 Howard Street was constructed ca. 1885 and is more than 50 years old.

2. The building or site is deemed to possess significance in illustrating or interpreting the heritage of the city, state, or nation in history, architecture, archeology, technology, and culture because on or more of the following conditions is present:

A. Association with events that have made a significant contribution to the broad patterns of history; or,

B. Association with the lives of persons significant in the past; or,

C. Embodiment of distinctive characteristics of a type, period, or method of construction, or representation of the work of a master, or possession of high artistic values, or representation of a significant or distinguishable entity whose components may lack individual distinction; or,

D. Maintenance of an exceptionally high degree of integrity, original site orientation and virtually all character defining elements intact; or,

E. Yielding, or may be likely to yield, information important to prehistory.

The building is a contributing resource on the State of Vermont Register of Historic Places. It is a 2 ½ story structure, with a front gable orientation, a rear wing, and front porches. The siding is aluminum, the foundation is stone, and the roof is slate.

3. The building or site possess a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association.

See item 2 above. The historic survey was conducted in 1977. While the property has no zoning permit history, it appears that some alterations have occurred over the years. However, there appear to be no zoning permit approvals for these changes. It is difficult to pinpoint a date when aluminum siding was added to the structure, however the historic survey documents its existence in 1977.

The applicant has noted that the majority of windows on the structure are vinyl, including those on the front façade. These windows appear to have been installed sometime after 1994/95. An Assessor's photo from 1994/95 shows what appear to be storm windows over the front façade windows, which are typically found on wood windows to protect from the elements. In more

recent photographs, storm windows do not appear to be installed over the windows, which could partially be due to the fact that vinyl windows tend to be more durable to the elements. Due to the lack of zoning permits on the property, it appears that the installation of the vinyl windows would constitute a violation. Any change now to the windows (i.e. replacement, relocation, etc.), with the possible exception of adding new wooden trim, would require the windows to be brought into full compliance by reverting to wooden windows.

The front porch metal railings/spindles/posts (first story) also appear to be unoriginal. The current proposal will result in railings, spindles and columns take on a more historic appearance. However, based on previous practice, the use of pressure treated wood for the spindles, and for any other portion of the new deck, should not be allowed.

Lastly, the proposed porch decking will be that of a wood-grain pattern composite board. This material has been accepted for replacement porch decking on historic structures.

(b) Standards and Guidelines

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*
The building at 55-57 Howard Street was constructed for residential use, and currently contains 2 units. There are no plans to change the use of the property. Certain historic elements have been lost with installation of aluminum siding, vinyl windows, and the metal porch posts, railings, and balusters. While the aluminum siding has been documented since the historic survey of 1977, the vinyl windows and the first story metal railings, posts and balusters haven't, and as described above, any change to those will require that compliance be achieved – meaning that the vinyl windows be replaced with conforming wood windows, and the porch railings, balusters and posts be replaced with more historic, wooden materials. Overall, the proposal would see a 2-story replacement porch with a more historic appearance.

Exchanging the doors and easternmost windows (both stories) on the front façade may change distinctive façade spaces and spatial relationships. However, it may be that this would be of little concern, considering the changes to the structure over the years.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
The Historic Survey of 1977 notes that the structure has 'front porches' and fenestration with '2 over 2 sashes'. However, the front porches do not entirely appear to be original. The proposal will replace the 2-story porch with a new, wider 2-story porch. It is clear that the applicant is making an effort to give the replacement porch a historic appearance with historically styled columns and spindles.

Exchanging the front doors and easternmost windows on the front façade (both stories) will still see a level of symmetry between the 1st and 2nd story front façade. However, as noted above, if the vinyl windows are at all altered, (i.e. relocated), they will have to come into compliance – meaning complete replacements with windows that correspond to the building's historic origins.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
The reconstruction of the 2-story front porch will be consistent with a number of neighboring residential structures.
4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
There are no identified changes that merit retention and preservation.
5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
There are no extant materials, finishes, or construction techniques or example of craftsmanship that merit preservation.
6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*
The application is not intended to replace deteriorated features, but to increase the function of the building. No missing features have been identified or are planned for replacement.
7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
No such treatment is included in this proposal.
8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
There are no known archeological resources on the property.
9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*
The reconstructed porch will be differentiated from the old, and will be compatible with the historic materials, features, size, scale, proportion, and massing. In keeping with previous precedents, the spindles should not be made from pressure treated wood. Grey composite decking will be utilized. The replacement doors will be fiberglass with a half-moon transom window, and the existing vinyl double hung windows will see new wood trim. However, as noted above, if there is any alteration to the vinyl windows, they will have to be replaced with windows made of wooden materials.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
Although unlikely, if the proposed front porch were to be removed in the future, the form and integrity of the historic structure would be unimpaired.

ARTICLE 6: DEVELOPMENT REVIEW STANDARDS

Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a) Protection of important natural features

There are no important natural features on the subject property. Existing green space amounts to a lawn area.

(b) Topographical alterations

The property is essentially flat and will remain so. No significant topographical alterations are proposed.

(c) Protection of important public views

The subject property is not affected by any identified public view corridor.

(d) Protection of important cultural resources

The building, constructed c. 1885, is listed on the State of Vermont Register of Historic Places. See Sec. 5.4.8 above.

(e) Supporting the use of alternative energy

No part of this application would prevent the use of wind, solar, water, or other alternative energy device.

(f) Brownfield sites

The subject property is not an identified brownfield.

(g) Provide for nature's events

The revised front entry will continue to be sheltered by a porch roof. There appears to be room for snow storage at the end of the driveway. According to the application, the site disturbance does not rise to the threshold for requiring an Erosion Prevention and Sediment Control Plan (400 sf).

(h) Building location and orientation

The mass of the 2-story front porch will increase with the reconstruction/widening of both levels. However, the existing front yard setback will remain. Buildings within the neighborhood do not exhibit a consistent rhythm and pattern along either side of the street; however, there are a

handful of buildings with 2-story front porches along Howard Street. The front entry is prominent and readily identifiable from the street.

(i) Vehicular access

The existing curb cut and 11' x 84' 4 ½" driveway will remain unchanged.

(j) Pedestrian access

This criterion requires that a pedestrian walkway directly link the primary building to the public sidewalk, which the site plan indicates. A concrete walkway bordering the driveway will provide pedestrian access to both the front porch entry and the entry on the building's east side.

(k) Accessibility for the handicapped

None is required for two family homes; however encouraged.

(l) Parking and circulation

The property will continue to utilize the existing driveway to serve the parking needs for both units. The duplex use requires a total of four off-street parking spaces. Parking spaces require a minimum depth of 20 ft. Given the length of the driveway, it technically can fit the required 4 parking spaces required for both units. However, due to the maximum allowance of two stacked parking spaces, without the presence of a parking assistant, the City only recognizes two legitimate parking spaces in the driveway. However, in redevelopment, it would be possible to conduct the proposed structural changes without the required amount of parking, as this would continue an existing condition without exacerbating it (not increase the level of non-conformity).

(m) Landscaping and fences

There is a good amount of existing green space on the property. The proposal will add additional green space after the asphalt areas behind the duplex are removed. New landscaping is proposed to be installed in front of the porch. Plantings will consist of redosier dogwood, checkerberry, and interrupted fern.

(n) Public plazas and open space

No public plaza or open space is included or required in this proposal.

(o) Outdoor lighting

New outdoor lighting fixtures will illuminate the front building entry, as well as the second story porch. Locations are noted, and a cutsheet has been provided. These are acceptable residential fixtures generating low levels of illumination.

(p) Integrate infrastructure into the design

The applicant has not identified changes that would require additional utilities. There are no mechanical units noted on the site plan, nor on the elevation drawings.

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

As the reconstructed porch will not extend above or beyond the dimensions of the existing building, massing, height, and scale will not change.

2. Roofs and Rooflines

No change to the roof/roofline will occur as a result of the proposal.

3. Building Openings

As proposed, the location of the entry doors and existing windows, on both stories, will be modified slightly. The centrally located 1st and 2nd story doors will swap locations with the corresponding easternmost windows. However, due to the fact that there are no zoning permits for the vinyl windows, they appear to be in violation. Any change to the vinyl windows, whether it be replacement or relocation, will require that they are changed to compliant wooden windows. Should the applicant elect to not relocate the vinyl windows, then feasibly they can remain as-is until such time that they need a zoning permit to replace or repair them. A future zoning permit will require that they be replaced with windows compliant with the historic nature of the structure.

(b) Protection of important architectural resources

See Sec. 5.4.8.

(c) Protection of important public views

Not applicable.

(d) Provide an active and inviting street edge

The front entry to the home is clearly articulated with an existing, 2-story open porch, which will be replaced with a wider, 2-story front porch. The structure is fairly narrow, with the gable end facing the street. What little building mass there is facing the street is broken up with the porch and windows. There are no large blank walls or expanses of roof.

(e) Quality of materials

The existing home is clad in aluminum siding. The new porch will consist of composite decking, and wood railings and posts. Approval of pressure treated spindles should not be granted due to the historic nature of the structure, and previous determinations that have ruled out use of pressure treated materials to replace historic features. The spindles should be made of material consistent with wood typically used on historic porches. The applicant proposes to install wood trim around the windows. The doors will be fiberglass, with wood frames, and 'half moon' transom windows.

(f) Reduce energy utilization

The building must comply with the city's current energy efficiency standards.

(g) Make advertising features complimentary to the site

No advertising is included in this proposal.

(h) Integrate infrastructure into the building design

There is no proposal to add new, or change existing, meters, mechanical units, etc.

(i) Make spaces safe and secure

The proposed building must comply with the city's current egress requirements. Building entries will be illuminated.

Items for the Board's consideration:

1. The use of pressure treated materials shall be prohibited.
2. The double hung vinyl windows, if replaced or relocated, shall be replaced with wooden or clad wooden double hung windows consistent with historic preservation.



Department of Planning and Zoning

149 Church Street, City Hall
Burlington, VT 05401-8415
Phone: (802) 865-7188
Fax: (802) 865-7195

www.burlingtonvt.gov/pz

RECEIVE

JUN 14 2017

DEPARTMENT OF
PLANNING & ZONING

Zoning Permit Application

Use this form for ALL zoning permit applications. See the relevant checklist for specific requirements.

PROJECT LOCATION ADDRESS: 55-57 HOWARD STREET

PROPERTY OWNER*: PJ McHenry

*If condominium unit, written approval from the Association is also required

APPLICANT: MONTANA BURNS

POSTAL ADDRESS: 57 HOWARD STREET

CITY, ST, ZIP: BURLINGTON, VT 05401

DAY PHONE: 802-578-3560

EMAIL: STEARTS@105.com

SIGNATURE: [Signature]

I am the owner. In addition, I duly authorize the applicant (if noted) to act on my behalf for all matters pertaining to this zoning permit application.

POSTAL ADDRESS: 127 BANK STREET

CITY, ST, ZIP: BURLINGTON, VT 05401

DAY PHONE: 208-720-8386

EMAIL: montanaburns@gmail.com

SIGNATURE: [Signature]

Description of Proposed Project: exterior construction of property. Application Submitted #17-1191CA/40. See application.

