Burlington Design Advisory Board
149 Church Street, City Hall
Burlington, VT 05401
www.burlingtonvt.gov/PZ/DAB
Phone: (802) 865-7188
Fax: (802) 865-7195

Matthew Bushey
Ron Wanamaker
Sean McKenzie
Steven Offenhartz
Larry Christopher Alley
Philip Hammerslough, Alt.
Jeremy Gates, Alt.

DESIGN ADVISORY BOARD
Tuesday, July 14, 2015 at 3:00 PM
Conference Room 12, City Hall, Burlington, VT

Each applicant has about 10 minutes to present his/her application to the board within their allotted session time. ***Please note session times are approximate.***

Session I - 3:00-3:10 p.m.

1. **Annual Organizational Meeting**
   Design Advisory Board, Historic Preservation Review Committee

Session II – 3:10-3:40 p.m.

2. **13-0587LL; 86 Lake Street, (DW, Ward 3), Lake Street Associates, Inc. Section 106 Review**
   Installation of wireless telecommunications facilities (revised plans.) HPRC review for any adverse effect on historic properties.

Session III – 3:40-4:00 p.m.

3. **131 Main Street, (RH, Ward 3), Section 106 Review**
   Proposed changes to existing telecommunications installation at the Vermont House. HPRC review for any adverse effect on historic properties.

Session IV – 4:00-4:20 p.m.

4. **720 South Prospect Street, Section 106 Review**
   Proposed changes to existing telecommunications installation at the High Service Water Tank.
   HPRC review for any adverse effect on historic properties.

The programs and services of the City of Burlington are accessible to people with disabilities.
Individuals who require special arrangements to participate are encouraged to contact the Department of Planning & Zoning at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188 (TTY users: 865-7142).

Department of Planning and Zoning
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David E. White, AICP, Director
Vacant, Comprehensive Planner
Jay Appleton, Senior GIS/IT Programmer/Analyst
Scott Gustin, AICP, CFM, Interim Administrative Officer
Mary O'Neil, AICP, Senior Planner
Anita Wade, Zoning Clerk
Elsie Tillotson, Department Secretary

MEMORANDUM

To: The Historic Preservation Review Committee
From: Mary O'Neil, AICP, Senior Planner, CLG Coordinator
RE: 86 Lake Street, Section 106 Review
Date: July 14, 2015

File: N/A
Location: 86 Lake Street
Zone: Downtown Waterfront **Ward**: 3C
Date application accepted: Notice of Section 106 Review, invitation to comment: June 12, 2015.
Applicant/ Owner: Lake Street Associates, Incorporated
Notice received from All-Points Technology Corporation, on behalf of Cellco Partnership, dba Verizon Wireless.
Previous HPRC project review: April 14, 2015
Request: Revised plans, re: Installation of wireless telecommunications facilities/review for any adverse effect on historic properties.

Overview:
To comply with Section 106 of the National Historic Preservation Act (NHPA) of 1966, Cellco Partnership/Verizon Wireless has retained All-Points Technology Corporation to evaluate proposed wireless telecommunications facilities for any adverse effect it may have on historic properties.

The subject property is listed in the Vermont State Register of Historic Places as part of the Pioneer Mechanic's Shop Complex and has been recommended eligible for listing in the National Register by architectural historians working in consultation with All Points Technology and Cellco/Verizon. The Division for Historic Preservation concurred, finding this property eligible for inclusion in the National Register.

The Historic Preservation Review Committee, acting under authority of Burlington's Certified Local Government reviewed initial plans April 14, 2015. After reviewing the plans and consulting with the Criteria of Adverse Effect from 36 CFR Part 800, §800.5 as published in the Federal Register, Vol. 64, No. 95/Rules and Regulations, the Committee found with a 2-1 vote that the proposed antenna installation at 86 Lake Street would have an *adverse effect* on the historic property. Specifically, the Committee found the proposal to install antennas at the four rooftop corners and at the rear (east) roof would have a significant visual impact, altering the characteristics of the historic property that qualify the property for inclusion in the National Register.
From that decision:

> *Despite the photographic visualizations showing the proposed installation hidden behind the foliage of the existing street trees, the Committee felt that the antenna installation would be visible for a large portion of the year. The Committee also noted that the proposed installation would be visible by a*

large population of people due to the property's proximity to Burlington's Waterfront Park, and that installation of the rooftop antennas as proposed would diminish the character and integrity of the property's historic features and appearance. The Committee noted that other alterations to the building, such as the replacement or removal of windows, combined with the proposed antenna installation would result in a cumulative effect that diminishes the integrity of the structure, altering characteristics that qualify the property for inclusion on the National Register.

That opinion is attached.

Verizon Wireless has prepared a revised plan, reducing the number of concealed antenna from 2 per enclosure to 1. The height of the four RF concealment enclosures has also been reduced. The sector proposed along the eastern side of the roof (facing Battery Street) has been reduced to two panel antennas from the original four. The total overall height of the proposed installation would be 41' rather than the originally proposed 43' above ground level.
The planned enclosures are proposed to be matte gray to match existing roof mechanical equipment. Cellco continues to propose installation of vents in one bay on the northwest corner of the structure to provide ventilation for the proposed equipment room in the basement. The vents would be painted a matte gray as well.

The City received a communication from the Vermont Division for Historic Preservation relative to Section 106 Review, issuing a finding of *No Adverse Effect* for the <u>original</u> antenna installation proposal. This Committee questioned whether the failure to identify alternative sites, alternative designs, or alternative methods should be used to support a finding of no-adverse effect on this property. The Committee therefore did not concur with the decision of the Vermont Division for Historic Preservation, dated March 9, 2015 and received by the Department of Planning and Zoning via email the same day. No further communication has been received from the Division for Historic Preservation relative to the revised plans.

As a Certified Local Government, Burlington is a consulting party to the Section 106 Review.

<u>Specifically, the CLG is charged with determining the following: Does the proposed project constitute an *Adverse Effect*?</u> From 36 CFR Part 800, Protection of Historic Properties, §800.5 as published in the Federal Register, Vol. 64, No. 95/Rules and Regulations:

1. *Criteria of Adverse Effect. An adverse effect is found when an undertaking may alter**,** directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative.*
2. *Examples of adverse effects. Adverse effects on historic properties include, but are not limited to:*
    i. *Physical destruction of or damage to all or part of the property;*
    ii. ***Alteration of a property**, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped*

access ***that is not consistent with the Secretary's Standards for the Treatment of Historic Properties*** *(36 CFR part 68) and applicable guidelines;*

iii. *Removal of the property from its historic location;*

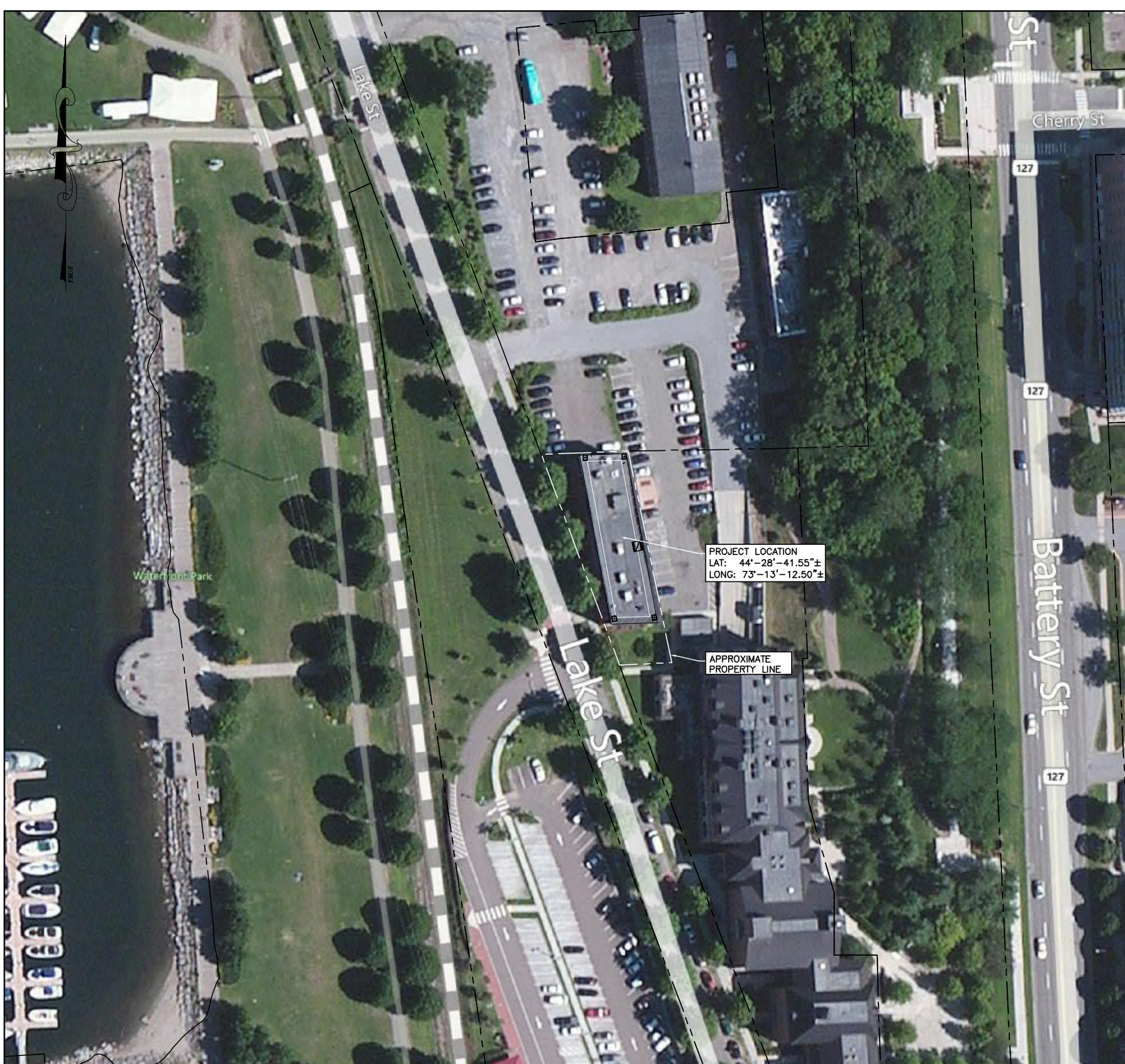
iv. ***Change of the character of the property's use or of physical features*** *within the property's setting that contribute to its historic significance;*

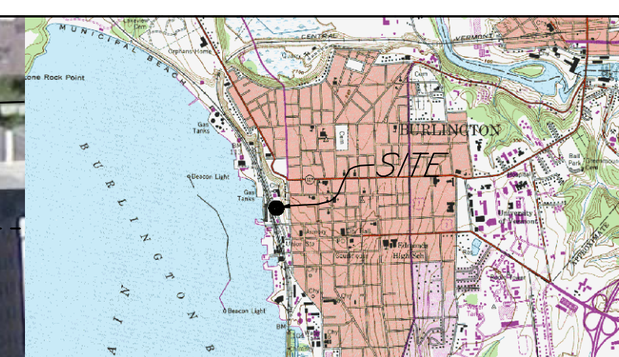
v. ***Introduction of visual****, atmospheric or audible* ***elements*** *that diminish the integrity of the property's significant historic features;*

vi. *Neglect….*

vii. *Transfer, lease or sale of property out of Federal ownership or control…*

As previously noted, failure to concur with the SHPO's determination may require involvement by the Vermont Advisory Council for Historic Preservation and potentially the Federal Communications Commission.





LOCATION MAP
NOT TO SCALE

NOTES:

1. PROPERTY OWNERS: LAKE STREET ASSOCIATES
2. LOCATION (CENTER OF ROOF)
   LATITUDE: 44°-28'-41.55"
   LONGITUDE: 73°-13'-12.50"
3. APPLICANT: NYNEX MOBILE LIMITED PARTNERSHIP 1 AND CELLCO PARTNERSHIP
   EACH D/B/A VERIZON WIRELESS
   C/O BRIAN SULLIVAN, ESQ., MURPHY SULLIVAN KRONK
   P.O. BOX 4485, 275 COLLEGE STREET
   BURLINGTON, VT 05401-4485 802-861-7000
4. ENGINEER: DUBOIS & KING, INC., 6 GREEN TREE DRIVE
   SOUTH BURLINGTON, VT 05403 802-878-7661
5. ZONING DISTRICT: MIXED USE – DOWNTOWN WATERFRONT
6. ADD PROPOSED USE: VERIZON WIRELESS: UNATTENDED TELECOMMUNICATIONS FACILITY. (1-2) VISITS PER MONTH BY TECHNICIAN. NO WATER OR SEWER SERVICES REQUIRED.
7. PROPERTY BOUNDARIES SHOWN ARE APPROXIMATE AS PROVIDED BY CITY OF BURLINGTON TAX MAPS. DUBOIS & KING, INC. DID NOT PERFORM A BOUNDARY SURVEY.
8. GPS SURVEY PERFORMED BY DUBOIS & KING ON 4/15/2014.
9. ELEVATIONS FROM GPS OBSERVATIONS.