* Please note owner is willing and motivated to work with city to bring to expected status

Existing Use of Property: ☐ Single Family ☒ Multi Family: # 2 Units ☐ Other:

Proposed Use of Property: ☐ Single Family ☒ Multi Family: # 2 Units ☐ Other:

• Does your project involve new construction, addition, alteration, renovation, or repair to a structure that is heated or cooled? Yes ☒ No ☐

(If yes, the Vermont Residential Building Energy Standards (VRBES) apply. Visit the P&Z Office, Public Service Board or PSB website for details)

• Will 400 sq ft or more of land be disturbed, exposed and/or developed? Yes ☐ No ☒

(If yes, you will need to submit the 'Erosion Prevention and Sediment Control Plan' questionnaire, with a site plan)

• For Single Family & Duplex, will total impervious area be 2500 sq ft or more? Yes ☐ No ☒

(If yes, you will need to submit the 'Stormwater Management Plan' questionnaire, with a site plan)

• Are you proposing any work within, below, or above the public right of way? Yes ☐ No ☒

(If yes, you will need to receive prior approval from the Department of Public Works)

• Are you proposing any onsite food or beverage production/manufacturing? Yes ☐ No ☒

(If yes, you will need to consult with Water Resources Division at the Department of Public Works: 863-4501)

Estimated Construction Cost (value)*: \$ see application referenced above

(*Estimated cost a typical contractor would charge for all materials and labor, regardless of who physically completes the work)

Within 30 days of submission, the permit application will be reviewed for completeness, and, if complete, will be processed administratively or referred to a board for review. All permit approvals or denials are subject to an appeal period (15 days administrative permit; 30 days for board permit). A building (and/or electrical, mechanical, plumbing, curb cut) permit will also be required. Contact the Department of Public Works at 802-863-9094 to inquire. Please ask for assistance if you have any questions about filling this form. Call the Planning and Zoning at 802-865-7188, or visit the office in the lower level of City Hall, 149 Church Street.

Office Use Only: Zone: RL Eligible for Design Review? 4 Age of House 1885 Lot Size 4416

Type: SN ☐ AW ☐ FC ☐ BA ☐ COA 1 ☒ COA 2 ☐ COA 3 ☐ CU ☐ MA ☐ VR ☐ HO ☐ SP ☐ DT ☐ MP ☐

Check No. 578 Amount Paid \$80. Zoning Permit # 17-1280CA



STATE OF VERMONT
Division for Historic Preservation
Montpelier, VT 05602

HISTORIC SITES & STRUCTURES SURVEY
Individual Structure Survey Form

COUNTY: Chittenden	SURVEY NUMBER: 55 Howard
TOWN: Burlington	NEGATIVE FILE NUMBER: 77-A-271
LOCATION: 55 Howard St.	UTM REFERENCES: Zone/Easting/Northing
COMMON NAME:	U.S.G.S. QUAD. MAP:
FUNCTIONAL TYPE: dwelling	PRESENT FORMAL NAME:
OWNER: Richard & Pearl Lavalley	ORIGINAL FORMAL NAME:
ADDRESS: 55 Howard	PRESENT USE: apartments
	ORIGINAL USE: residence
	ARCHITECT/ENGINEER:
	BUILDER/CONTRACTOR:
ACCESSIBILITY TO PUBLIC: Yes ☐ No ☒ Restricted ☐	PHYSICAL CONDITION OF STRUCTURE: Excellent ☐ Good ☒ Fair ☐ Poor ☐
LEVEL OF SIGNIFICANCE: Local ☒ State ☐ National ☐	THEME:
GENERAL DESCRIPTION: Structural System	STYLE:
1. Foundation: Stone ☒ Brick ☐ Concrete ☐ Concrete Block ☐	DATE BUILT: ca. 1885
2. Wall Structure	
a. Wood Frame: Post & Beam ☐ Balloon ☐	
b. Load Bearing Masonry: Brick ☐ Stone ☐ Concrete ☐ Concrete Block ☐	
c. Iron ☐ d. Steel ☐ e. Other:	
3. Wall Covering: Clapboard ☐ Board & Batten ☐ Wood Shingle ☐ Shiplap ☐ Novelty ☐ Stucco ☐ Sheet Metal ☐ Aluminum ☐ Asphalt Shingle ☐ Brick Veneer ☐ Stone Veneer ☐ Bonding Pattern: Other:	
4. Roof Structure	
a. Truss: Wood ☐ Iron ☐ Steel ☐ Concrete ☐	
b. Other: rafter	
5. Roof Covering: Slate ☒ Wood Shingle ☐ Asphalt Shingle ☐ Sheet Metal ☐ Built Up ☐ Rolled ☐ Tile ☐ Other:	
6. Engineering Structure:	
7. Other:	
Appendages: Porches ☒ Towers ☐ Cupolas ☐ Dormers ☐ Chimneys ☐ Sheds ☐ Ells ☐ Wings ☒ Other:	
Roof Style: Gable ☒ Hip ☐ Shed ☐ Flat ☐ Mansard ☐ Gambrel ☐ Jerkinhead ☐ Saw Tooth ☐ With Monitor ☐ With Bellcast ☐ With Parapet ☐ With False Front ☐ Other:	
Number of Stories: 2 1/2	
Number of Bays: 3 x 3	Entrance Location: off cen
Approximate Dimensions:	
THREAT TO STRUCTURE: No Threat ☐ Zoning ☐ Roads ☐ Development ☐ Deterioration ☐ Alteration ☐ Other:	LOCAL ATTITUDES: Positive ☐ Negative ☐ Mixed ☐ Other:

ADDITIONAL ARCHITECTURAL OR STRUCTURAL DESCRIPTION:

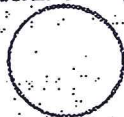
Massing - front gable orientation, rear wing, front porches, - modern.
Fenestration - 2 over 2 sashes.

RELATED STRUCTURES: (Describe)

STATEMENT OF SIGNIFICANCE:

REFERENCES:

MAP: (Indicate North In Circle)



SURROUNDING ENVIRONMENT:

Open Land ☐ Woodland ☐
Scattered Buildings ☐
Moderately Built Up ☐
Densely Built Up ☒
Residential ☒ Commercial ☐
Agricultural ☐ Industrial ☐
Roadside Strip Development ☐
Other:

RECORDED BY:

Adele Cramer

ORGANIZATION:

VT Division for Historic Preservation

DATE RECORDED:

10/19/77

R 053-3-078-000
LAVALLEY, RICHARD E & PEARL M
55 57 HOWARD STREET
BURLINGTON VT 05401

DATE

BLDG.#

DATE

BLDG.#



94'-95' Assessor's photo



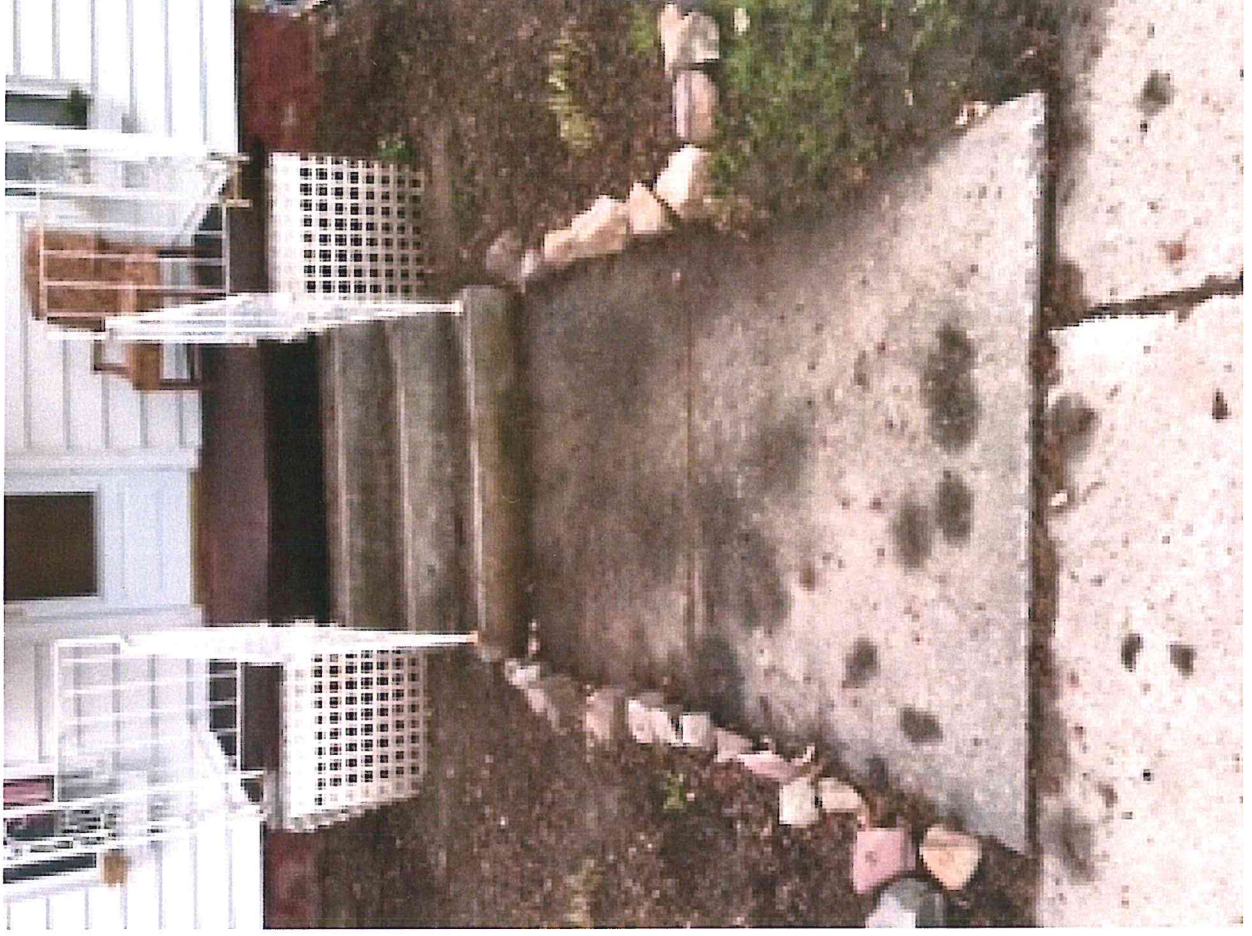
RECEIVED

MAY 24 2017

RECEIVED

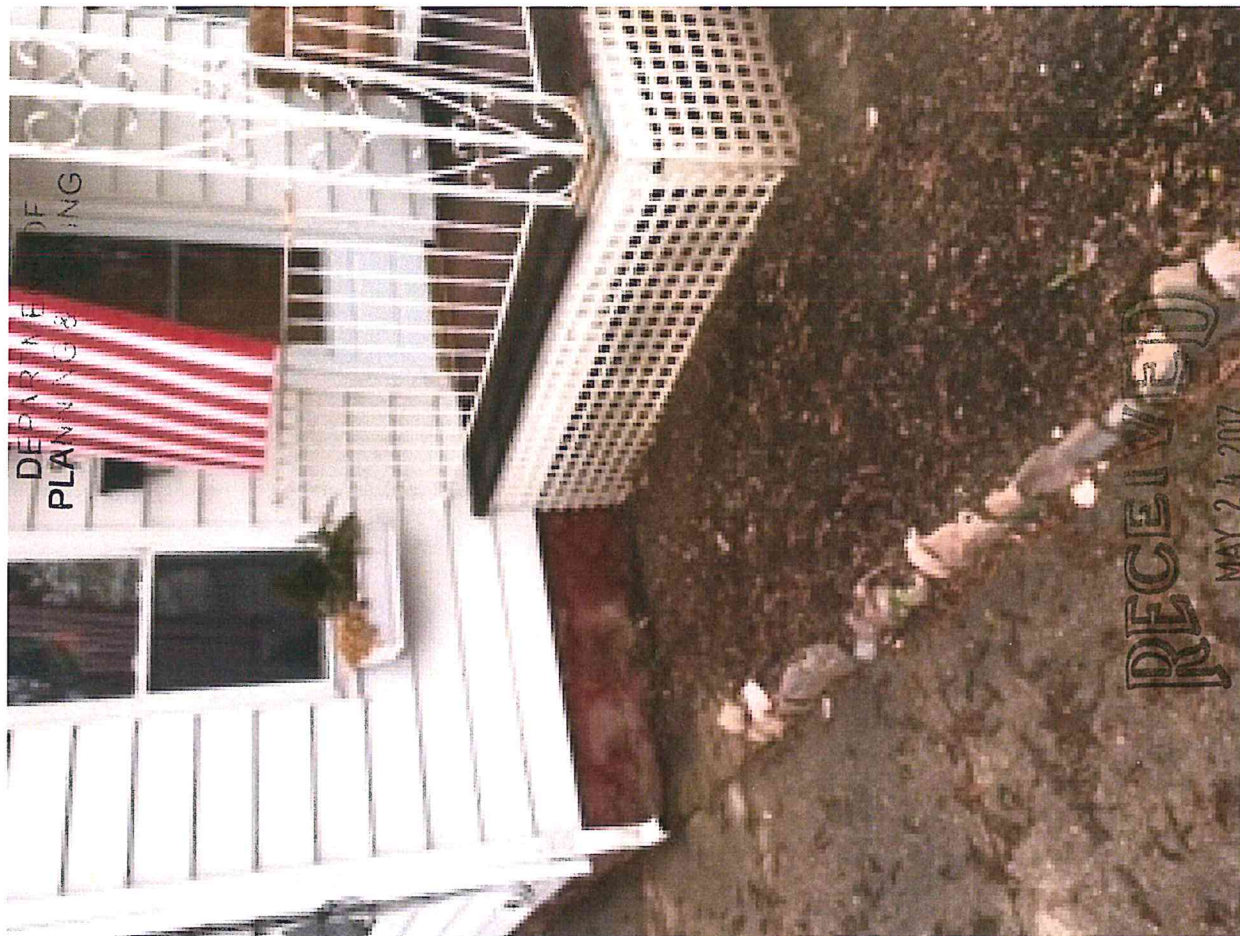
MAY 24 2017

DEPARTMENT OF
PLANNING & ZONING



RECEIVED

MAY 24 2017



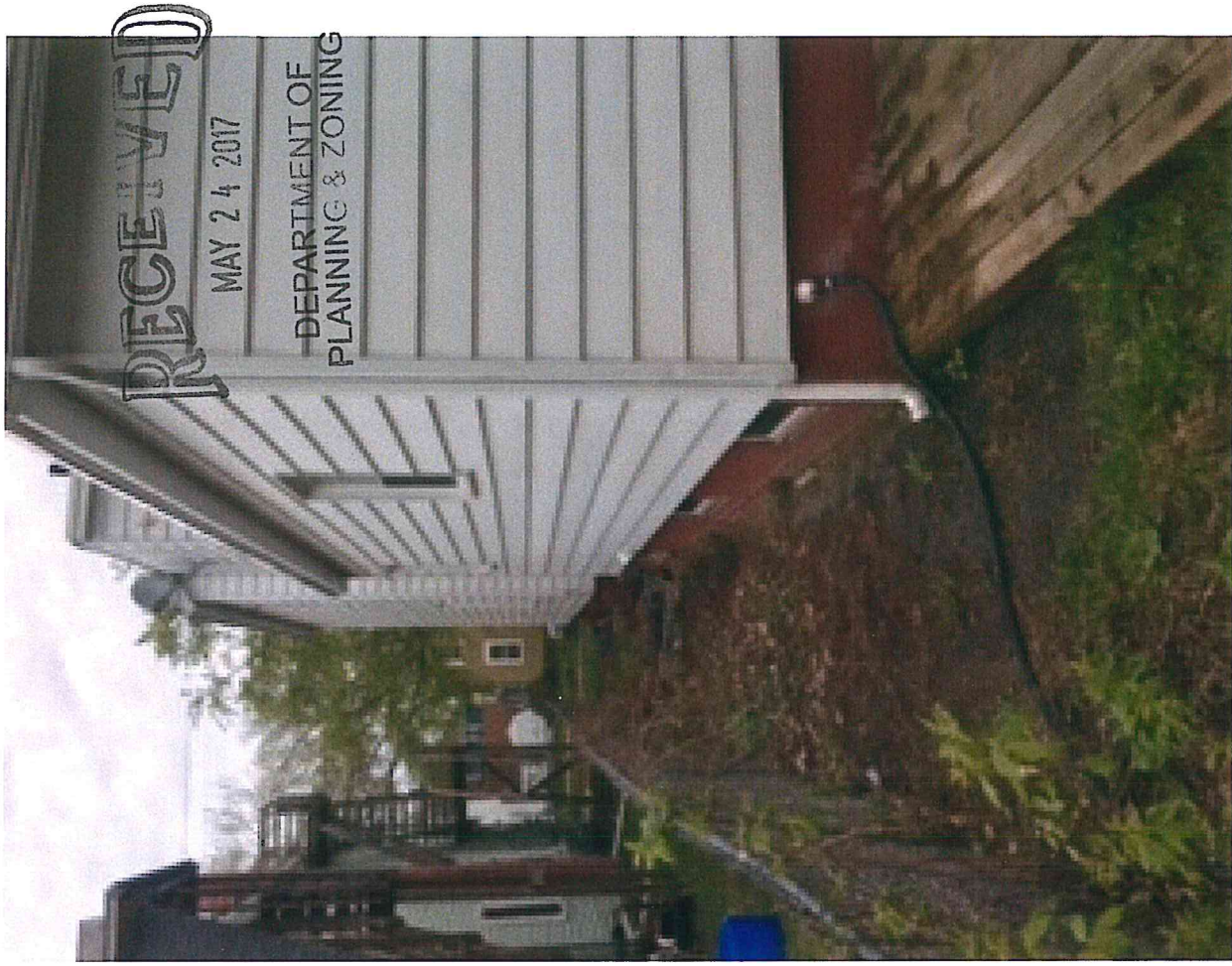
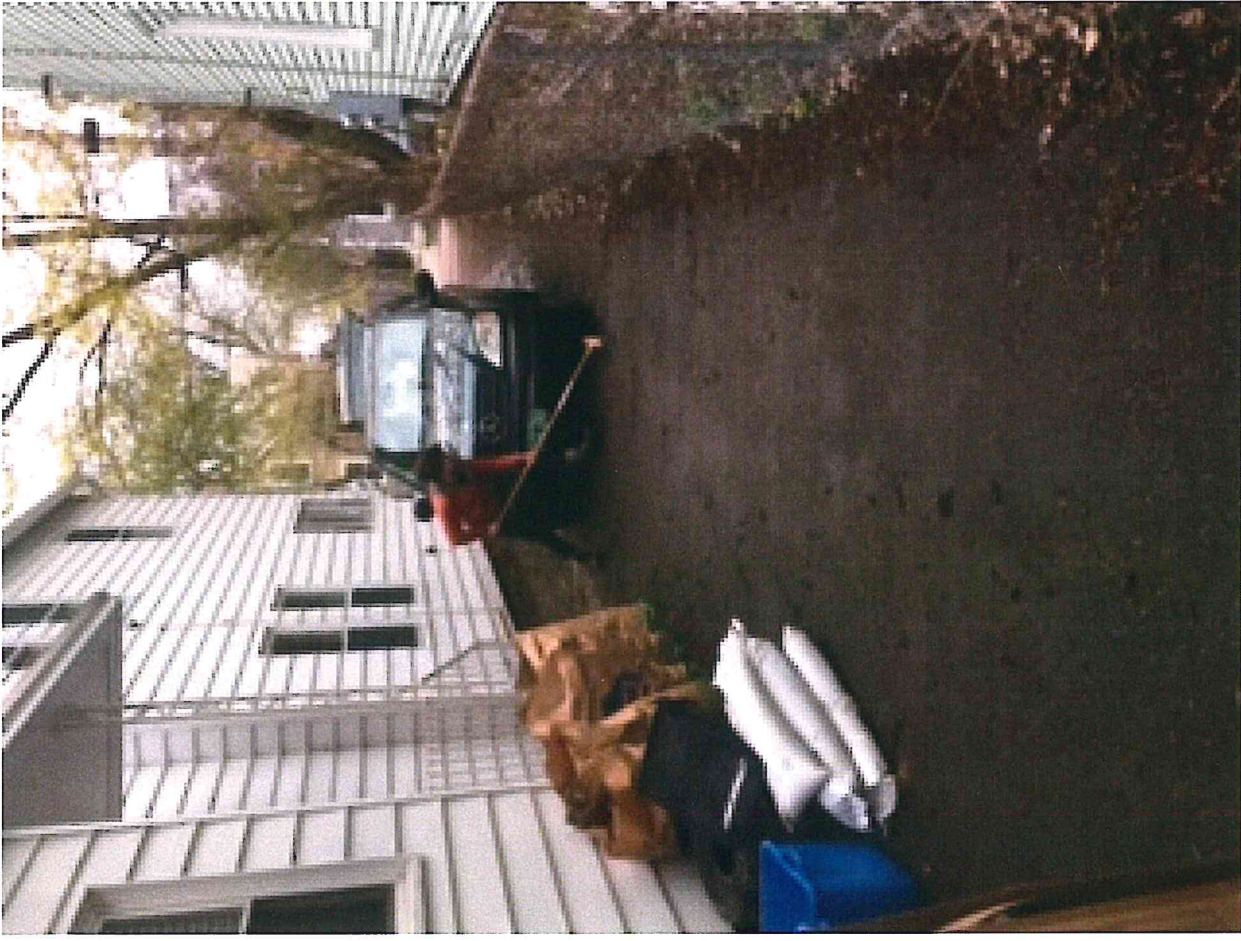
RECEIVED