GRAPHIC SCALE
40 0 20 40 80 160
(IN FEET)
1 inch = 40 ft. AT 24X36
HALF SIZE AT 11X17

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3	4-22-15	REVISED ANTENNA CONFIGURATION
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verizon

PROJECT ID: 2013
PROJECT TYPE: B
LOCATION CODE:

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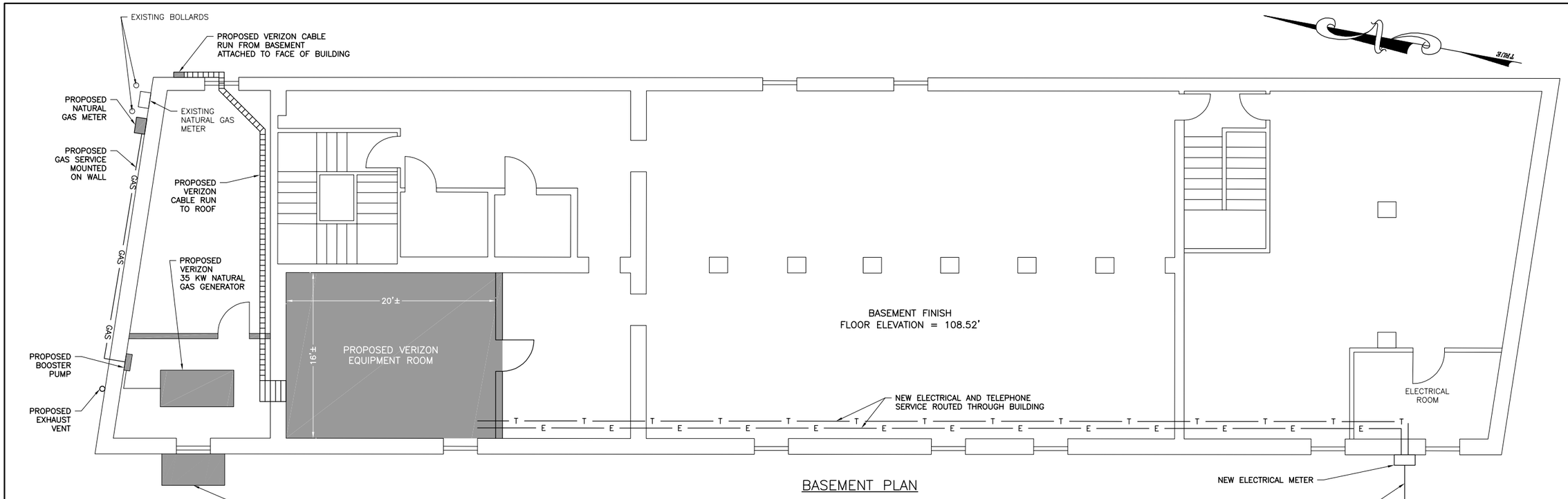
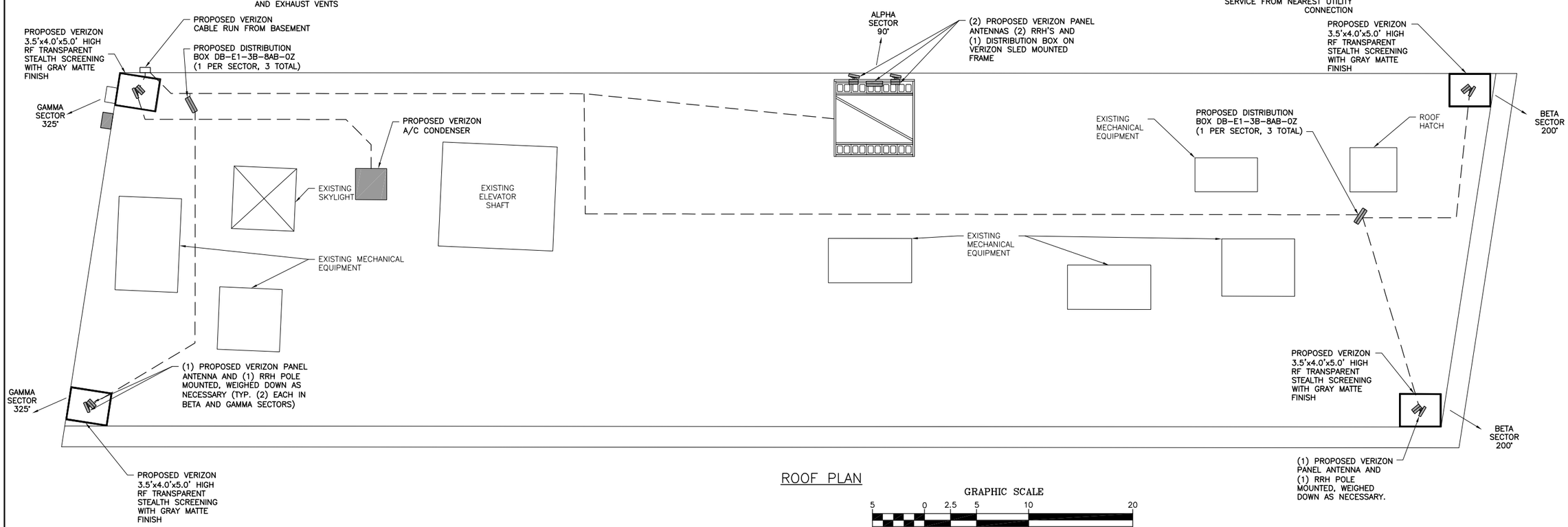


BASEMENT PLAN



ROOF PLAN

GRAPHIC SCALE

5 0 2.5 5 10 20

(IN FEET)
1 inch = 5 ft. AT 24X36
HALF SIZE AT 11X17

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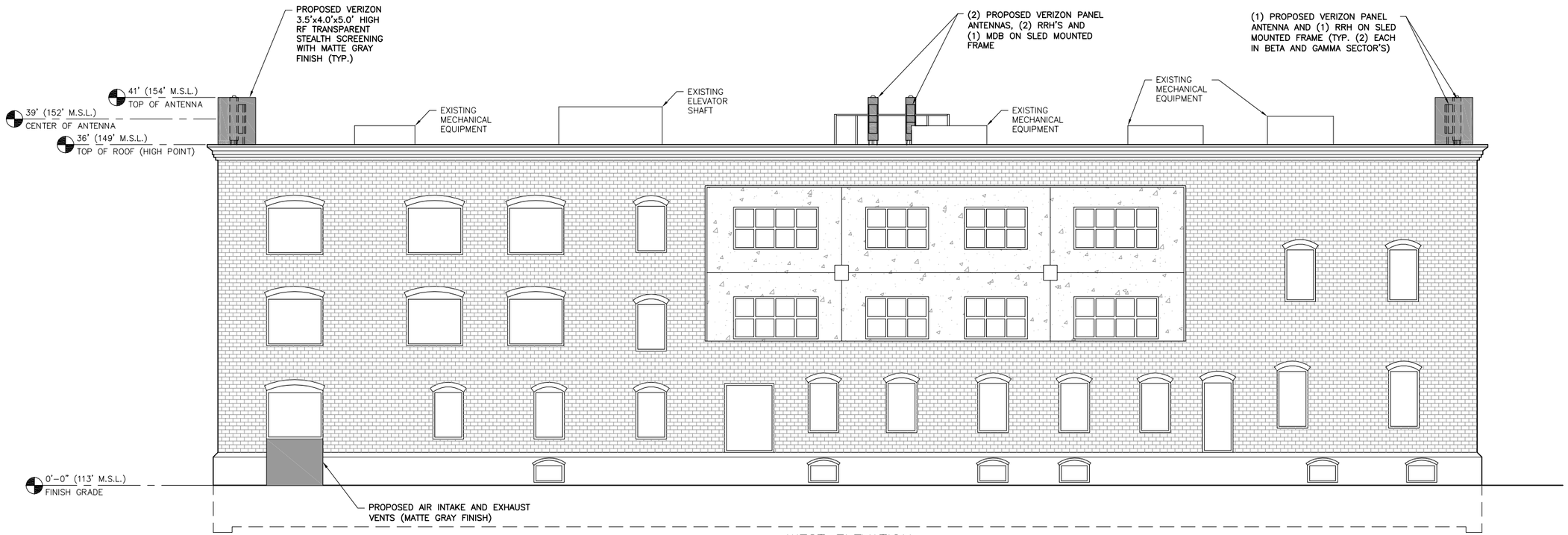
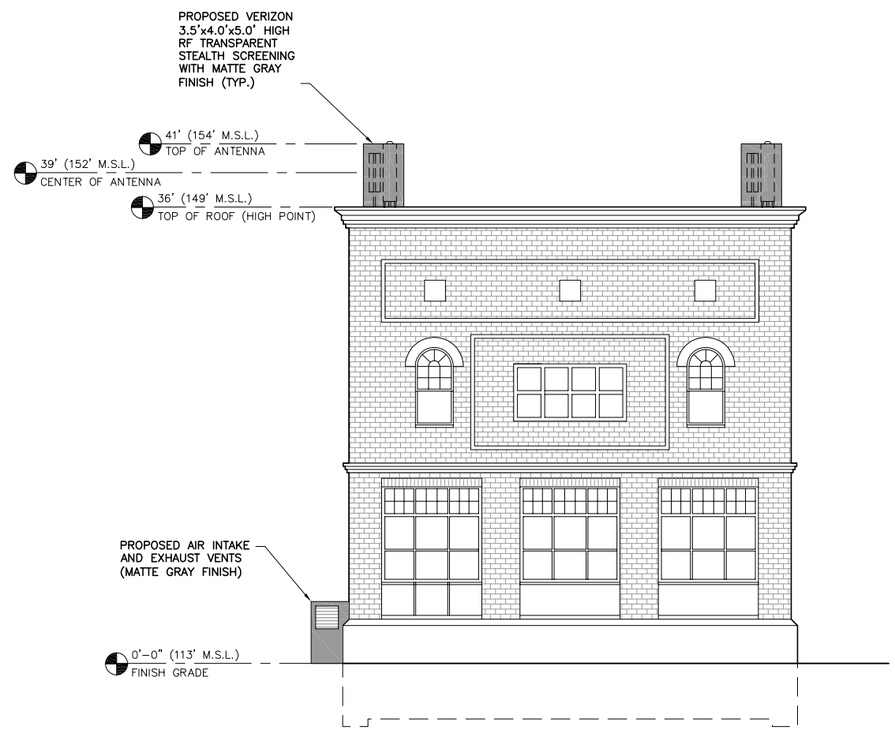


WEST ELEVATION



SOUTH ELEVATION

GRAPHIC SCALE

5 0 2.5 5 10 20

(IN FEET)
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HALF SIZE AT 11X17

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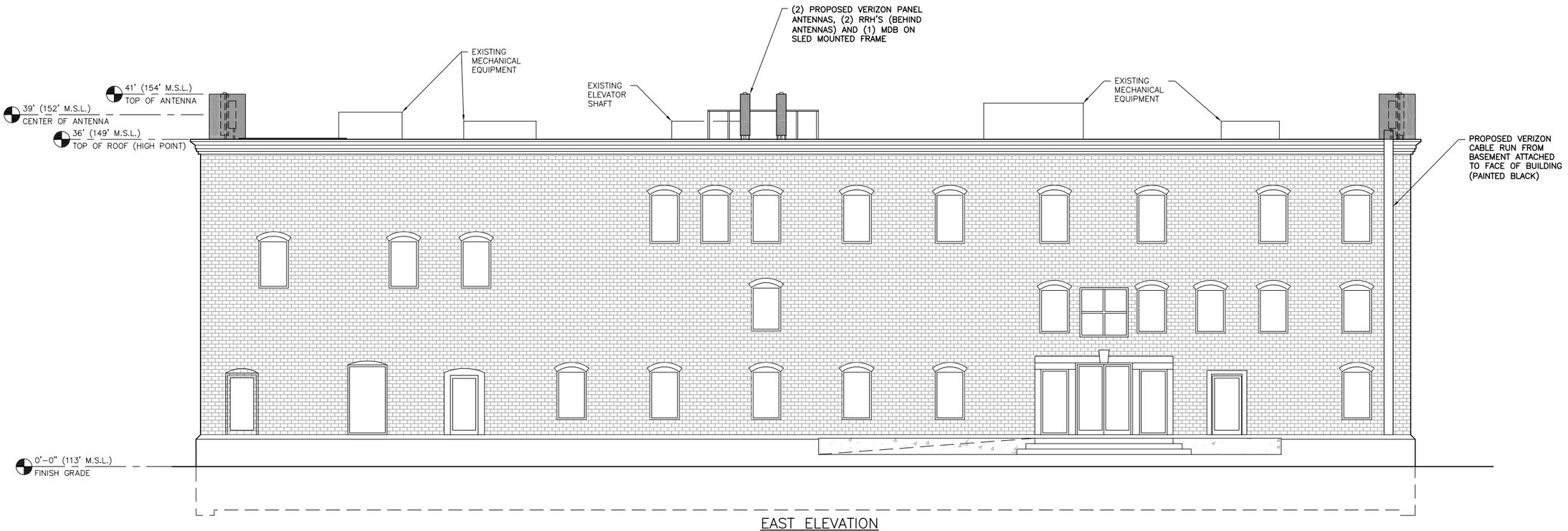
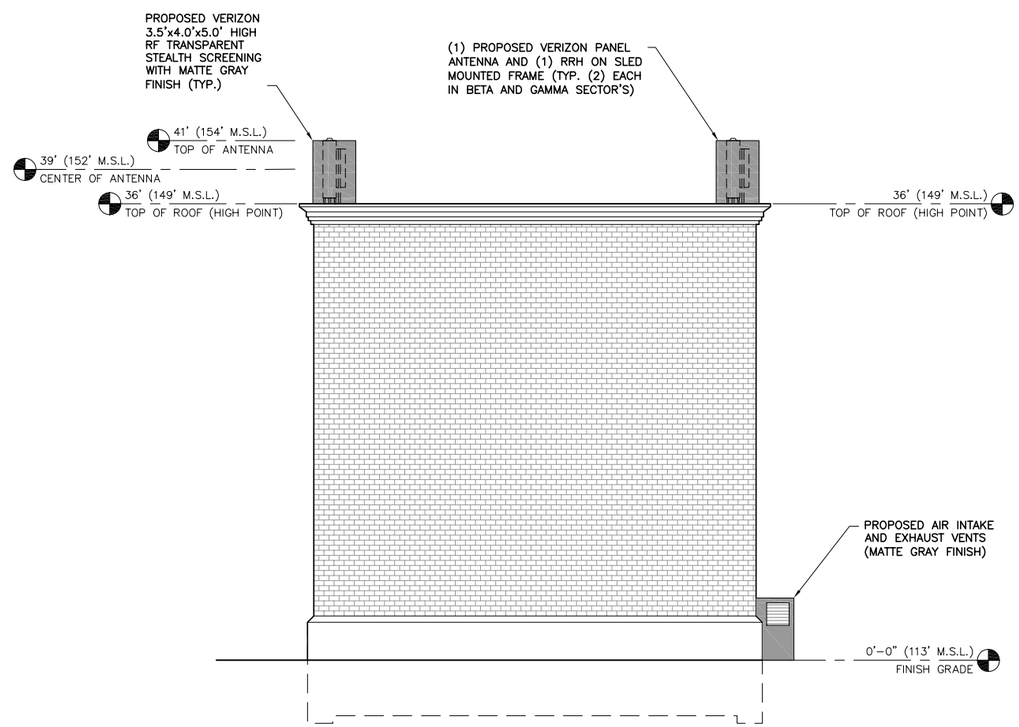