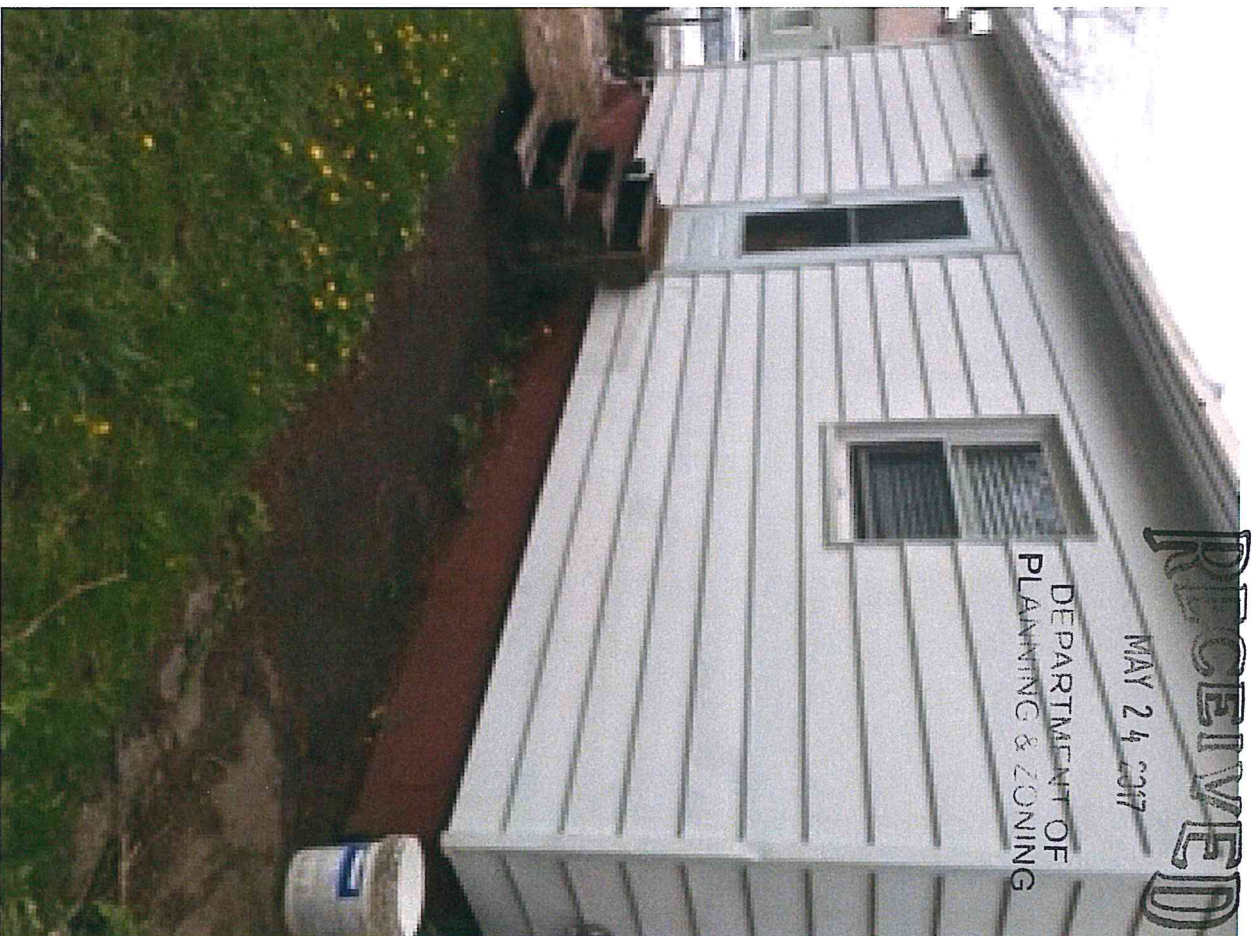
MAY 24 2017

RECEIVED
MAY 24 2017

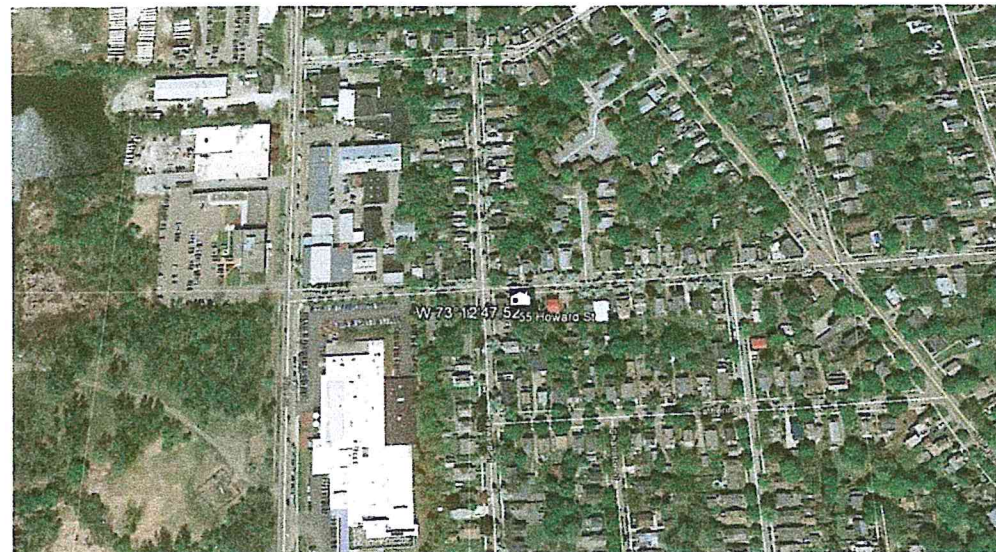


DEPARTMENT OF
PLANNING & ZONING





RECEIVED
MAY 24 2017
DEPARTMENT OF
PLANNING & ZONING



LOCATION MAP



LANDSCAPE:
 Redosier Dogwood (*Cornus sericea*)
 Checkerberry (*Gaultheria procumbens*)
 Interrupted Fern (*Osmunda claytoniana*)

RENDERING@PROJECT COMPLETION



PROPOSED PROJECT DESCRIPTION:

CHANGE OF USE: RESIDENTIAL DUPLEX TO BECOME HOME OFFICE, MEDICAL OFFICE.

PROPOSED EXTERIOR RENOVATIONS:

- ENLARGE EXISTING FRONT PORCH
- REPLACE FRONT DOORS
- ADD TRIM TO EXISTING WINDOWS
- ADD EXTERIOR LIGHTS
- REINFORCE BASEMENT WALLS
- ACCOMPANIED SITE WORK, EGRESS AND LANDSCAPING

PROPOSED INTERIOR RENOVATION:

- INTERIOR WALLS, FLOORS AND LIGHTING (SEE A2)
- PLUMBING: NO CHANGE

ANNOTATIONS

AFF	ABOVE FINISHED FLOOR
ABV	ABOVE
ALUM	ALUMINUM
BLK	BLOCKING
BO	BY OTHERS
BOF	BOTTOM OF FOOTING
BS	BOTH SIDES
CH	CEILING HEIGHT
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
EL, ELEV	ELEVATION
EPS	EXPANDED POLYSTYRENE
EXIST, EXG	EXISTING
FBRGLS	FIBERGLASS
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FG	FOOT GRILL
FIN	FINISH
FLR	FLOOR
FR	FIRE RATED
FTG	FOOTING
FV	FIELD VERIFY
GWB	GYPSUM WALL BOARD
HM	HOLLOW METAL
INCL	INCLUDE, INCLUDED
INSUL	INSULATION
ISO	ISOCYANURATE INSULATION
LBP, LCP	LEAD CONTAINING PAINT
LF	LIGHT FIXTURE
MR	MOISTURE RESISTANT
MTL	METAL
NIC	NOT IN CONTRACT
NOM	NOMINAL
PLAM	PLASTIC LAMINATE
P.G.T	PORCELAIN TILE
PLST	PLASTER
PNT, PTD	PAINT
PLYWD	PLYWOOD
PT	PRESSURE TREATED
RB	RUBBER BASE
RC	REFINISHED CONCRETE
SAC	SUSPENDED ACOUSTICAL CEILING
SB-CMU	SURFACE BONDED CMU
SPF	SPRAY FOAM INSULATION
SR	SHEET RUBBER FLOORING
SS	STANDING SEAM
STG	STRUCTURAL GLAZED TILE
STL	STEEL
SV	SHEET VINYL FLOORING
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOS	TOP OF STEEL
TO	TOP OF WALL
VCT	VINYL COMPOSITION TILE
VB	VINYL BASE
VIF	VERIFY IN FIELD
WD	WOOD
XPS	EXTRUDED POLYSTYRENE

CULTIVation DES

55 HOWARD RENOVATION

RECEIVED
 MAY 31 2017

DEPARTMENT OF
 PLANNING & ZONING

OWNER

PJ MCHENRY
 55 HOWARD ST.
 BURLINGTON VT 05401

DESIGNER:

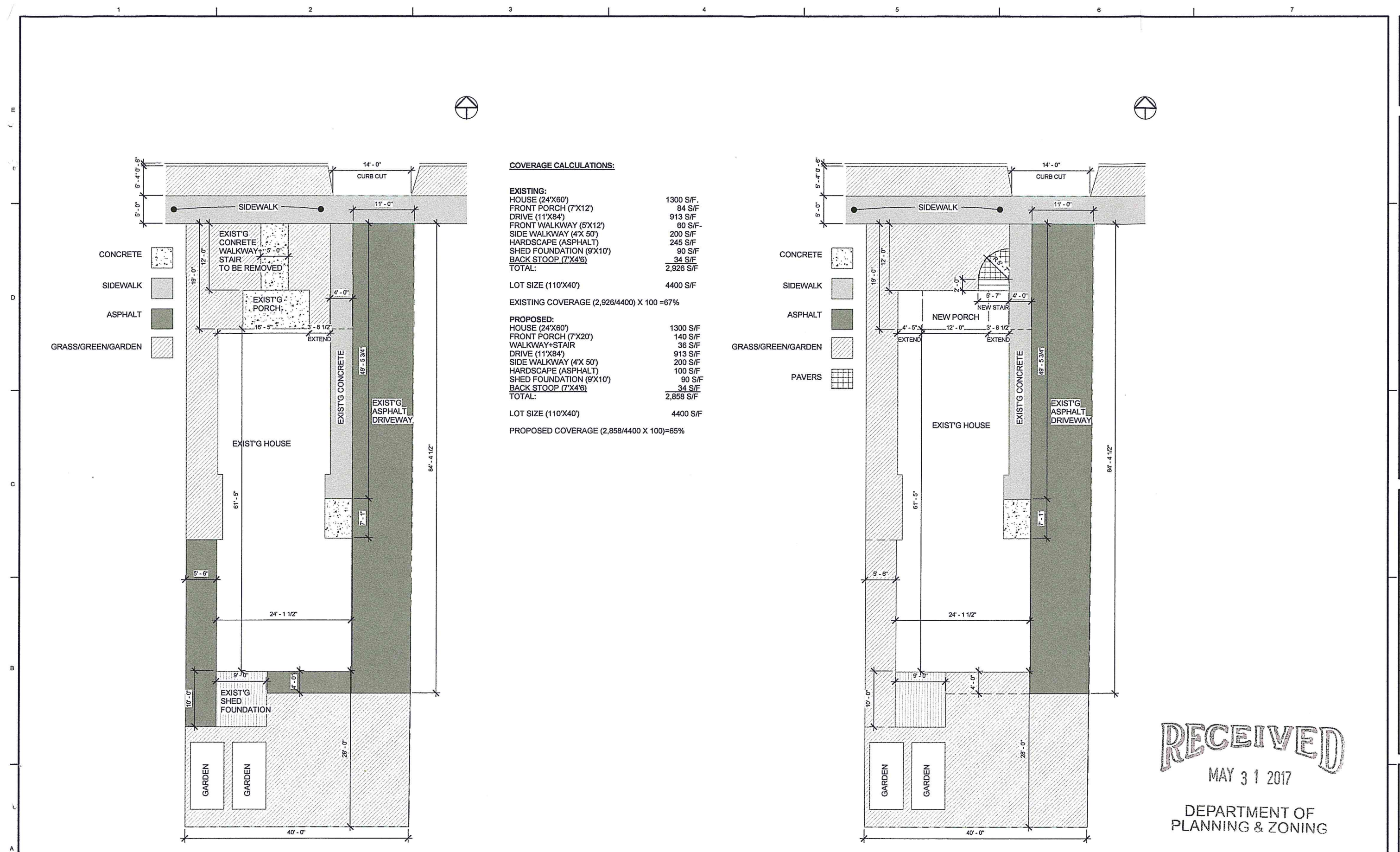
KRISTEN L'ESPERANCE
 171 LANES LANE
 CHARLOTTE, VT 05445
 802.238.8186
 KRISTENLESPERANCE@GMAIL.COM

CONSULTANTS:

Ina Hladky
 Engineer
 10 Athens Lane
 Essex, Jct. 05452
 878 3504
 inahladky@gmail.com

Sheet List	
Sheet Name	Sheet Number
TITLE SHEET	A0
SITE PLAN	A1
PARKING PLAN	A1.1
FIRST FLOOR PLANS	A2
EXTERIOR ELEVATIONS	A3
Unnamed	A6

GENERAL DEMOLITION NOTES:
 1. ERECT DUST PARTITIONS AND/OR PROTECTION AS REQUIRED BY OWNER TO MAINTAIN A REASONABLY CLEAN INTERIOR/OCCUPIED SPACE DURING CONSTRUCTION. REMOVE CONSTRUCTION DEBRIS ON A REGULAR BASIS. MAINTAIN MINIMUM DUST AS MUCH AS PRACTICAL.
 2. MAINTAIN WEATHERPROOF PROTECTION FROM RAIN, SNOW AND COLD.
 3. MAINTAIN STRUCTURAL INTEGRITY OF EXISTING BUILDING.
 4. ANY DISCREPANCY FROM THE PLANS, PROBLEMS OR CONCERNS ABOUT THE STRUCTURE, MECH., ELECTRICAL, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE PROJECT DESIGNER.
 5. ALL PLUMBING LINES DISCONTINUED SHALL BE REMOVED BACK TO THE NEAREST ACCESSIBLE POINT AND CAPPED AS PER PLUMBING CODE.
 6. REMOVE ANY ELECTRICAL WIRES IN WALLS INDICATED TO BE REMOVED BACK TO JUNCTION BOX OR CIRCUIT PANEL.
 COORDINATED ANY DISCONTINUITY FOR ELECTRICAL SERVICES WITH OWNER.



COVERAGE CALCULATIONS:

EXISTING:	
HOUSE (24'X60')	1300 S/F
FRONT PORCH (7'X12')	84 S/F
DRIVE (11'X84')	913 S/F
FRONT WALKWAY (5'X12')	60 S/F
SIDE WALKWAY (4'X 50')	200 S/F
HARDSCAPE (ASPHALT)	245 S/F
SHED FOUNDATION (9'X10')	90 S/F
BACK STOOP (7'X4'6)	34 S/F
TOTAL:	2,926 S/F

LOT SIZE (110'X40') 4400 S/F

EXISTING COVERAGE (2,926/4400) X 100 =67%

PROPOSED:	
HOUSE (24'X60')	1300 S/F
FRONT PORCH (7'X20')	140 S/F
WALKWAY+STAIR	36 S/F
DRIVE (11'X84')	913 S/F
SIDE WALKWAY (4'X 50')	200 S/F
HARDSCAPE (ASPHALT)	100 S/F
SHED FOUNDATION (9'X10')	90 S/F
BACK STOOP (7'X4'6)	34 S/F
TOTAL:	2,858 S/F

LOT SIZE (110'X40') 4400 S/F

PROPOSED COVERAGE (2,858/4400 X 100)=65%

① EXISTING SITE PLAN
1/8" = 1'-0"

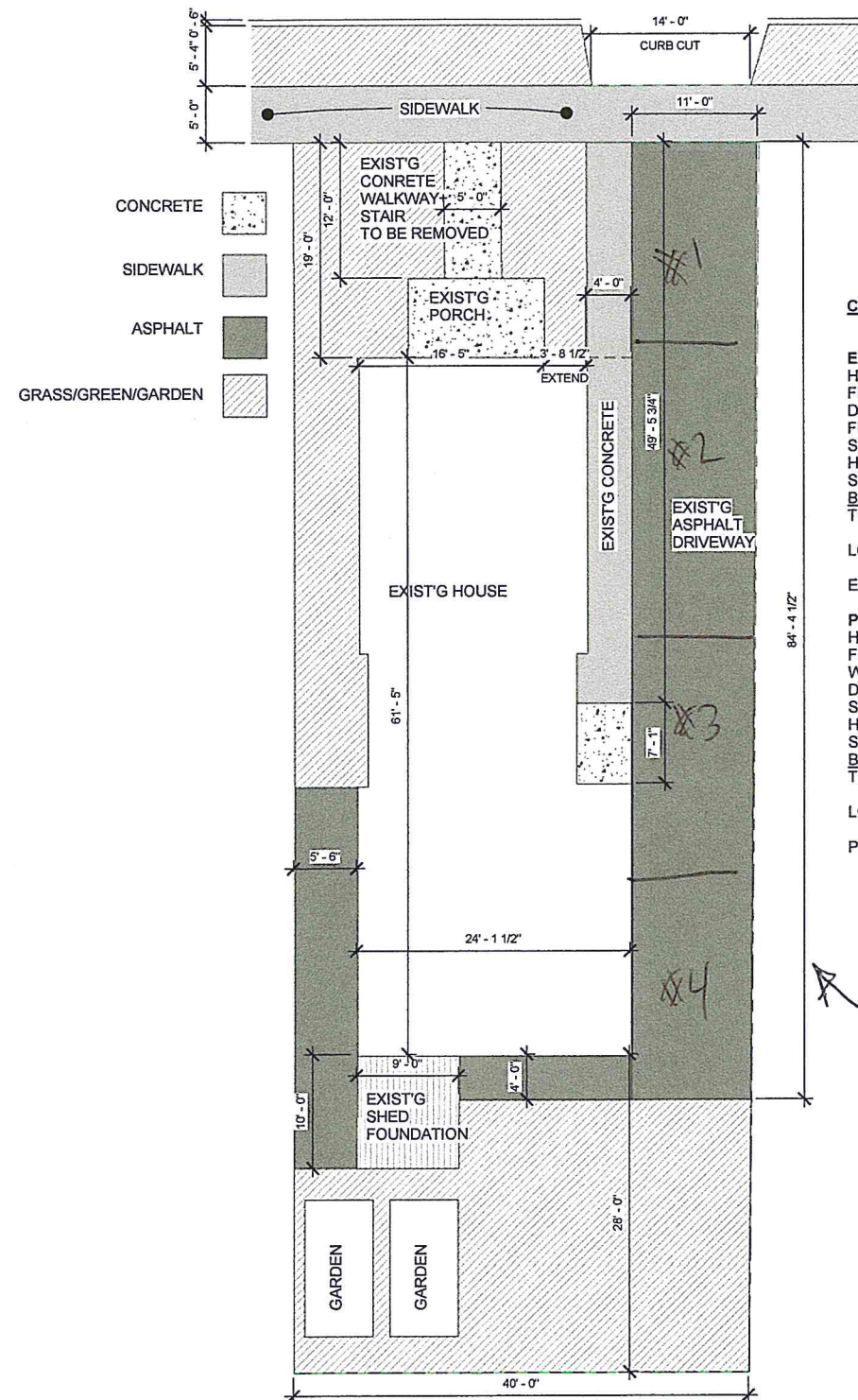
② PROPOSED SITE PLAN
1/8" = 1'-0"

RECEIVED
MAY 31 2017

DEPARTMENT OF
PLANNING & ZONING

RECEIVED
MAY 31 2017

DEPARTMENT OF
PLANNING & ZONING



COVERAGE CALCULATIONS:

EXISTING:	
HOUSE (24'X60')	1300 S/F
FRONT PORCH (7'X12')	84 S/F
DRIVE (11'X84')	913 S/F
FRONT WALKWAY (5'X12')	60 S/F
SIDE WALKWAY (4'X 50')	200 S/F
HARDSCAPE (ASPHALT)	245 S/F
SHED FOUNDATION (9'X10')	90 S/F
BACK STOOP (7'X4'6")	34 S/F
TOTAL:	2,926 S/F

LOT SIZE (110'X40') 4400 S/F

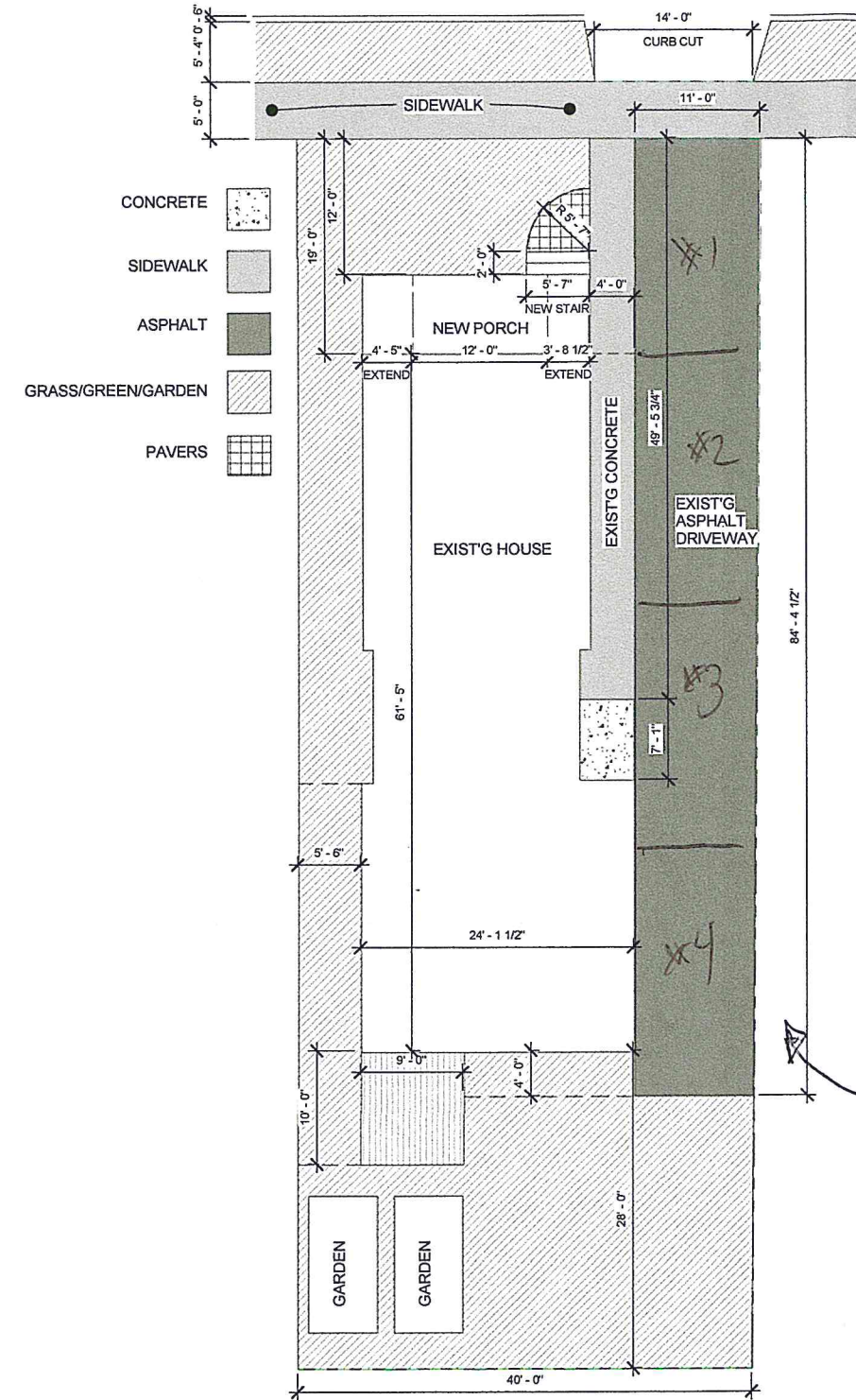
EXISTING COVERAGE (2,926/4400) X 100 =67%