EAST ELEVATION



NORTH ELEVATION

GRAPHIC SCALE

5 0 2.5 5 10 20

(IN FEET)
1 inch = 5 ft. AT 24X36
HALF SIZE AT 11X17

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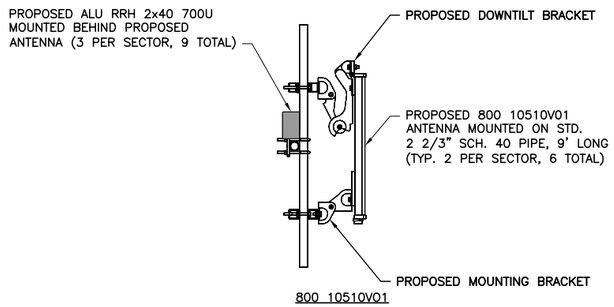
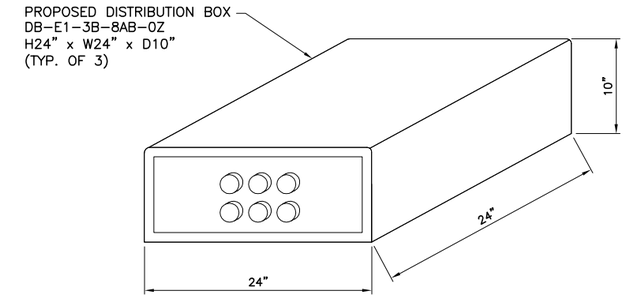


PROPOSED ANTENNA DETAILS
NO TO SCALE

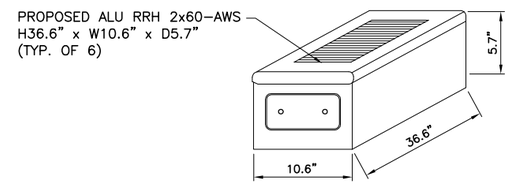
ANTENNA FACIAL SURFACE AREA

800 10510V01:
54.7" X 6.1" = 2.32 SQ. FT. x 6 ANTENNAS = 13.90 SQ. FT

TOTAL AREA: = 13.90 SQ. FT



DISTRIBUTION BOX DETAIL
NOT TO SCALE



RRH DETAILS
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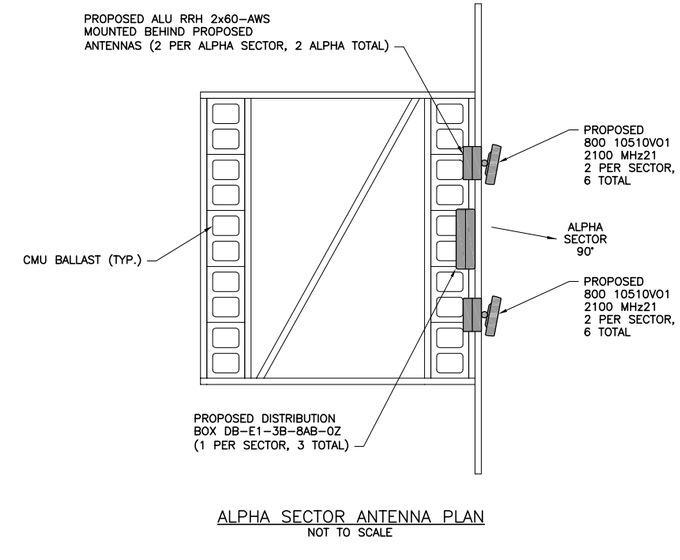

ALPHA SECTOR ANTENNA PLAN
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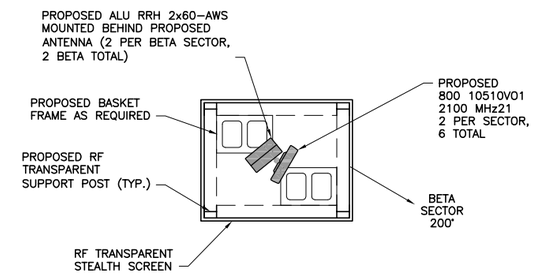

BETA SECTOR ANTENNA PLAN
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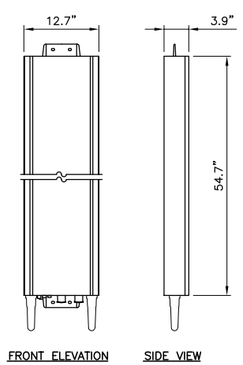

PANEL ANTENNA DETAILS
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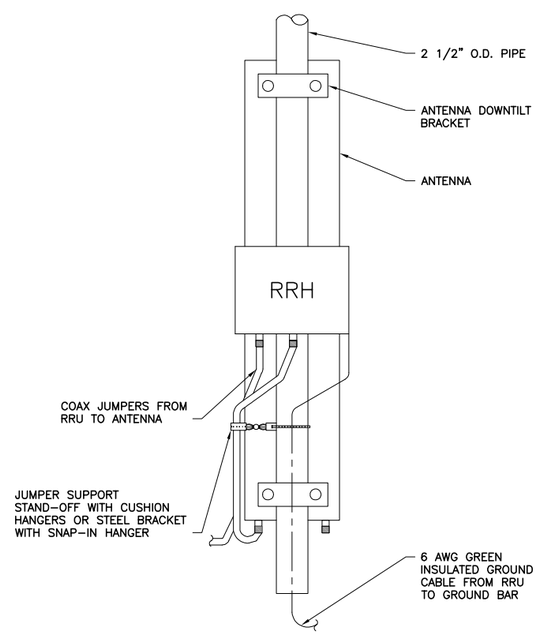

RRH PANEL DETAIL
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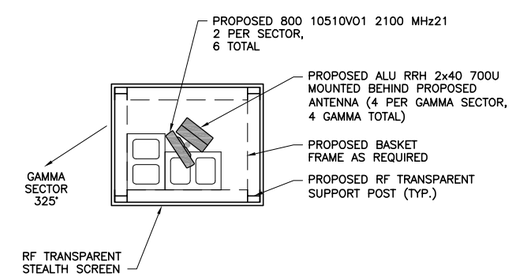

GAMMA SECTOR ANTENNA PLAN
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PROJECT ID: 2013
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Burlington Historic Preservation Review Committee
Certified Local Government Program
Department of Planning and Zoning
149 Church Street
Burlington, Vermont 05401

Steven Offenhartz
Matthew Bushey
Ronald Wanamaker
Sean McKenzie, alternate

Burlingto
Planning and Zoni

April 15, 2015

Nicole Castro
All Points Technology Corporation
3 Saddlebrook Drive
Killingworth, CT 06419

Dear Ms. Castro,

Burlington's Historic Preservation Review Committee ("the Committee"), acting under the authority of the Certifie Local Government Program, a consulting party to the Section 106 Review, reviewed the application of Cellco Partnership/Verizon Wireless to evaluate proposed wireless telecommunications facilities for any adverse effect on the subject property, 86 Lake Street, Burlington Vermont . That meeting occurred April 14, 2015 at City Hall, Burlington Vt.

After reviewing the plans and consulting with the Criteria of Adverse Effect from 36 CFR Part 800, §800.5 as published in the Federal Register, Vol. 64, No. 95/Rules and Regulations, the Committee found with a 2-1 vote that the proposed antenna installation at 86 Lake Street would have an *adverse effect* on the historic property. Specifically, the Committee found the proposal to install antennas at the four rooftop corners and at the rear (east) roof would have a significant visual impact, altering the characteristics of the historic property that qualify the property for inclusion in the National Register.

Despite the photographic visualizations showing the proposed installation hidden behind the foliage of the existing street trees, the Committee felt that the antenna installation would be visible for a large portion of the year. The Committee also noted that the proposed installation would be visible by a large population of people due to the property's proximity to Burlington's Waterfront Park, and that installation of the rooftop antennas as proposed wou diminish the character and integrity of the property's historic features and appearance. The Committee noted that other alterations to the building, such as the replacement or removal of windows, combined with the proposed antenna installation would result in a cumulative effect that diminishes the integrity of the structure, altering characteristics that qualify the property for inclusion on the National Register.

The Committee questioned whether the failure to identify alternative sites, alternative designs, or alternative metho should be used to support a finding of no-adverse effect on this property.

The Committee therefore does not concur with the decision of the Vermont Division for Historic Preservation, date March 9, 2015 and received by the Department of Planning and Zoning via email the same day.

The Committee had no objection to the proposed vents at ground level.

Respectfully,

Mary O'Neil, AICP
Senior Planner
CLG Coordinator

Department of Planning and Zoning
149 Church Street
Burlington, VT 05401
http://www.burlingtonvt.gov/pz
Telephone: (802) 865-7188
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David E. White, AICP, Director
Vacant, Comprehensive Planner
Jay Appleton, Senior GIS/IT Programmer/Analyst
Scott Gustin, AICP, CFM, Interim Administrative Officer
Mary O'Neil, AICP, Senior Planner
Anita Wade, Zoning Clerk
Elsie Tillotson, Department Secretary

MEMORANDUM

To: The Historic Preservation Review Committee
From: Mary O'Neil, AICP, Senior Planner, CLG Coordinator
RE: 131 Main Street, Section 106 Review
Date: July 14, 2015

File: N/A
Location: 131 Main Street
Zone: Downtown Transition
Ward: 3C
Date application accepted: Notice of Section 106 Review, invitation to comment: dated June 23, 2015.
Applicant/ Owner: Investors Partnership of Vermont
Notice received from EBI Consulting, on behalf of A T & T Mobility, LLC.
Request: Section 106 process seeking comments related to the proposed project's potential effect to historic property.

Overview:
To comply with Section 106 of the National Historic Preservation Act (NHPA) of 1966, EBI Consulting, on behalf of AT&T Mobility LLC requests comments related to the proposed projects potential effects on historic property. Vermont House, built in 1910, is listed on the National Register of Historic Places, within the **City Hall Park Historic District**.

Section 106 of the National Historic Preservation Act requires a Federal agency head with jurisdiction over a Federal, federally assisted, or federally licensed undertaking to take into account the effects of the agency's undertaking on property included in or eligible for the National Register of Historic Places.

As a Certified Local Government, Burlington is a consulting party to the Section 106 Review.

This is an existing telecommunications installation location, with 69.8 sf of antenna and RRU equipment on an elevator shaft. The proposal will replace and add equipment, for a total of 100.1 sf. of facial surface area. It is noted on antenna detail plans that these measurements are suggested, but will require refinement upon final calculations.

The programs and services of the City of Burlington are accessible to people with disabilities. For accessibility information call 865-7188 (for TTY users 865-7142).

The HPRC/CLG may make a determination of *No Adverse Effect*, or *Adverse Effect*.

From 36 CFR Part 800, Protection of Historic Properties, §800.5 as published in the Federal Register, Vol. 64, No. 95/Rules and Regulations:

1. *Criteria of Adverse Effect. An adverse effect is found when an undertaking may alter***,** *directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative.*
2. *Examples of adverse effects. Adverse effects on historic properties include, but are not limited to:*
    - *i. Physical destruction of or damage to all or part of the property;*
    - *ii. Alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines;*
    - *iii. Removal of the property from its historic location;*
    - *iv. Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance;*
    - *v. Introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features;*
    - *vi. Neglect….*
    - *vii. Transfer, lease or sale of property out of Federal ownership or control…*

Any comments provided by the HPRC/CLG will be forwarded to the applicant and the State Historic Preservation Office.

EBI Consulting
environmental | engineering | due diligence

21 B Street
Burlington, MA 01803
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June 23, 2015

Burlington Historic Preservation Review Committee
c/o Ms. Mary O'Neil, CLG Coordinator
Department of Planning and Zoning
Burlington City Hall
149 Church Street
Burlington, VT 05401
Phone: (802) 865-7556
Email: mconeil@burlingtonvt.gov

Subject: Invitation to Comment
RCC- Vermont House / VT6455/ FA #10133368
131 Main Street, Burlington, Chittenden County, VT 05401
EBI Project #61150031 40

Dear Ms. O'Neil:

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc. on behalf of AT&T Mobility, LLC, provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached project plans for complete details regarding this proposed project.

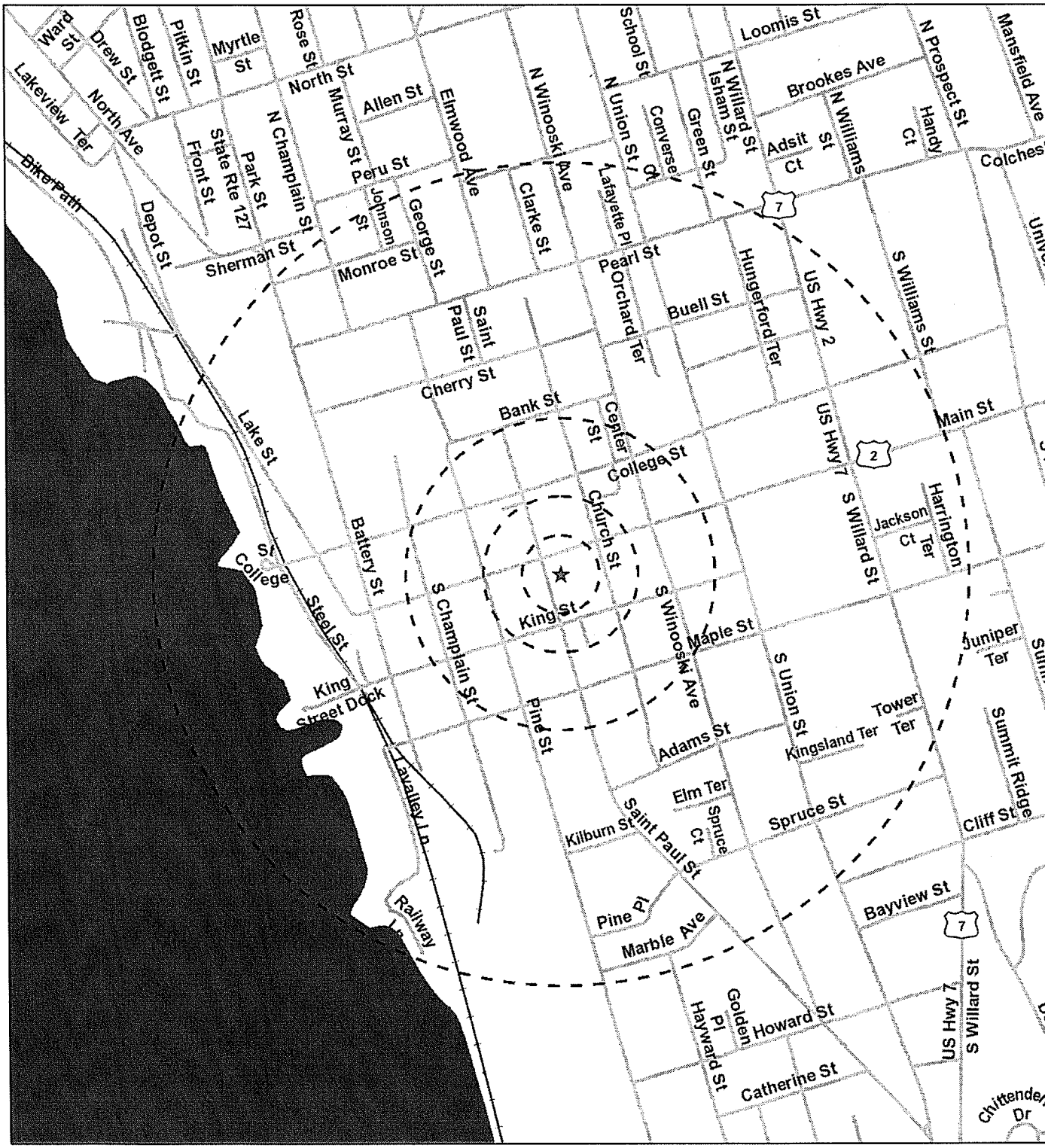
Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at the address noted on the letterhead above, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Respectfully Submitted,