PROPOSED:	
HOUSE (24'X60')	1300 S/F
FRONT PORCH (7'X20')	140 S/F
WALKWAY+STAIR	36 S/F
DRIVE (11'X84')	913 S/F
SIDE WALKWAY (4'X 50')	200 S/F
HARDSCAPE (ASPHALT)	100 S/F
SHED FOUNDATION (9'X10')	90 S/F
BACK STOOP (7'X4'6")	34 S/F
TOTAL:	2,858 S/F

LOT SIZE (110'X40') 4400 S/F

PROPOSED COVERAGE (2,858/4400 X 100)=65%

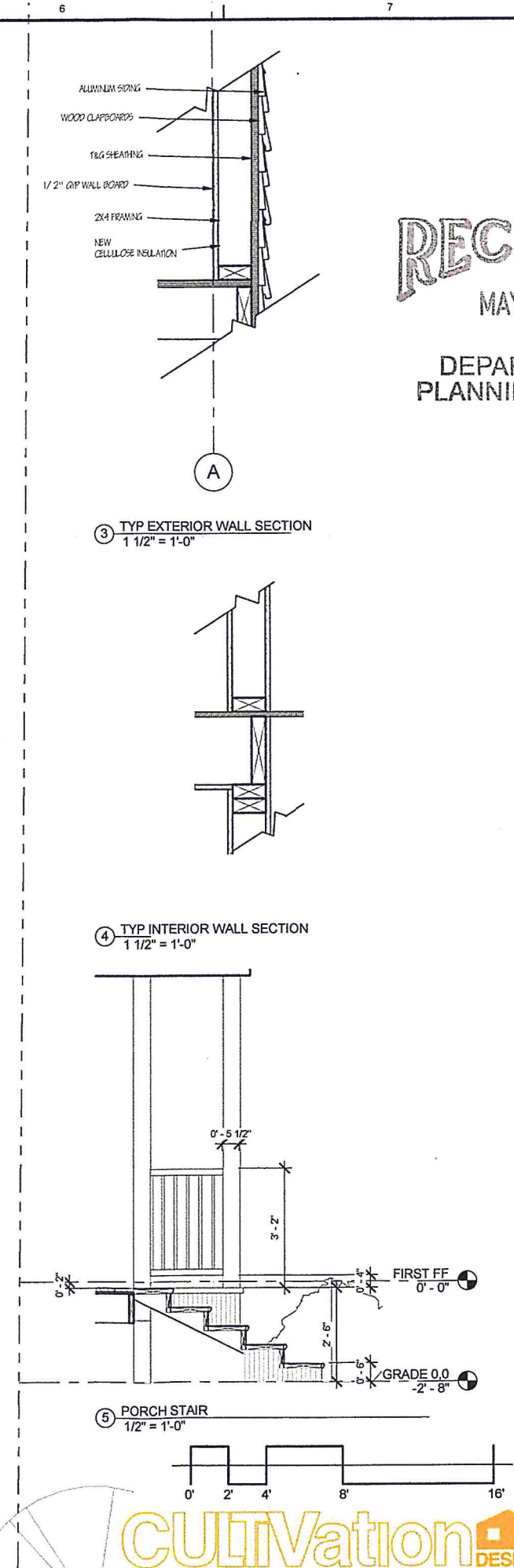
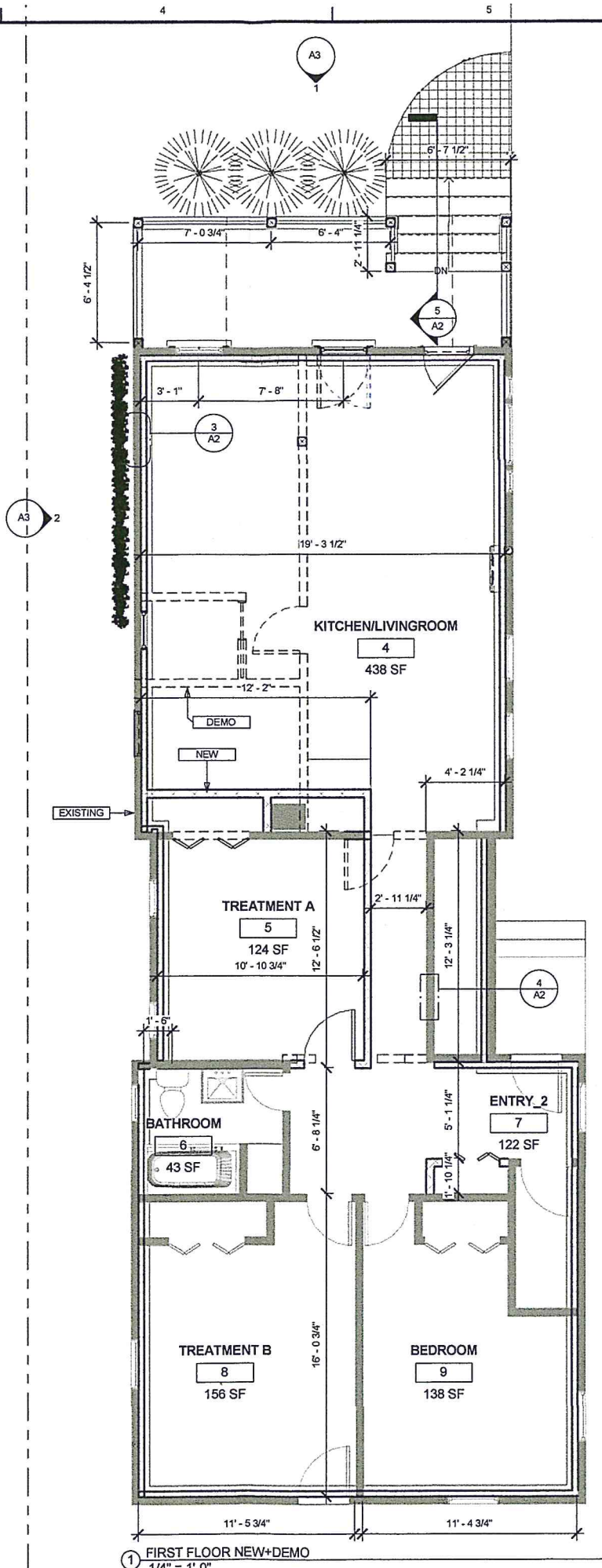
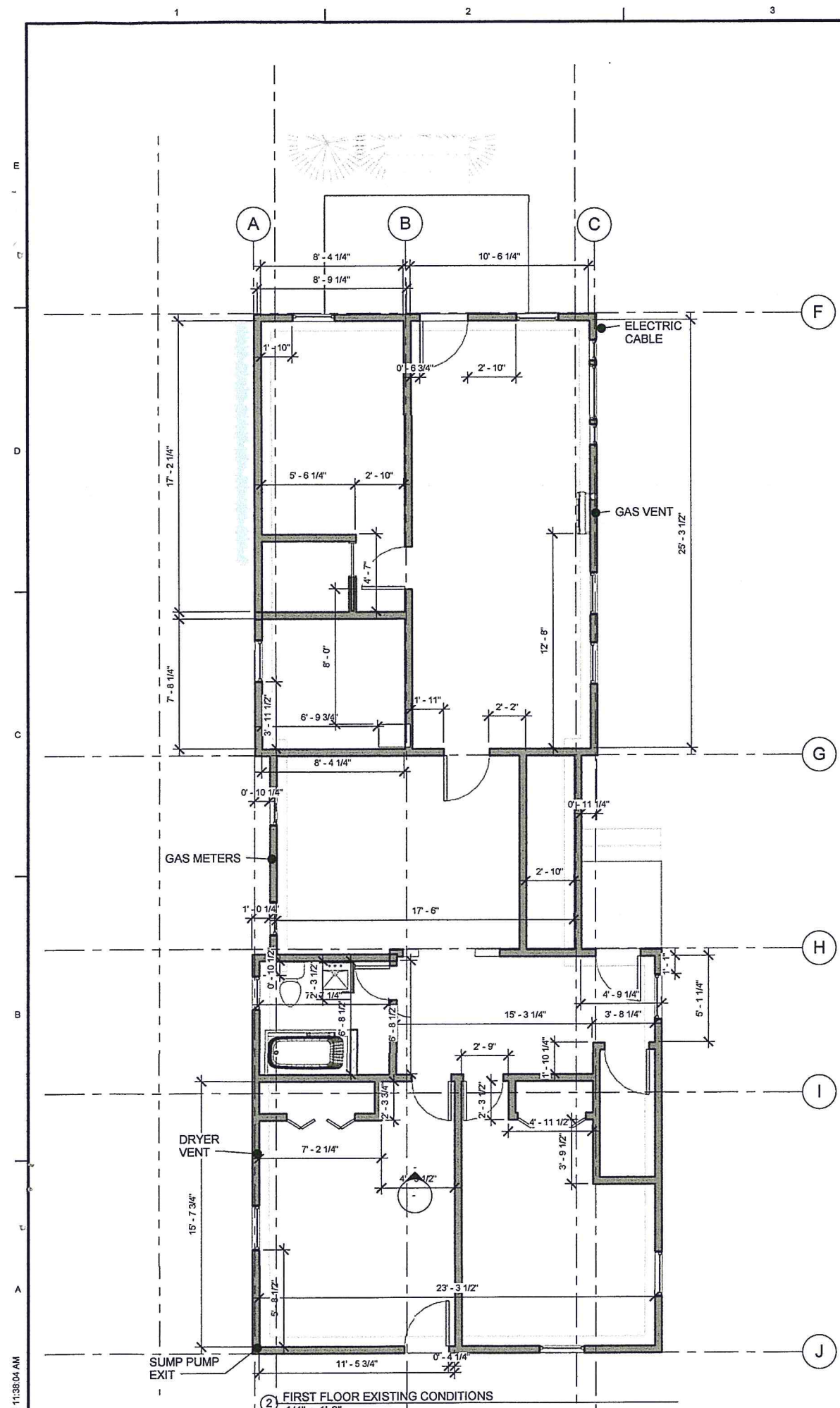
Existing
parking
shaded



Proposed
parking to
remain the
same

① EXISTING SITE PLAN PARKING
1/8" = 1'-0"