Ms. Britta Fenniman Tonn
Senior Architectural Historian
(802) 522-8259 phone
(781) 425-3619 fax
bfennimantonn@ebiconsulting.com

Attachments - Drawings and Maps



Source: Selecte
ESRI, EBI & US

Legend

★ Project Site

Site Radius at 250', 500', 1000' and ½ mile

Dat

Figure 1: Site Location Map

0 500 1,000 2,000

VT6455 / FA #10133368 RCC - VERMONT HOUSE
131 MAIN STREET
BURLINGTON, VT 05401

PN: 6115003140

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PROJECT SUMMARY

SITE NUMBER:	VT6455
SITE NAME:	RCC-VERMONT HOUSE
SITE ADDRESS:	131 MAIN STREET, BURLINGTON, VT 05401
PROPERTY OWNER:	INVESTORS PARTNERS OF VT 30 MAIN STREET BURLINGTON, VT 05401
MAP #	N/A
PARCEL #	49-3-095-000
AREA OF PARCEL	.39 ACRES
CURRENT LAND USE:	TELECOMMUNICATION FACILITY
APPLICANT:	AT&T MOBILITY 550 COCHITUATE RD, #13 & 14 FRAMINGHAM, MA 01701
CONTACT PERSON:	DAVID COOPER
CONTACT PHONE NO.:	(484) 663-8340

ZONING DISTRICT

DOWNTOWN TRANSITION

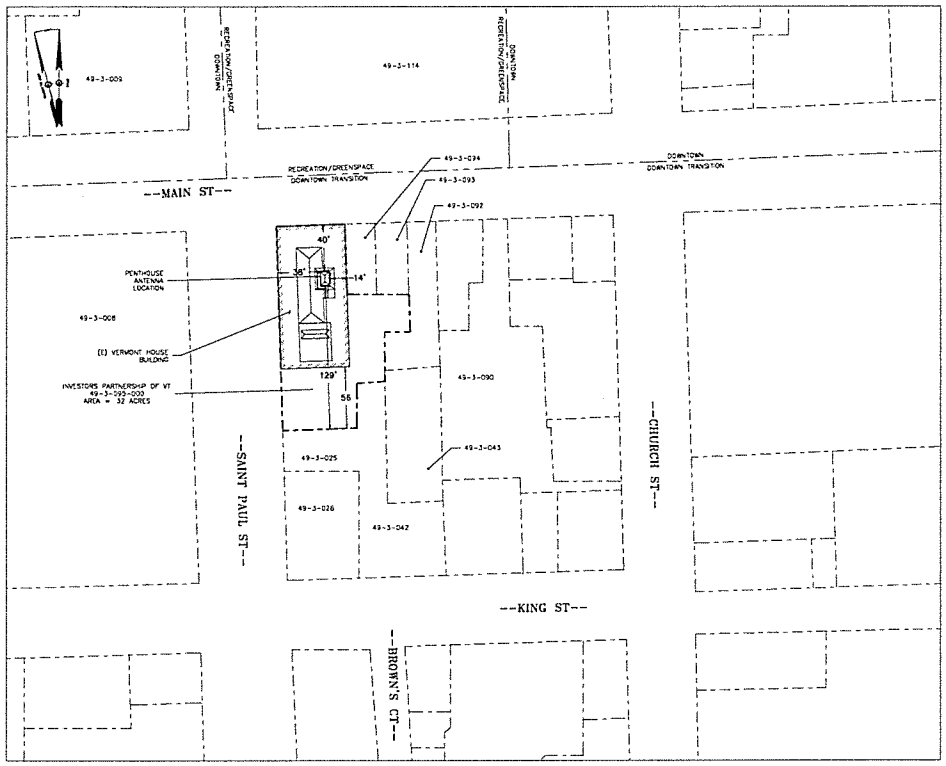
HANDICAP REQUIREMENTS:

FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED.

SETBACK DISTANCE TO PROPERTY BOUNDARIES	
SETBACK DISTANCES FROM STRUCTURE BASE	FRONT=±43', SIDE=±38'/±14' REAR =±129'
SETBACK DISTANCES FROM NEAREST STRUCTURE	FRONT=±12' SIDE=±10'/±10' REAR =±55'

GENERAL NOTES:

1. PROPERTY LINE INFORMATION (WHEN APPLICABLE) WAS PREPARED USING TAX MAPS, AND PLANS OF RECORD AND SHOULD NOT BE CONSTRUED AS A BOUNDARY SURVEY.
2. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
3. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
4. CONNECTION TO ELECTRICAL & TELEPHONE UTILITIES TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANY.
5. SUBCONTRACTOR TO VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION. SEE ANTENNA CONFIGURATION SHEETS FOR SITE SPECIFIC DETAILS.
6. SUBCONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION.
8. THERE ARE NO TOPOGRAPHIC CHANGES BEING PROPOSED UNDER THE CURRENT APPLICATION.
9. NO TREE CLEARING IS PLANNED UNDER THE PROPOSED PROJECT.
10. PROJECT WILL COMPLY WITH THE LOW RISK HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL ISSUED BY THE VERMONT DEPARTMENT OF ENVIRONMENTAL CONSERVATION.



SITE PLAN (1 / 0.3)
SCALE: 1" = 40'-0"

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

VRG
VERTICAL RESOURCES GRP.
489 Washington Street
Auburn, MA 01501
Tel. (508) 981 - 9590
Fax (508) 519 - 8939
mnasky@verticalresourcesgrp.com

EMPIRE telecom
EMPIRE TELECOM USA, LLC
16 ESQUIRE ROAD
BILLERICA, MA 01821

SITE NUMBER: VT6455
SITE NAME: RCC-VERMONT HOUSE
131 MAIN STREET
BURLINGTON, VT 05401
CHITTENDEN COUNTY

at&t Mobility
550 COCHITUATE RD
SUITES 13 & 14
FRAMINGHAM, MA 01701

NO	DATE	REVISION	BY	CHK	APP'D
3	04/13/15	GENERAL REVISIONS	E.L.P.	C.A.M.	
2	04/14/15	GENERAL REVISIONS	E.L.P.	C.A.M.	
1	03/24/15	FOR CONSTRUCTION	E.L.P.	C.A.M.	
0	03/18/15	FOR REVIEW	E.L.P.	C.A.M.	

SCALE | DESIGNED BY | DRAWN BY C.A.M.

AT&T MOBIL

SITE PLAN

JOB NUMBER	DRAWING NUMBER
50-145	03

GENERAL NOTES

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY
   - CONTRACTOR - PRIME CONTRACTOR
   - SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
   - OWNER - AT&T WIRELESS
   - OEM - ORIGINAL EQUIPMENT MANUFACTURER

2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.

3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.

4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE UNLESS OTHERWISE NOTED AND ARE INTENDED TO SHOW OUTLINE ONLY.

5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.

6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.

7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.

8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. ROUTING OF CONDUIT FOR POWER AND TELCO SHALL BE APPROVED BY OWNER OF SITE.

9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.

10. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

11. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.

SITE WORK GENERAL NOTES

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.

2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.

3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.

4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES, TOP SOIL AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.

5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.

6. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.

7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE OWNER SPECIFICATION FOR SITE SIGNAGE.

8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE TRANSMISSION EQUIPMENT AND TOWER AREAS.

9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION, SEE DETAIL 303.

11. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.

12. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL JURISDICTION'S GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

13. ALL EARTH WORK SHALL BE PERFORMED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES.

STRUCTURAL STEEL NOTES:

1. ALL STEEL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A123 (HOT-DIP) UNLESS NOTED OTHERWISE. STRUCTURAL STEEL SHALL BE ASTM-A-36 UNLESS OTHERWISE NOTED ON THE SITE SPECIFIC DRAWINGS. STEEL DESIGN, INSTALLATION AND BOLTING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "MANUAL OF STEEL CONSTRUCTION".

2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.

3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4"Ø) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE. STEEL FASTENER HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 (HOT-DIP)

4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.

5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED EXPANSION BOLTS SHALL BE PROVIDED BY RAMset/REDHEAD, HILTI OR APPROVED EQUAL.

6. ALL STRUCTURAL STEEL SHALL BE SUPPLIED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. A HIGHER STRENGTH (4000 PSI) MAY BE USED.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

   CONCRETE CAST AGAINST EARTH.....3 IN.
   CONCRETE EXPOSED TO EARTH OR WEATHER:

   #6 AND LARGER .....2 INCH
   #5 AND SMALLER & WWF.....1 1/2 INCH

   CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:

   SLAB AND WALL .....3/4 INCH
   BEAMS AND COLUMNS.....1 1/2 INCH

5. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4
6. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD, HILTI OR APPROVED EQUAL.
7. CONCRETE CYLINDER TEST IS NOT REQUIRED FOR SLAB ON GRADE WHEN CONCRETE IS LESS THAN 50 CUBIC YARDS (IBC 1905.9.2.3) IN THAT EVENT THE FOLLOWING RECORDS SHALL BE PROVIDED BY THE CONCRETE SUPPLIER.
   (A) RESULTS OF CONCRETE CYLINDER TESTS PERFORMED AT THE SUPPLIER'S PLANT.

   (B) CERTIFICATION OF MINIMUM COMPRESSIVE STRENGTH FOR THE CONCRETE GRADE SUPPLIED

   FOR GREATER THAN 50 CUBIC YARDS THE QC SHALL PERFORM THE CONCRETE CYLINDER TEST.
8. AS AN ALTERNATIVE TO ITEM 7, TEST CYLINDERS SHALL BE TAKEN INITIALLY AND THEREAFTER FOR EVERY 50 YARDS OF CONCRETE FROM EACH DIFFERENT BATCH PLANT.
9. EQUIPMENT SHALL NOT BE PLACED ON NEW PADS FOR SEVEN DAYS AFTER PAD IS POURED, UNLESS IT IS VERIFIED BY TESTS THAT COMPRESSIVE STRENGTH HAS BEEN ATTAINED
10. ALL CONCRETE SHALL BE SUPPLIED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES.

SOIL COMPACTION NOTES FOR SLAB ON GRADE:

1. EXCAVATE AS REQUIRED TO REMOVE VEGETATION AND TOPSOIL, EXPOSE UNDISTURBED NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
2. COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.
3. AS AN ALTERNATIVE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
4. COMPACTED SUBBASE SHALL BE UNIFORM AND LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100% PASSING 1" SIEVE.
5. AS AN ALTERNATIVE TO ITEMS 2 AND 3 PROOF ROLL THE SUBGRADE SOILS WITH 5 PASSES OF A MEDIUM SIZED VIBRATORY PLATE COMPACTOR (SUCH AS BOMAG BPR 30/36) OR HAND-OPERATED SINGLE DRUM VIBRATORY ROLLER (SUCH AS BOMAG BW 55E). ANY SOFT AREAS THAT ARE ENCOUNTERED SHOULD BE REMOVED AND REPLACED WITH A WELL-GRADED GRANULAR FILL, AND COMPACTED AS STATED ABOVE.
6. COMPACTION CRITERIA FOR OTHER FILL AREAS ON SITE SHALL MEET THE SAME REQUIREMENTS AS NOTED ABOVE.
7. SOIL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES.

COMPACTION EQUIPMENT:

HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING JACK COMPACTOR.

ELECTRICAL INSTALLATION NOTES

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.

2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.

3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.

4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.

5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.

6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.

7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH PERMANENT LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S). NO HAND WRITTEN LABELS ALLOWED.

8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED. NO HAND WRITTEN LABELS ALLOWED.

9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.

10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (SIZE 14 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.

11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (SIZE 6 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.

12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (SIZE 14 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET, LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.

13. ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).

14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.

ELECTRICAL INSTALLATION NOTES

15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETA
(I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 8
SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPO
LOCATIONS

16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONM
(ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHED
BE USED FOR CONCEALED INDOOR LOCATIONS.

17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IN
USED FOR OUTDOOR LOCATIONS ABOVE GRADE.

18. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDUL
PVC SCHEDULE 80) SHALL BE USED UNDERGROUND, DIRECT
AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED
CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.

19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TIGHT
USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS
NEEDED.

20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED O
COMPRESSION-TYPE AND APPROVED FOR THE LOCATION US
FITTINGS ARE NOT ACCEPTABLE.

21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR
ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEE

22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLU
COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE
(OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS,
BETTER) OUTDOORS.

23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOX
BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET S
OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDO
3R (OR BETTER) OUTDOORS

24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL
EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXC
AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOO
PROTECTED (WP OR BETTER) OUTDOORS.

25. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES
EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) IN
WEATHER PROTECTED (WP OR BETTER) OUTDOORS.

26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECE
AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCI
AC POWER DISTRIBUTION PANELS.

27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGS
BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDA
APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINS
PROPERTY.

VRG VERTICAL RESOURCES GRP.
489 Washington Street
Auburn, MA 01501
Tel (508) 981- 9590
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mrobr@verticalresourcesgrp.com

EMPIRE telecom
EMPIRE TELECOM USA, LLC
16 ESQUIRE ROAD
BILLERICA, MA 01821

SITE NUMBER: VT6455
SITE NAME: RCC-VERMONT HOUSE
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CHITTENDEN COUNTY

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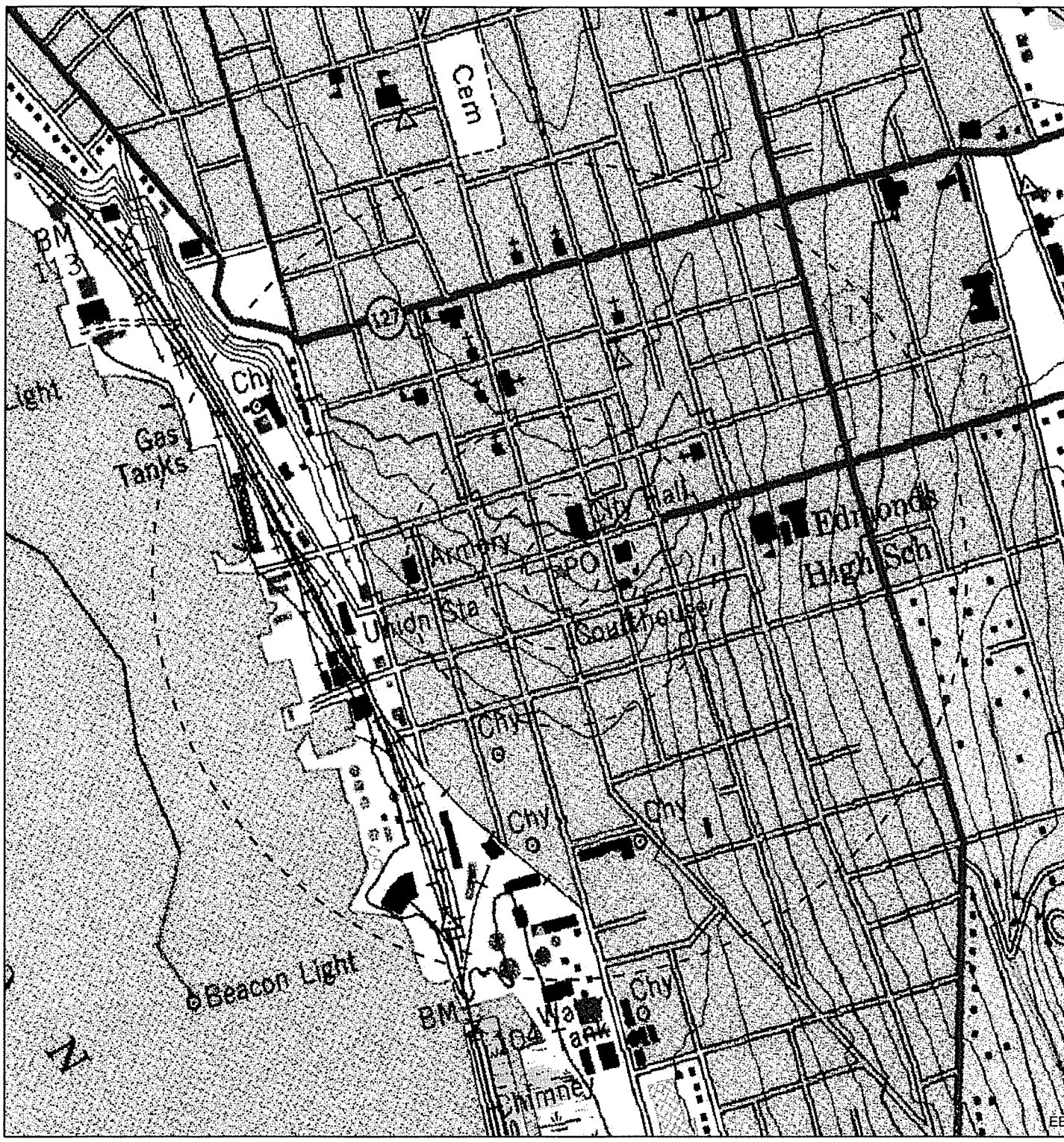
SCALE: DESIGNED BY: M.N. DRAWN BY: G.A.M.

AT&T MOBIL

NOTES

JOB NUMBER	DRAWING NUMBER
50-145	02



Source: Selected d
ESRI, EBI & USGS

Legend

★ Project Site

Site Radius at 250', 500', 1000' and ½ mile

USGS 24K Quad: Burlington, VT 1973

Date: 6/19

0 500 1,000 2,000 3,

Figure 2 - Topographic Map

VT6455 / FA #10133368 RCC - VERMONT HOUSE
131 MAIN STREET
BURLINGTON, VT 05401

PN: 6115003140

EBI Consulti
environmental | engineering | due d

PROJECT INFORMATION

SCOPE OF WORK	UNMANNED COMMUNICATIONS FACILITY MODIFICATIONS INCLUDING THE REPLACEMENT OF THREE EXISTING PANELS WITH NEW OCTOPORT PANELS, THE ADDITION OF SIX NEW RRU UNITS, REPLACEMENT OF THREE SURGE ARRESTORS.
SITE NUMBER:	VT6455
SITE NAME:	RCC-VERMONT HOUSE
SITE ADDRESS:	131 MAIN STREET BURLINGTON, VT 05401
PROPERTY OWNER:	INVESTORS PARTNERSHIP OF VT 30 MAIN STREET BURLINGTON, VT 05401
APPLICANT:	AT&T MOBILITY 550 COCHITUATE RD SUITES 13 & 14 FRAMINGHAM, MA 01701
CONTACT:	TEL 866-915-5600
COORDINATES	LAT. N44° 28' 32.189" LONG. W73° 12' 49.14"
HEIGHT OF BUILDING:	±102'
AT&T ANTENNA CENTERLINE:	±97'
SITE PARCEL NO.	49-3-095-000
CURRENT ZONING:	DOWNTOWN TRANSITION
HORIZONTAL DATUM:	(NAD) 1983

at&t Mobility

SITE NUMBER: VT6455
SITE NAME: RCC- VERMONT HOUSE

DRAWING INDEX

		REV
01	TITLE SHEET	2
02	NOTES	2
03	SITE PLAN	2
04	ANTENNA DETAILS	2
05	ROOF PLAN & EQUIPMENT PLAN	2
06	ELEVATION VIEW	2
07	ANTENNA LAYOUT & DETAILS	2
08	GROUNDING DETAILS & PLUMBING DIAGRAM	2

DIG SAFE 1-888-DIG-SAFE

AT LEAST 72 HOURS PRIOR TO DIGGING, THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT 1-888-DIG-SAFE

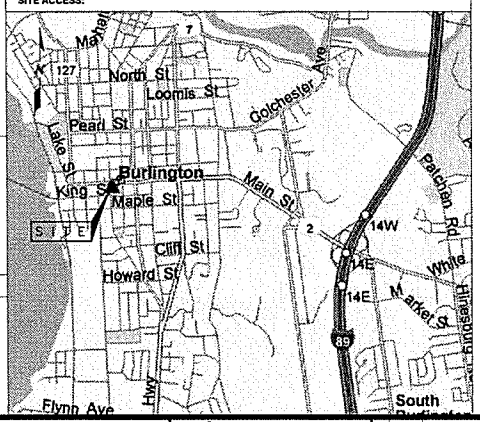
CONTACT & UTILITY INFORMATION

CONTACT	CONTACT	COMPANY	PHONE NO.
ENGINEERING:	MIQUEL MOBRE	VRG	(508) 981-9590
SITE ACQUISITION:	DAVID COOPER	EMPIRE	(484) 683-5349
CONSTRUCTION:	BILL DANIELS	EMPIRE	(484) 683-5349
UTILITIES			
POWER:	WORK REQUEST GROUP	NATIONAL GRID	(800) 375-7405
TELCO:		VERIZON	(800) 941-9900

LOCATION MAP

DIRECTIONS: FROM BOSTON TAKE I-93 NORTH TO I-89 EXIT 14W, CONTINUE WEST ON MAIN STREET TO 131 MAIN STREET

SITE ACCESS:



APPLICABLE BUILDING CODES AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH PROJECT STANDARDS AND SPECIFICATIONS. SUBCONTRACTOR WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCA AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CON AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE:
VERMONT BUILDING CODE LATEST EDITION

ELECTRICAL CODE:
NATIONAL ELECTRICAL CODE LATEST EDITION
SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS.
AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTU CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION NINTH EDITION
AMERICAN NATIONAL STANDARDS INSTITUTE/TELECOMMUNICATIONS INDUSTRY ASSOCIATION (222-G AS APPLICABLE, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTE SUPPORTING STRUCTURES.
TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURI RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTE
IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECT EQUIPMENT

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POW CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS

ANSI T1.311, FOR TELECOM – DC POWER SYSTEMS – TELECOM, ENVIRONMENTAL PROT

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIRE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A S REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

VRG
VERTICAL RESOURCES GRP.
489 Washington Street
Auburn, MA 01501
Tel (508) 981- 9590
Fax (508) 519 - 8939
mobre@vertical-resources-grp.com

EMPIRE telecom
EMPIRE TELECOM USA, LLC
16 ESQUIRE ROAD
BILLERICA, MA 01821

SITE NUMBER: VT6455
SITE NAME: RCC-VERMONT HOUSE
131 MAIN STREET
BURLINGTON, VT 05401
CHITTENDEN COUNTY

at&t Mobility
550 COCHITUATE RD
SUITES 13 & 14
FRAMINGHAM, MA 01701

NO	DATE	REVISION	BY	CHK	APP'D
4	04/13/15	GENERAL REVISIONS	ELP	GAM	
3	04/14/15	GENERAL REVISIONS	ELP	GAM	
2	03/24/15	FOR CONSTRUCTION	ELP	GAM	
1	03/18/15	FOR REVIEW	ELP	GAM	

SCALE | DESIGNED BY M.N. | DRAWN BY G.A.M.

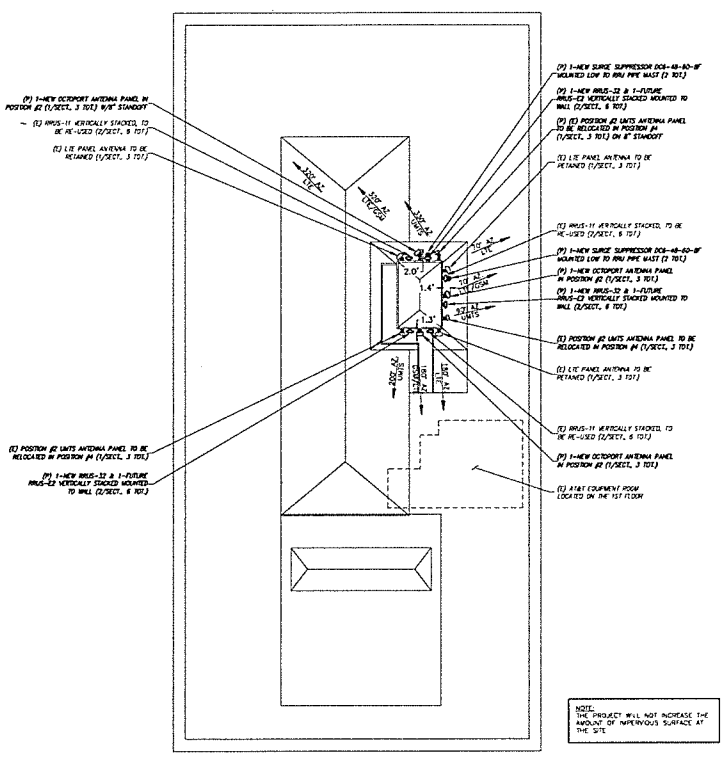
AT&T MOB

TITLE SHE

JOB NUMBER	DRAWING NUMBER
50-145	01

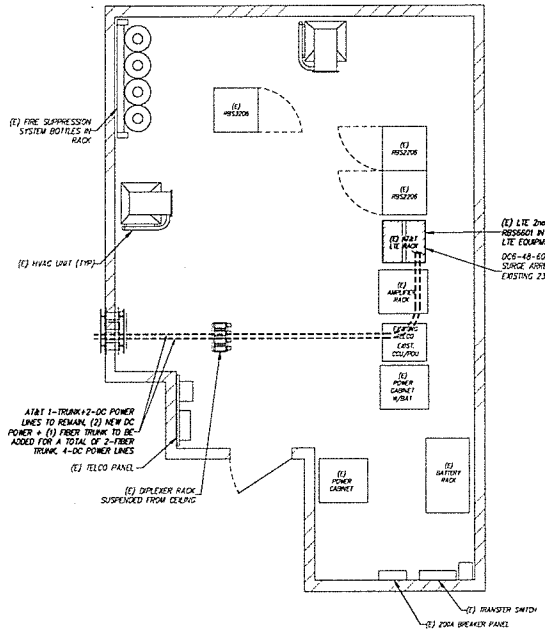
GENERAL NOTES

1. THE TYPE, DIMENSIONS, MOUNTING HARDWARE, AND THE POSITIONS OF ALL EQUIPMENT IN THE COMPOUND ARE SHOWN IN ILLUSTRATIVE FASHION. THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. ACTUAL HARDWARE DETAILS AND FINAL LOCATIONS MAY DIFFER SLIGHTLY FROM WHAT IS SHOWN.
2. THE CELLULAR INSTALLATION IS AN UNMANNED PRIVATE AND SECURED COMPOUND. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
3. CONSTRUCTION, MAINTENANCE & OPERATION OF PROPOSED TOWER FACILITY WILL BE HELD IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE & FEDERAL REGULATIONS AND GUIDELIN



COMPOUND PLAN (1/01)
SCALE: 1" = 8'

GRAPHIC SCALE
(IN FEET)
1 inch = 8 ft.