② PROPOSED SITE PLAN PARKING
1/8" = 1'-0"



RECEIVED
MAY 31 2017
DEPARTMENT OF
PLANNING & ZONING

55 HOWARD RENOVATION
PJ MCHENRY

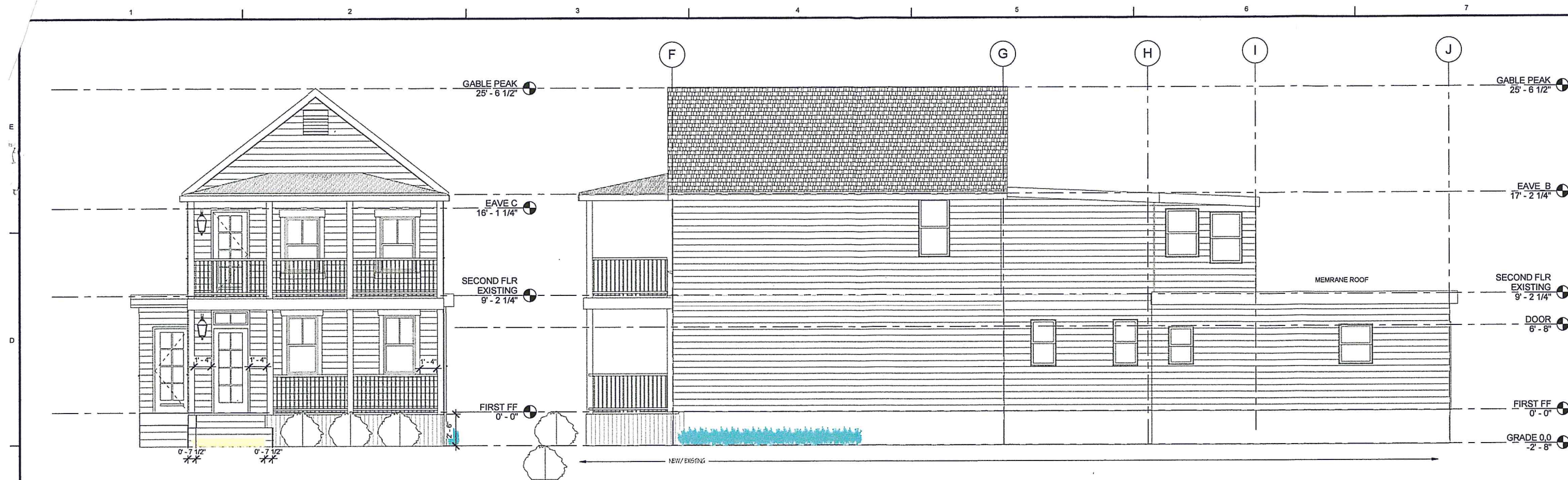
CONSULTANT
Ina Hladky
Engineer
10 Athen
Essex, J
878 3504
inahladky

CULTIVATION
KRISTEN
L'ESPERA
308 PINE ST
BURLINGTON
802.238.8186
kristenlespera

DATE:

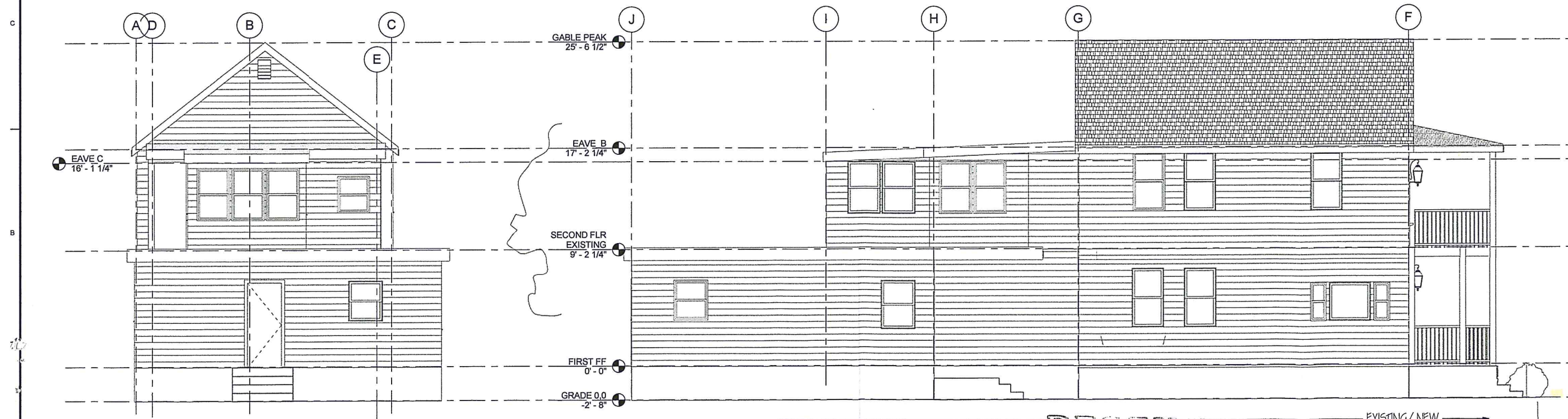
SCALE:
DRAWN BY

17 11:38:04 AM



① FRONT ELEVATION
1/4" = 1'-0"

② WEST ELEVATION
1/4" = 1'-0"



③ NORTH ELEVATION
1/4" = 1'-0"

④ EAST ELEVATION
1/4" = 1'-0"

RECEIVED
MAY 31 2017

DEPARTMENT OF
PLANNING & ZONING

CULTIVATION DESIGN

55 HOWARD RENOVATION
PJ MCHENRY

CONSULT.

CULTIVATION
KRISTEN
L'ESPERANCE
308 PINE STREET
BURLINGTON
802.238.8186
kristen@esperance.com

DATE:

SCALE:
DRAWN BY



5-1/4 in. x 5-1/4 in. x 8 ft. Porch Column

★★★★★ (14) [Write a Review](#) [Questions & Answers \(10\)](#)

- Add an element of style to your front or back porch
- Can easily be painted to match your home's exterior
- Cap and hardware not included

\$79.97 /each

RECEIVED
MAY 24 2017

DEPARTMENT OF
PLANNING & ZONING

Specifications

Dimensions

Actual post height (in.)	96	Nominal post width (in.)	6
Actual post thickness (in.)	6	Product Depth (in.)	6
Actual post width (in.)	6	Product Height (in.)	96
Nominal post height (ft.)	96	Product Width (in.)	6
Nominal post thickness (in.)	6		

Details

Color Family	White	Material	Wood
Color/Finish	White	Number of posts included	1
Commercial/Residential Use	Residential	Product Weight (lb.)	25lb
Contact Type Allowed	Above Ground	Recommended Fastener	None
Features	Paintable	Shape	Square
Includes	No Additional Items Included	Use	Any

Warranty / Certifications

Manufacturer Warranty	1 YEAR		
-----------------------	--------	--	--

How can we improve our product information? Provide feedback.



WeatherShield

2 in. x 2 in. x 36 in. Pressure-Treated Wood Square Classic Spindle (16-Pack)

★★★★★ (15) [Write a Review](#) [Questions & Answers \(6\)](#)

- Easy to install and assemble
- Treated to protect against decay and rot
- Creates a unique look for deck railings

\$37.47 /package

RECEIVED
MAY 24 2017

DEPARTMENT OF
PLANNING & ZONING

Product Overview

Give your deck a finished, stylish, distinctive touch with these attractive wooden balusters. High-grade and long-lasting, these balusters come with a lifetime limited warranty against rot and termites. Just like our other wood decking products, our balusters can be cut to size for special projects. They're even compatible with aluminum, offering you the widest range of design options. Choose your own unique combination of decking components to create a deck that's truly your own.

California residents: see Proposition 65 information »

- 100% Solid wood made from southern pine and pressure treated with MCA (micronized copper azole) for long life
- Suitable for use on exterior rails and stairs in commercial or residential applications
- Natural wood finish may be stained or painted for a customized look
- Actual dimensions: 1-5/16 in x 1-5/16 in, x 36 in
- Easy installation

Info & Guides

[Instructions / Assembly](#)

[SDS](#)

[Warranty](#)

You will need Adobe® Acrobat® Reader to view PDF documents. [Download a free copy from the Adobe Web site.](#)

PEBBLE GREY

12-Inch Board Sample - Composite Decking

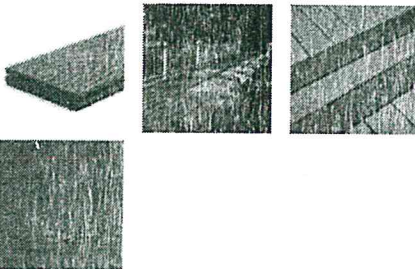
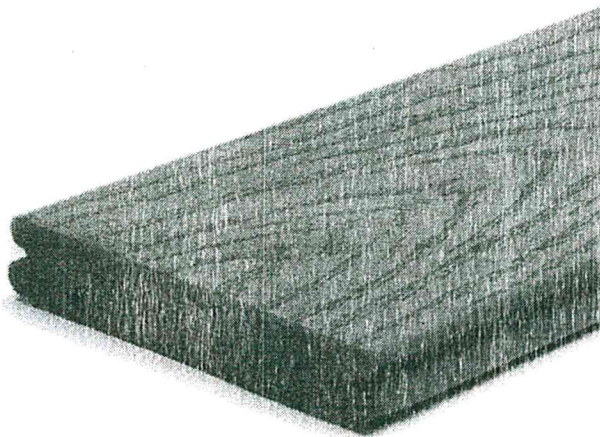
Brand:
Trex Select®

Price:
\$7.00

Shipping:
Free Shipping

Qty

[ADD TO CART](#)



RECEIVED
MAY 24 2017

DEPARTMENT OF
PLANNING & ZONING

Description

Reviews

COLOR STORY

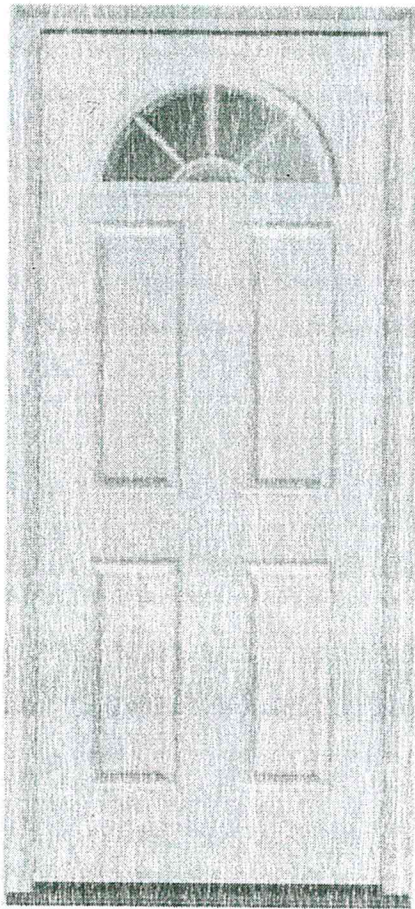
Pebble Grey is a light, heather grey deck board. The eco-friendly composite board has a simple wood-grain pattern for a clean finish.