EQUIPMENT PLAN (2/05)
SCALE: 1" = 2'

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mrobertson@verticalresgrp.com

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15 ESQUIRE ROAD
BILLERICA, MA 01821

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at&t Mobility
550 COCHITUATE RD
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FRAMINGHAM, MA 01701

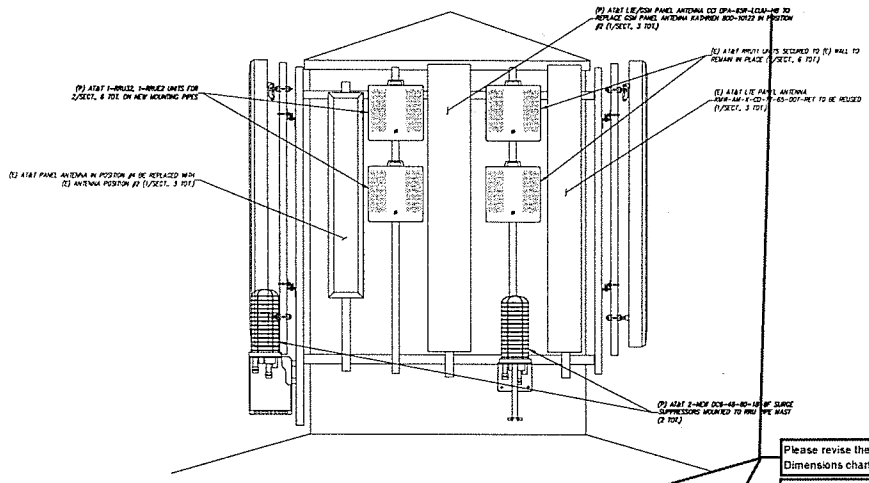
NO.	DATE	REVISION	BY	CHK	APPD
4	04/13/15	GENERAL REVISIONS	C.L.P.	C.A.M.	
3	04/14/15	GENERAL REVISIONS	C.L.P.	C.A.M.	
2	03/24/15	FOR CONSTRUCTION	C.L.P.	C.A.M.	
1	03/18/15	FOR REVIEW	C.L.P.	C.A.M.	

SCALE: DESIGNED BY: M.N. DRAWN BY: C.A.M.

AT&T MOBILI

ROOF PLAN & EQUIPM

JOB NUMBER	DRAWING NUMBER
33-145	05



ANTENNA MOUNTING VIEW (1/04)
SCALE: 1" = 1'-0"

Please revise the proposed antennas in the Project In
Dimensions chart to reflect the correct model and mea

Once the proposed antenna information and dimensions are corrected, please revise the calculations as necessary.

EXISTING ANTENNA SCHEDULE

SECTOR	POSITION	MODEL	SIZE
ALPHA	#1	KWW AW-X-CW-17-65-001-RET	96"x11.8"x6"
ALPHA	#2	KATHREIN 800-10122	75"x10.3"x5.9"
ALPHA	#3	---	---
ALPHA	#4	KATHREIN 800-10122	75"x10.3"x5.9"
BETA	#1	KWW AW-X-CW-16-65-001-RET	72"x11.8"x6"
BETA	#2	KATHREIN 800-10122	75"x10.3"x5.9"
BETA	#3	---	---
BETA	#4	KATHREIN 800-10122	75"x10.3"x5.9"
GAMMA	#1	KWW AW-X-CW-17-65-001-RET	96"x11.8"x6"
GAMMA	#2	KATHREIN 800-10122	75"x10.3"x5.9"
GAMMA	#3	---	---
GAMMA	#4	KATHREIN 800-10122	75"x10.3"x5.9"

PROPOSED ANTENNA SCHEDULE

SECTOR	POSITION	MODEL	SIZE
ALPHA	#1	KWW AW-X-CW-17-65-001-RET	96"x11.8"x6"
ALPHA	#2	CO DPA-65R-LCUU-H8	92.7"x14.4"x7.0"
ALPHA	#3	---	---
ALPHA	#4	KATHREIN 800-10122	75"x10.3"x5.9"
BETA	#1	KWW AW-X-CW-16-65-001-RET	72"x11.8"x6"
BETA	#2	CO DPA-65R-LCUU-H8	92.7"x14.4"x7.0"
BETA	#3	---	---
BETA	#4	KATHREIN 800-10122	75"x10.3"x5.9"
GAMMA	#1	KWW AW-X-CW-17-65-001-RET	96"x11.8"x6"
GAMMA	#2	CO DPA-65R-LCUU-H8	92.7"x14.4"x7.0"
GAMMA	#3	---	---
GAMMA	#4	KATHREIN 800-10122	75"x10.3"x5.9"

PROJECT INFORMATION & DIMENSIONS

	EXISTING	PROPOSED	NET INCREASE
SURFACE AREA OF THE FRONT FACE OF THE AT&T EQUIPMENT ON THE SUPPORT STRUCTURE	ANTENNAS: KATHREIN 800-10122 = 6x75"x10.3" = 32.2 SqFt KWW AW-X-CD-17-65-001-RET = 2x96"x11.8" = 15.7 SqFt KWW AW-X-CD-16-65-001-RET = 1x72"x11.8" = 5.9 SqFt RRU UNITS ERICSSON RRU-11 = 6x19.7"x17" = 13.9 SqFt SURGE SUPPRESSOR RAYCAP DC2-48-60-0-8C = 3x10.25"x10.25" = 2.18 SqFt TOTAL EXISTING FACIAL SURFACE AREA = 69.8 SqFt	ANTENNAS: KATHREIN 800-10122 = 3x75"x10.3" = 161 SqFt KWW AW-X-CD-17-65-001-RET = 2x96"x11.8" = 15.7 SqFt KWW AW-X-CD-16-65-001-RET = 1x72"x11.8" = 5.9 SqFt CO HPA-65R-BU-H8 = 3x92"x14.4" = 29.3 SqFt TOTAL ANTENNA PANELS = 161.9 SqFt RRU UNITS ERICSSON RRU-11 = 6x19.7"x17" = 13.9 SqFt ERICSSON RRU-32 = 3x29.9"x13.2" = 8.3 SqFt ERICSSON RRU-12 = 3x24.4"x13.2" = 7.8 SqFt TOTAL RRU UNITS = 30.1 SqFt SURGE SUPPRESSOR RAYCAP DC6-48-60-18 = 2x24"x13" = 4.0 SqFt TOTAL PROPOSED FACIAL SURFACE AREA = 196.1 SqFt	TOTAL EXISTING FACIAL SURFACE AREA = 69.8 SqFt TOTAL PROPOSED FACIAL SURFACE AREA = 196.1 SqFt NET INCREASE IN FACIAL SURFACE AREA = 126.3 SqFt
MAX VERTICAL EXTENSION FROM SUPPORT STRUCTURE	0 Ft	0 Ft	0 Ft
MAX HORIZONTAL EXTENSION FROM SUPPORT STRUCTURE	1'-8"	2'-0"	0 Ft
IMPERVIOUS SURFACE ADDED TO SITE	N/A	0 SqFt	0 SqFt

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4	04/13/15	GENERAL REVISIONS	C.L.P.	G.A.W.	
3	04/14/15	GENERAL REVISIONS	C.L.P.	G.A.W.	
2	03/24/15	FOR CONSTRUCTION	C.L.P.	G.A.W.	
1	03/18/15	FOR REVIEW	C.L.P.	G.A.W.	

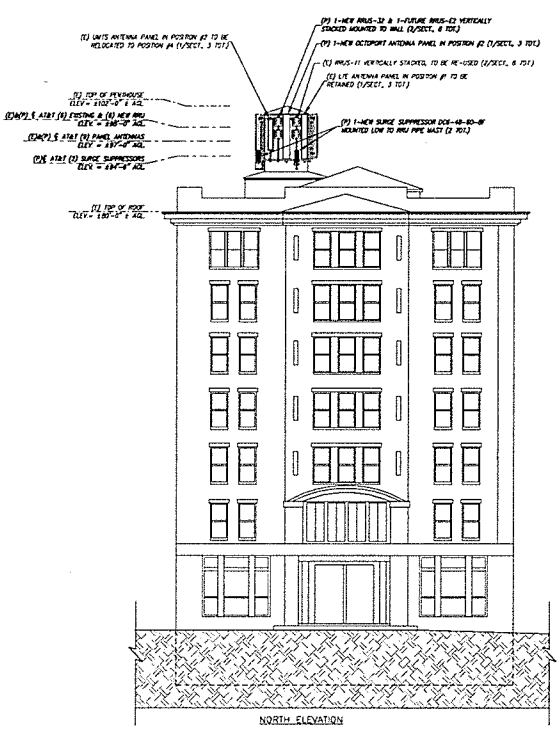
SCALE: | DESIGNED BY: M.N. | DRAWN BY: G.A.W.

AT&T MOBIL

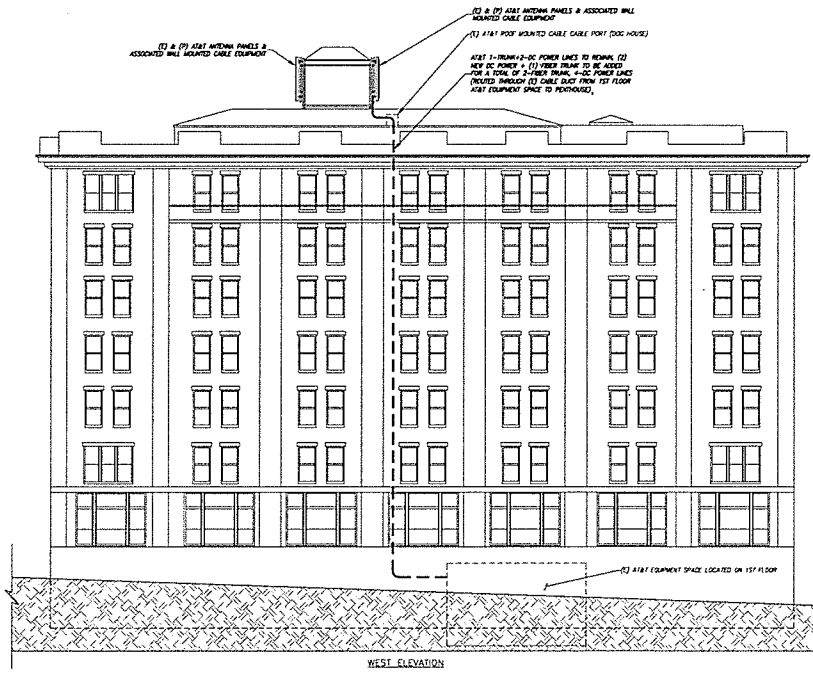
ANTENNA DETA

JOB NUMBER	DRAWING NUMBER
50-145	04

NOTES:
STRUCTURAL ANALYSIS TO DETERMINE STRUCTURES CAPACITY TO SUPPORT PROPOSED ANTENNAS SHALL BE DONE BY OTHERS



NORTH ELEVATION



WEST ELEVATION

ELEVATION VIEW (1 / 06)
SCALE: 1" = 6'

GRAPHIC SCALE
(IN FEET)
1 inch = 6 ft.

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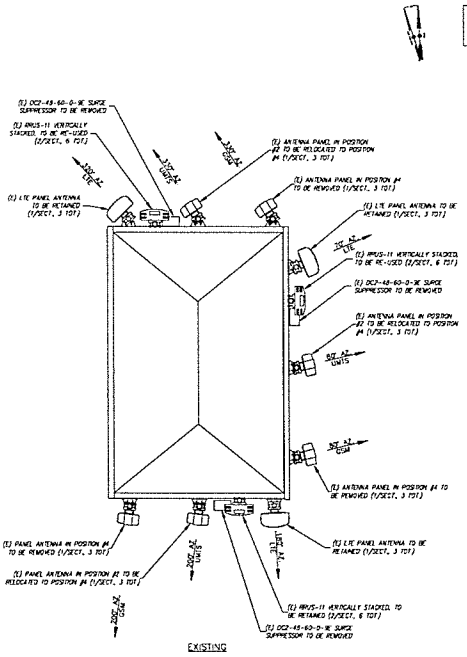
4	04/15/15	GENERAL REVISIONS	C.L.P.	G.A.W.	
3	04/14/15	GENERAL REVISIONS	C.L.P.	G.A.W.	
2	03/24/15	95% CONSTRUCTION	C.L.P.	G.A.W.	
1	03/18/15	FOR REVIEW	C.L.P.	G.A.W.	

SCALE | DESIGNED BY: M.R. | DRAWN BY: G.A.W.

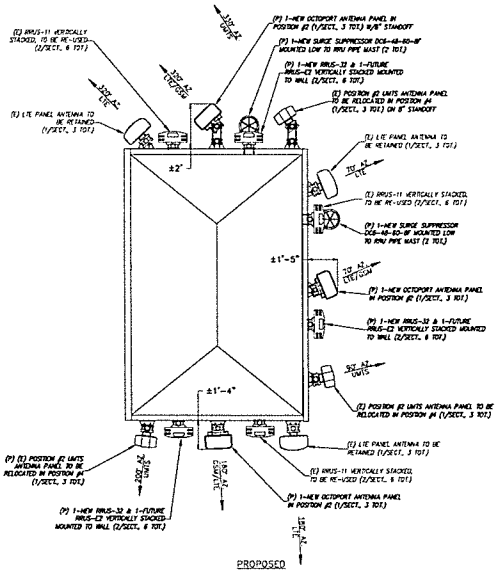
AT&T MOBILITY
ELEVATION VIEW

JOB NUMBER	DRAWING NUMBER
50-145	06

NOTES
REFER TO FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS AND CONFIGURATIONS

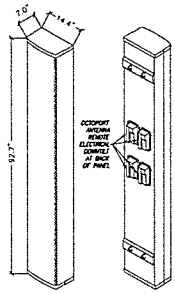


EXISTING



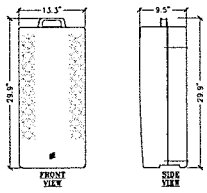
PROPOSED

ANTENNA MOUNTING PLAN VIEW (1/07)
SCALE: N.T.S.



OCTO PORT ANTENNA & RET DETAIL (2/07)
SCALE: N.T.S.

RAYCAP SURGE SUPPRESSOR DC64860
SCALE: N.T.S.



PROPOSED ERICSSON DUAL PA RRH (4/07)
SCALE: N.T.S.

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mrsaxe@verticalresourcesgrp.com

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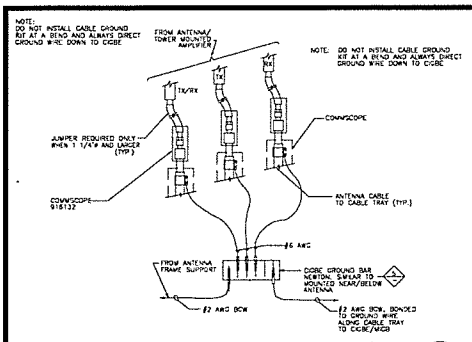
NO.	DATE	REVISION	BY	CHK	APP'D
A	04/13/15	GENERAL REVISIONS	E.L.P.	G.A.M.	
A	04/14/15	GENERAL REVISIONS	E.L.P.	G.A.M.	
A	03/24/15	FOR CONSTRUCTION	E.L.P.	G.A.M.	
A	03/18/15	FOR REVIEW	E.L.P.	G.A.M.	

SCALE | DESIGNED BY: W.N. | DRAWN BY: G.A.M.

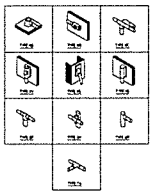
AT&T MOBI

ANTENNA LAYOUT

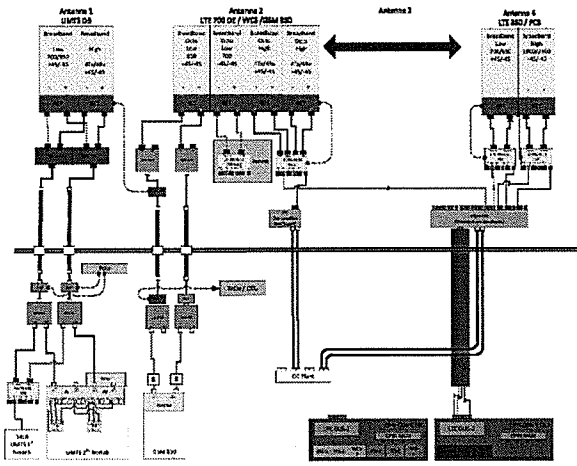
JOB NUMBER	DRAWING NUMBER
50-145	07



CONNECTION OF GROUND WIRES TO GROUNDING BAR (CIGBE) 1/08
SCALE: N.T.S.

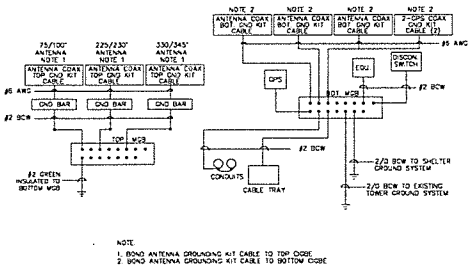


GROUNDING CONNECTION DETAIL 2/08
SCALE: N.T.S.



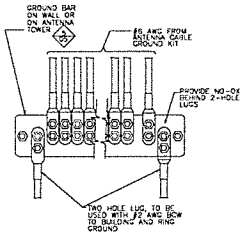
NOTE:
1. CONTRACTOR TO CONFIRM ALL PARTS
2. INSTALL ALL EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS

PLUMBING DIAGRAM 3/08
SCALE: N.T.S.



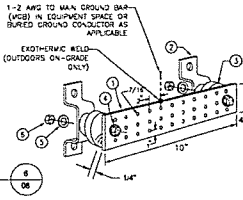
NOTE:
1. BOND ANTENNA GROUNDING KIT CABLE TO TOP CIGBE
2. BOND ANTENNA GROUNDING KIT CABLE TO BOTTOM CIGBE

SCHEMATIC GROUNDING DIAGRAM 4/08
SCALE: N.T.S.



INSTALLATION OF GROUND WIRE TO GROUND BAR 5/08
SCALE: N.T.S.

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C. OR APPROVED EQUAL			
ITEM	REQ.	PART NO.	DESCRIPTION
1	1	1/4"x4"x12"	PRE DRILLED GND. BAR
2	2	A-6056	WALL MTG. BRKT.
3	2	3061-4	INSULATORS
4	2	3012-13	5/8"-11x4" H.H.C.S.
5	4	3015-5	5/8 LOCKWASHER
6	2	3014-8	5/8"-11 HEX NUT



GROUND BAR DETAIL 6/08
SCALE: N.T.S.

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BILLERICA, MA 01821

SITE NUMBER: VT6455
SITE NAME: RCC-VERMONT HOUSE
131 MAIN STREET
BURLINGTON, VT 05401
CHITTENDEN COUNTY

at&t Mobility
550 COCHITUATE RD
SUITES 13 & 14
FRAMINGHAM, MA 01701

NO.	DATE	REVISION	BY	CHK	APPD
4	04/15/15	GENERAL REVISIONS	E.L.P.	G.A.M.	
3	04/14/15	GENERAL REVISIONS	E.L.P.	G.A.M.	
2	03/24/15	FOR CONSTRUCTION	E.L.P.	G.A.M.	
1	03/18/15	FOR REVIEW	E.L.P.	G.A.M.	

SCALE | DESIGNED BY: M.N. | DRAWN BY: G.A.M.

AT&T MOBILITY

GROUNDING DETAILS
PLUMBING DIAGRAM

JOB NUMBER	DRAWING NUMBER
50-145	08

Department of Planning and Zoning
149 Church Street
Burlington, VT 05401
http://www.burlingtonvt.gov/pz
Telephone: (802) 865-7188
(802) 865-7195 (FAX)

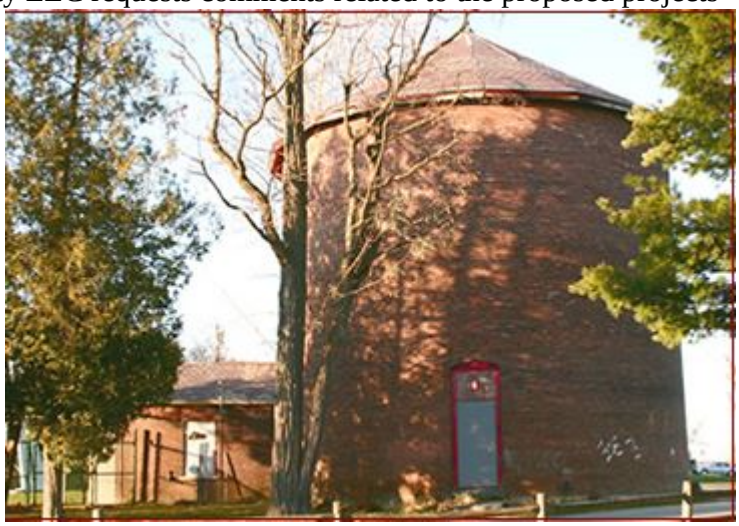
David E. White, AICP, Director
Vacant, Comprehensive Planner
Jay Appleton, Senior GIS/IT Programmer/Analyst
Scott Gustin, AICP, CFM, Interim Administrative Officer
Mary O'Neil, AICP, Senior Planner
Anita Wade, Zoning Clerk
Elsie Tillotson, Department Secretary

MEMORANDUM

To: The Historic Preservation Review Committee
From: Mary O'Neil, AICP, Senior Planner, CLG Coordinator
RE: Address provided as 720 South Prospect Street, Section 106 Review
Date: July 14, 2015

File: N/A
Location: 720 South Prospect St.
Zone: Institutional (Not *Industrial*, as noted in submission.) **Ward**: 1
Date application accepted: Notice of Section 106 Review, invitation to comment received June 25, 2015.
Applicant/ Owner: City of Burlington Water/Wastewater Dept.
Notice received from EBI Consulting, on behalf of A T & T Mobility, LLC.
Request: Section 106 process seeking comments related to the proposed project's potential effect to historic properties.

Overview:
To comply with Section 106 of the National Historic Preservation Act (NHPA) of 1966, EBI Consulting, on behalf of AT&T Mobility LLC requests comments related to the proposed projects potential effects on historic property. Two resources within the **Redstone Historic District**, on the National Register of Historic Places, are involved in the application: An elevated High Service Water Tank (1934-35) and a brick High Service Water Tower, (1880-81, 1890-91.) Antennas and RRUs are currently mounted on the former. An equipment room is within the latter.



Section 106 of the National Historic Preservation Act requires a Federal agency head with jurisdiction over a Federal, federally assisted, or federally licensed undertaking to take into account the effects of the agency's undertaking on property included in or eligible for the National Register of Historic Places.

As a Certified Local Government, Burlington is a consulting party to the Section 106 Review.

This is an existing telecommunications installation location, with 55.2 sf. of antennas and RRU units on the facial surface area of Elevated High Service Water Tank. (1934-35) The project proposes a replacement antenna in position #2, with a larger Octoport panel antenna and replacement surge

The programs and services of the City of Burlington are accessible to people with disabilities. For accessibility information call 865-7188 (for TTY users 865-7142).

suppressors mounted at the base of the support pipe. No new equipment is identified for the older brick water tower.

The HPRC/CLG may make a determination of *No Adverse Effect*, or *Adverse Effect* on the involved historic properties.

From 36 CFR Part 800, Protection of Historic Properties, §800.5 as published in the Federal Register, Vol. 64, No. 95/Rules and Regulations:

1. ***Criteria of Adverse Effect***. *An adverse effect is found when an undertaking may alter***,** *directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative.*
2. *Examples of adverse effects. Adverse effects on historic properties include, but are not limited to:*
    - *i. Physical destruction of or damage to all or part of the property;*
    - *ii. Alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines;*
    - *iii. Removal of the property from its historic location;*
    - *iv. Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance;*
    - *v. Introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features;*
    - *vi. Neglect….*
    - *vii. Transfer, lease or sale of property out of Federal ownership or control…*

Any comments provided by the HPRC/CLG will be forwarded to the applicant and the State Historic Preservation Office.

EBI Consulting
environmental | engineering | due diligence

21 B Street
Burlington, MA 01803
Tel: (781) 273-2500
Fax: (781) 273-3311
www.ebiconsulting.com

RECEIVED
JUN 25 2015
DEPARTMENT OF
PLANNING & ZONING

June 22, 2015

Burlington Historic Preservation Review Committee
c/o Ms. Mary O'Neil, CLG Coordinator
Department of Planning and Zoning
Burlington City Hall
149 Church Street
Burlington, VT 05401
Phone: (802) 865-7556
Email: mconeil@burlingtonvt.gov

Subject: Invitation to Comment
Redstone / VT6446 / FA #10133359
720 South Prospect Street, Burlington, Chittenden County, VT
EBI Project #6115003138

Dear Ms. O'Neil:

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc. on behalf of AT&T Mobility, LLC provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached project plans for complete details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at the address noted on the letterhead above, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Respectfully Submitted,

Ms. Britta Fenniman Tonn
Senior Architectural Historian
(802) 522-8259 phone
(781) 425-3619 fax
bfennimantonn@ebiconsulting.com

Attachments - Drawings and Maps

Source: Selecte
ESRI, EBI & US

Legend

★ Project Site

Site Radius at 250', 500', 1000' and ½ mile

USGS 24K Quad: Burlington, VT 1973

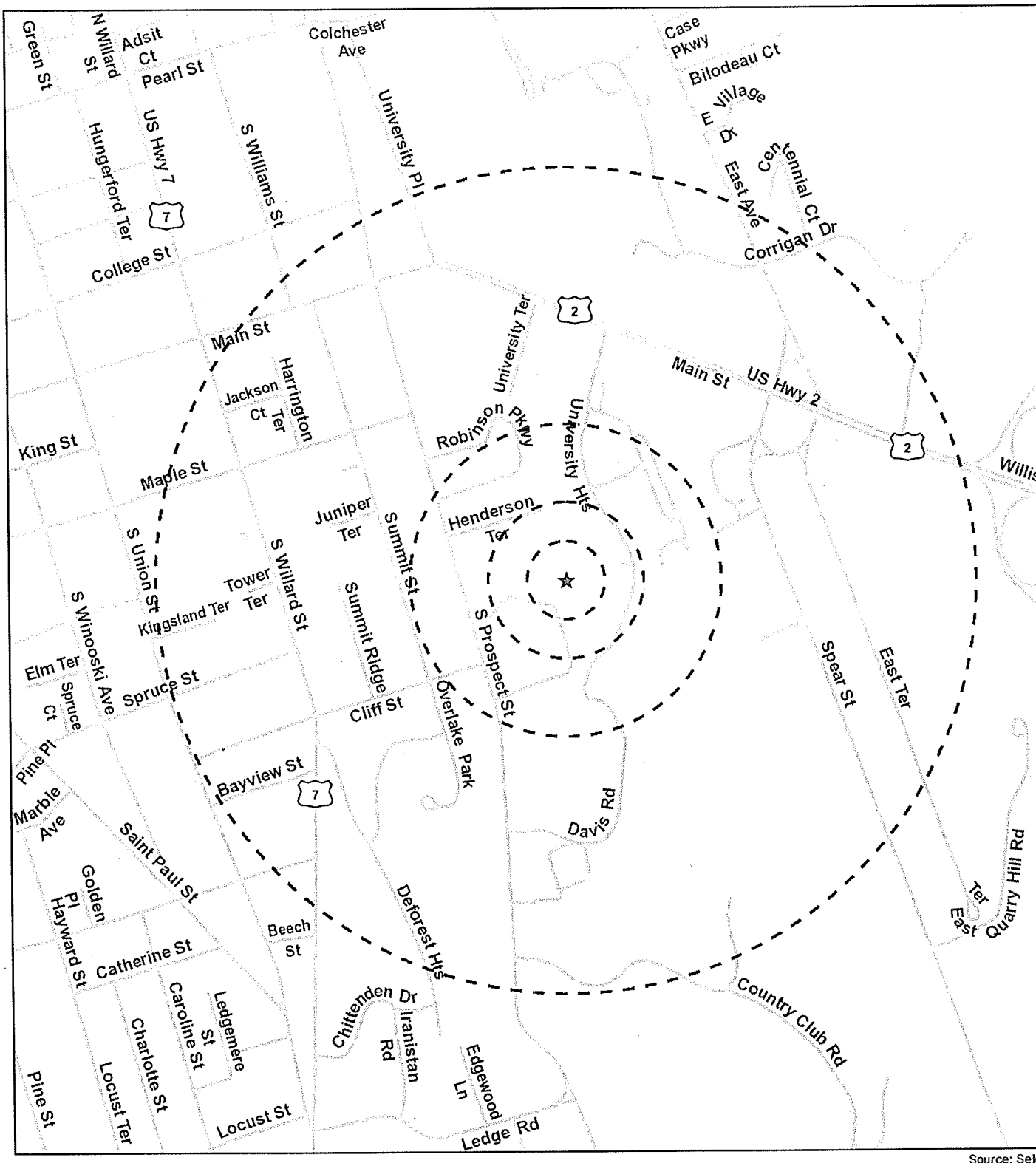
Date: 6

0 500 1,000 2,000

Figure 2 - Topographic Map

VT6446 / FA #10133359 REDSTONE
720 SOUTH PROSPECT STREET
BURLINGTON, VT 05401

EBI Consult



Source: Sel
ESRI, EBI &

Legend

★ Project Site

Site Radius at 250', 500', 1000' and ½ mile

Figure 1: Site Location Map

0 500 1,000 2,000

VT6446 / FA #10133359 REDSTONE
720 SOUTH PROSPECT STREET
BURLINGTON, VT 05401

EBI Consu

PROJECT SUMMARY

SITE NUMBER:	VT6446
SITE NAME:	REDSTONE
SITE ADDRESS:	720 SOUTH PROSPECT STREET
PROPERTY OWNER:	CITY DPW WATER/WASTEWATER DEPT. PO BOX 878, 234 PENNY LANE BURLINGTON, VT 05401
MAP #	N/A
PARCEL #	050 - 4 - 099 - 000
AREA OF PARCEL	0.32 ACRES
CURRENT LAND USE:	INDUSTRIAL
APPLICANT:	AT&T MOBILITY 550 COCHITUATE RD, #13 & 14 FRAMINGHAM, MA 01701
CONTACT PERSON:	DAVID COOPER
CONTACT PHONE NO.:	(484) 683-5349