TREX® THROUGH AND THROUGH

Pebble Grey is a Trex Select® color from our family of grey hues. Like all Trex composite decking, this board sample has a high-performance shell that protects against rot, warp, splinters and termites. Plus, Trex composite decking is backed by a 25-year limited residential fade & stain warranty, so the color you see today is the same you'll enjoy for decades.

SPECIFICATIONS

1 INCH x 6 INCHES x 12 INCHES, Made with 95% recycled materials



RECEIVED
MAY 24 2017

DEPARTMENT OF
PLANNING & ZONING



Milliken Millwork Model # Z000301R ★★★★★ (1)

30 in. x 80 in. Clear Right-Hand Round Top 1/4 Lite 4-Panel Classic Pri...

\$452.71



Specifications

Dimensions

Door Height (in.)	80	Jamb Size (in.)	4-9/16"
Door Thickness (in.)	1.75	Rough Opening Height (in.)	82.25
Door Width (in.)	30	Rough Opening Width (in.)	32

Details

Bore Type	Double Bore	Glass Style	Clear
Color Family	Off-White	Glass Type	1/4 Lite
Color/Finish	Primed	Hinge Finish	Nickel
Door Configuration	Single Door	Hinge type	Standard
Door Glass Insulation	Dual Pane,Tempered	Included	No Additional Items Included
Door Handing	Right-Hand/Inswing	Material	Fiberglass
Door Style	Classic	Number of Hinges	3
Door Type	Exterior Prehung	Panel Type	4 Panel
Features	Brickmould,Lockset Bore(Double Bore),Weatherstripping	Product Weight (lb.)	75lb
Finish Type	Primed	Returnable	90-Day
Frame Material	Wood	Suggested Application	Back,Basement Entry,Front,Garage Entry,Side
Glass Caming Finish	No caming		

Warranty / Certifications

HOUSE
CHIMNEY
TRIM

White Diamond OC-61
Blanco Diamante

CHIMNEY

Harbor Haze 2136-60
Playa del Puerto

Silver Martin 2139-50
Plata de Piz Aguja

Tapestry Beige OC-52
Beige Tapiz

Capitol Green OC-9017
Grana Verde

DEPARTMENT OF
PLANNING & ZONING

Iceberg 2122-50
Tiñapan de Hielo

Schooner AF-520
Goleta

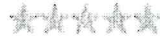
Night Train 1567
Tren de la Noche

Tree Moss 508
Musgo de Arbol

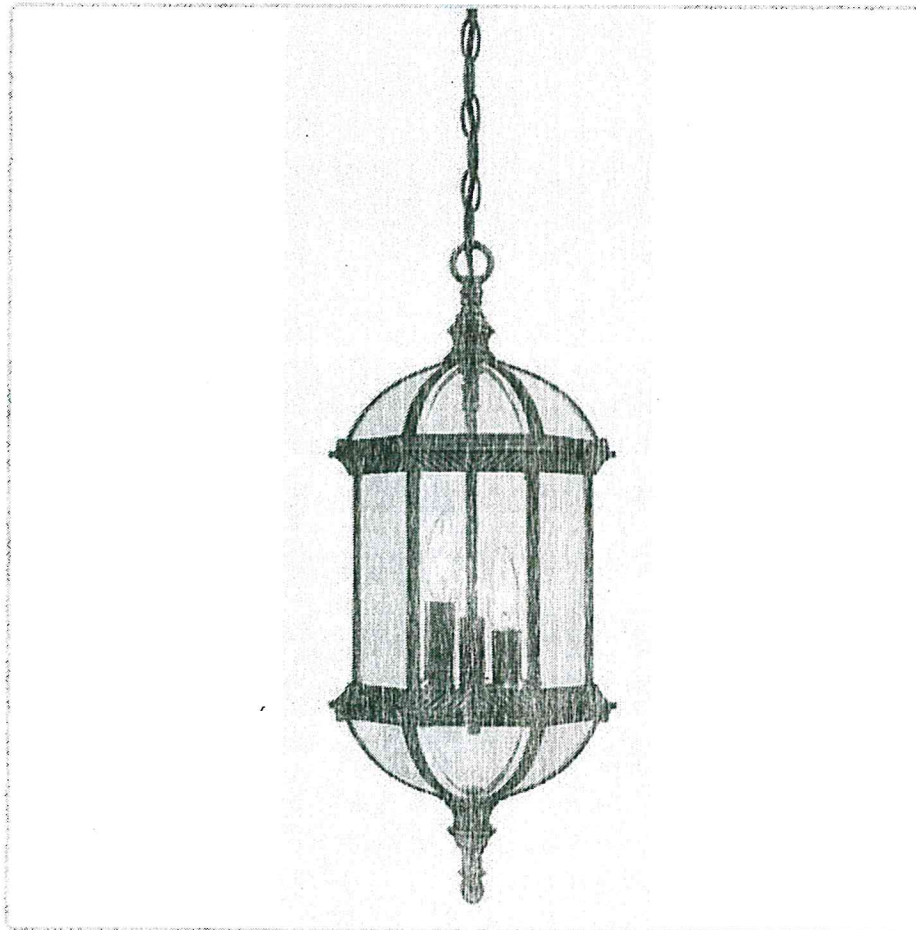
Sherwood Tan 1054
Bonacito de Sherwood

Acclaim Lighting Dover Burled Walnut Three-Light Outdoor Hanging Fixture with Clear Beveled Glass

Bellacor Number: 1668065



[Ask a question](#)



RECEIVED

MAY 24 2017

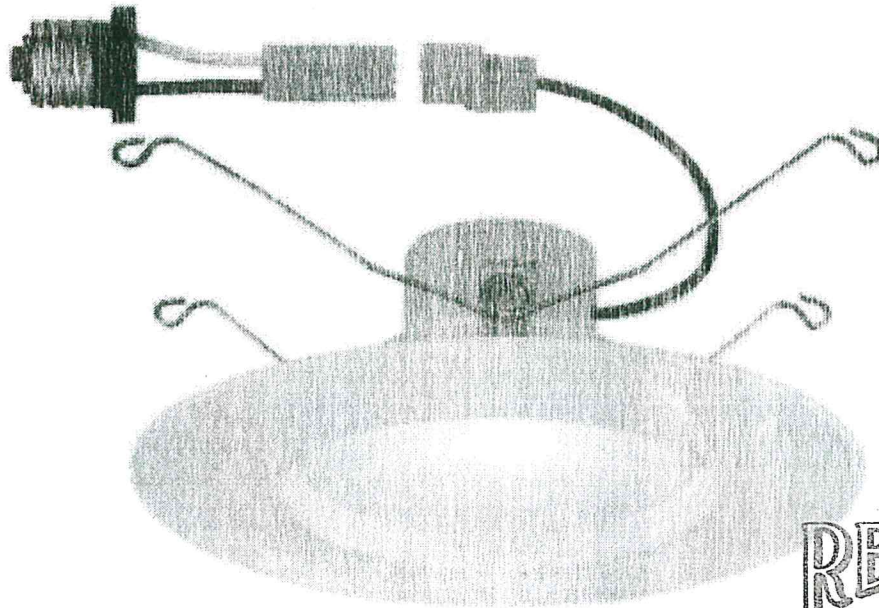
DEPARTMENT OF
PLANNING & ZONING

- SPECIFICATIONS -

Bellacor Number: 1668065
Material: Cast Aluminum
Style: Transitional
Bulb/Watt: 3 - 60 watt Candelabra bulbs
Weight: 9.0 Lbs
Certification: ETL
UPC: 849596001301
Brand: Acclaim Lighting
 **Resources:** Outdoor Lighting Buying Guide

Finish: Burled Walnut
Dimensions: 9 3/4"W x 22 1/4"H
Voltage: 110 to 120 Volt
Compare Brightness: View Chart
Assembly: Some Assembly Required
Usage: Exterior Damp
Brand SKU: 5274BW
Collection: Dover

[*MORE INFO](#)



RECEIVED
MAY 24 2017

DEPARTMENT OF
PLANNING & ZONING

Specifications

Dimensions

Aperture width (in.)	6	Assembled Width (in.)	7.50 in
Assembled Depth (in.)	7.50 in	Size	6 in.
Assembled Height (in.)	2.75 in		

Details

Actual Color Temperature (K)	2700	Light Output (lumens)	690
Adjustable Lamp Head	No	Package Quantity	1
Bulb Type Included	Integrated LED	Product Weight (lb.)	1.25lb
Color Rendering Index	90	Replaceable LED Module	No
Color Temperature	Warm White	Returnable	90-Day
Fixture Finish	White	Watt Equivalence	65
Fixture finish family	White		

Warranty / Certifications

Certifications and Listings	ETL Classified	Manufacturer Warranty	5-Year Limited Warranty
-----------------------------	----------------	-----------------------	-------------------------

How can we improve our product information? Provide feedback.

Burlington Design Advisory Board

149 Church Street, City Hall Burlington, VT 05401
<http://www.burlingtonvt.gov/PZ/Boards/Design-Advisory-Board/>
Telephone: (802) 865-7188
(802) 865-7195 (FAX)

Matt Bushey, Chair
Ron Wanamaker, Vice Chair
Sean McKenzie
Tom Cullins
Steve Offenhartz
Jeremy Gates, Alternate
Phil Hammerslough, Alternate



Minutes Design Advisory Board Tuesday, June 27, 2017 3:00 pm, Conference Room 12

Present: Steve Offenhartz, Tom Cullins, Ron Wanamaker

Absent: Matt Bushey, Sean McKenzie, Jeremy Gates (alternate), Phil Hammerslough (alternate)

Staff present: Mary O'Neil, Ryan Morrison

Session I - 3:00pm 3:30pm

17-1204CA; 76 Deforest Heights (RL, Ward 6S) Christian and Susan Skalka/ Steve Sorrell

Continued hearing re: Alterations to single family home (siding, window and door replacement, chimney removal, deck and stairs). Building (c. 1966) included in Prospect Park North & Middle *Historic Sites and Structure Survey*, determined to be eligible for historic designation.

(Project Manager, Mary O'Neil)

Motion by Steve Offenhartz: I move we **recommend approval** for 6" Boral siding or similar ash-like product; either channel board or ship lap vertical siding on the dormer in Boral or similar product; approval of chimney removal, front porch, garage door as proposed, and windows as proposed.

2nd: Tom Cullins.

Vote 3-0. Motion carries.

Session I - 3:30pm 4:00pm

17-1280CA; 55-57 Howard Street (RL, Ward 5S) PJ McHenry

Alterations to a two family home (rebuild and widen existing 2-story front porch, relocate 2 windows

and 2 doors, replace doors, add trim to existing windows, exterior lights, reinforce basement walls,

and accompanied site work. The building (c. 1885) is listed on the State Register of Historic Places.

(Project Manager, Ryan Morrison)

Motion by Steve Offenhartz: I move that the project at 55-57 Howard Avenue be approved as presented with the following requirements:

- The spindles on the replacement porch are to be square stock, non-pressure treated, with base and cap detail.
- The posts are to be non-pressure treated, square wood, painted posts.
- Any windows to be replaced are to be of a clad exterior, wood interior, 2/2 double-hung window.
- The replacement doors are to be therma-tru, ¾ light, with grille pattern detail, and one panel below.

2nd: Ron Wanamaker

Vote 3-0. Motion carries.

Next open meeting agenda: July 11, 2017.