ZONING DISTRICT

CITY OF BURLINGTON: INDUSTRIAL

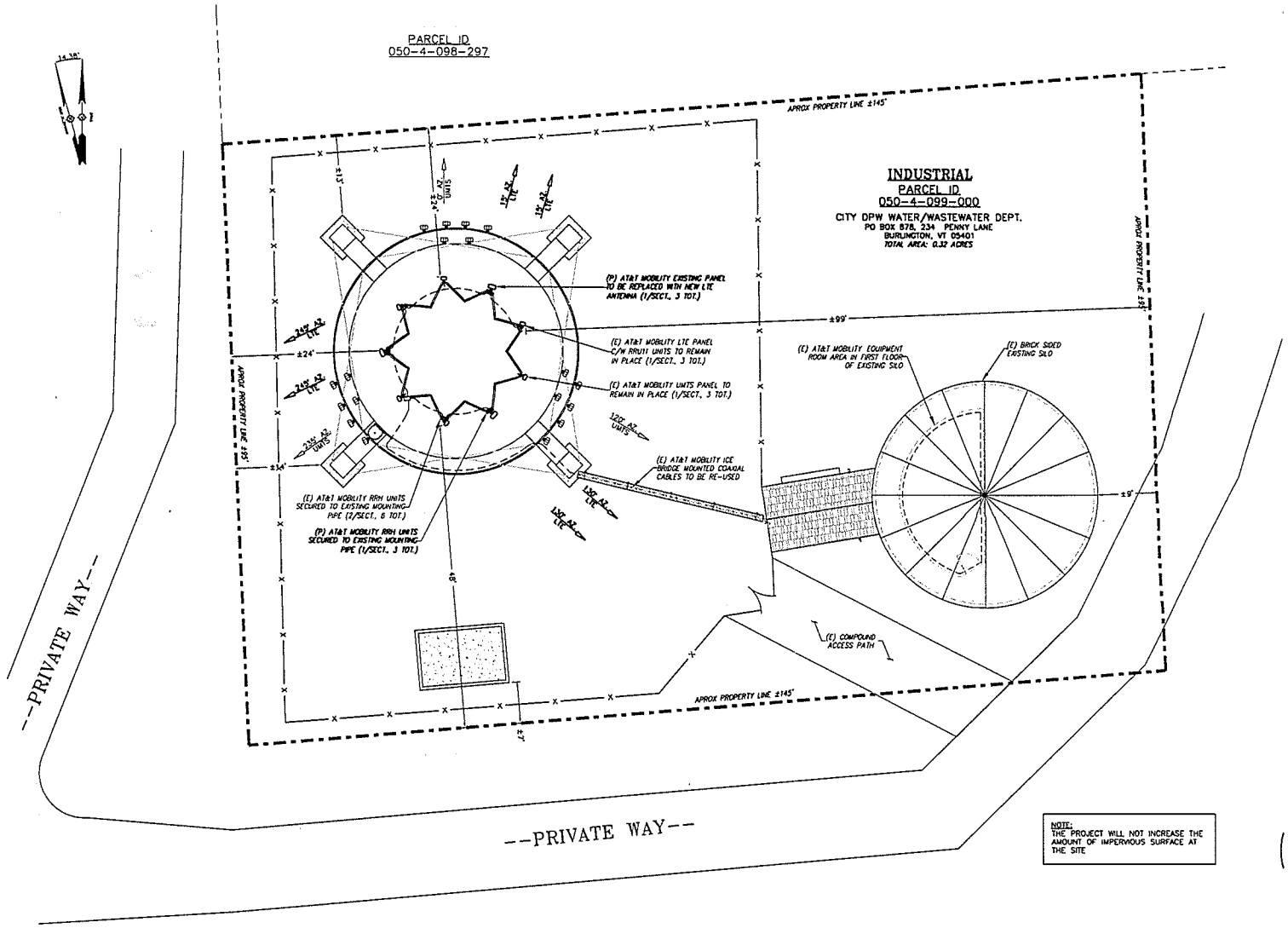
HANDICAP REQUIREMENTS:

FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION.
HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED.

SETBACK DISTANCE TO PROPERTY BOUNDARIES	
SETBACK DISTANCES FROM STRUCTURE BASE	FRONT=±48', SIDE=±24'/±99' REAR =±24'
SETBACK DISTANCES FROM NEAREST STRUCTURE	FRONT=±7', SIDE=±14'/±9' REAR =±13'

GENERAL NOTES:

1. PROPERTY LINE INFORMATION (WHEN APPLICABLE) WAS PREPARED USING TAX MAPS, AND PLANS OF RECORD AND SHOULD NOT BE CONSTRUED AS A BOUNDARY SURVEY.
2. NO NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
3. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
4. CONNECTION TO ELECTRICAL & TELEPHONE UTILITIES TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANY.
5. SUBCONTRACTOR TO VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION. SEE ANTENNA CONFIGURATION SHEETS FOR SITE SPECIFIC DETAILS.
6. SUBCONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION.
8. THERE ARE NO TOPOGRAPHIC CHANGES BEING PROPOSED UNDER THE CURRENT APPLICATION.
9. NO TREE CLEARING IS PLANNED UNDER THE PROPOSED PROJECT.
10. PROJECT WILL COMPLY WITH THE LOW RISK HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL ISSUED BY THE VERMONT DEPARTMENT OF ENVIRONMENTAL CONSERVATION



SITE PLAN (1/03)
SCALE: 1" = 8'-0"

GRAPHIC SCALE
(IN FEET)
1 inch = 8 ft.

NOTE:
THE PROJECT WILL NOT INCREASE THE AMOUNT OF IMPERVIOUS SURFACE AT THE SITE

VRG
VERTICAL RESOURCES GRP.
489 Washington Street
Auburn, MA 01501
Tel. (508) 981-9590
Fax (508) 519-8939
mnobre@verticalresourcesgrp.com

EMPIRE telecom
EMPIRE TELECOM USA, LLC
16 ESQUIRE ROAD
BILLERICA, MA 01821

SITE NUMBER: VT6446
SITE NAME:
REDSTONE
703 SOUTH PROSPECT STREET
BURLINGTON, VT 05401
CHITTENDEN COUNTY

at&t Mobility
550 COCHITUATE RD
SUITES 13 & 14
FRAMINGHAM, MA 01701

NO.	DATE	REVISION	BY	CHK	APP'D
4	04/10/15	GENERAL REVISIONS	ELP		
3	03/27/15	GENERAL REVISIONS	ELP		
2	03/18/15	GENERAL REVISIONS	ELP		
1	03/15/15	FOR REVIEW	ELP		
0	02/15/15	FOR REVIEW	ELP		

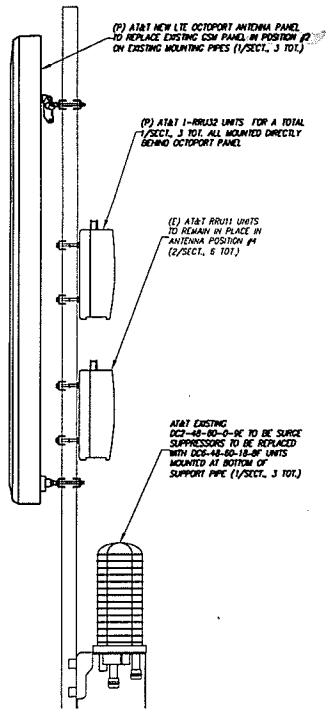
SCALE | DESIGNED BY: M.K. | DRAWN BY: G.A.M.

STATE OF VERMONT
DAVID A. FISCHER
No. 7332

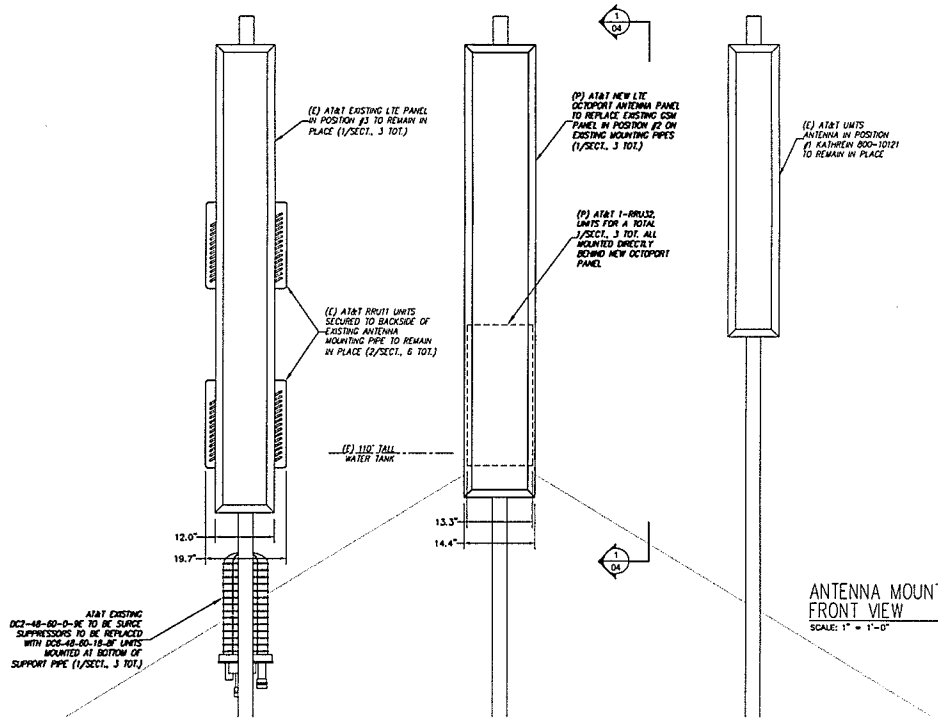
AT&T MOBILITY

SITE PLAN

JOB NUMBER	DRAWING NUMBER	REV.
50-145	03	3



ANTENNA MOUNTING
SIDE VIEW
SCALE: 1" = 1'-0"
1/04



ANTENNA MOUNTING
FRONT VIEW
SCALE: 1" = 1'-0"
2/04

EXISTING ANTENNA SCHEDULE

SECTOR	POSITION	MODEL	SIZE
ALPHA	#1	KATHREIN 800-10121	54.5"x10.3"x6"
ALPHA	#2	KATHREIN 800-10121	54.5"x10.3"x6"
ALPHA	#3	KMW AM-X-CD-17-65-00T-RET	96"x11.8"x6"
BETA	#1	KATHREIN 800-10121	54.5"x10.3"x6"
BETA	#2	KATHREIN 800-10121	54.5"x10.3"x6"
BETA	#3	KMW AM-X-CD-17-65-00T-RET	96"x11.8"x6"
GAMMA	#1	KATHREIN 800-10121	54.5"x10.3"x6"
GAMMA	#2	KATHREIN 800-10121	54.5"x10.3"x6"
GAMMA	#3	KMW AM-X-CD-17-65-00T-RET	96"x11.8"x6"

PROPOSED ANTENNA SCHEDULE

SECTOR	POSITION	MODEL	SIZE
ALPHA	#1	KATHREIN 800-10121	54.5"x10.3"x6"
ALPHA	#2	CCI OPA-65R-LCUU-H8	92.7"x14.4"x7.4"
ALPHA	#3	KMW AM-X-CD-17-65-00T-RET	96"x11.8"x6"
BETA	#1	KATHREIN 800-10121	54.5"x10.3"x6"
BETA	#2	CCI OPA-65R-LCUU-H8	92.7"x14.4"x7.4"
BETA	#3	KMW AM-X-CD-17-65-00T-RET	96"x11.8"x6"
GAMMA	#1	KATHREIN 800-10121	54.5"x10.3"x6"
GAMMA	#2	CCI OPA-65R-LCUU-H8	92.7"x14.4"x7.4"
GAMMA	#3	KMW AM-X-CD-17-65-00T-RET	96"x11.8"x6"

PROJECT INFORMATION & DIMENSIONS

	EXISTING	PROPOSED	NET INCREASE
SURFACE AREA OF THE FACES OF THE AT&T EQUIPMENT ON THE SUPPORT STRUCTURE	ANTENNAS: KATHREIN 800-10121 = 6x54.5"x10.3" = 23.3 SqFt KMW AM-X-CD-17-65-00T-RET = 3x96"x11.8" = 23.6 SqFt RRU UNITS ERICSSON RRU-11 = 6x(19.7"-11.8")x18.5" = 6.1 SqFt (PARTIALLY EXPOSED) SURGE SUPPRESSOR RAYCAP DC2-48-60-0-9E = 3x10.25"x10.25"= 2.18 SqFt TOTAL EXISTING FACIAL SURFACE AREA = 55.2 SqFt	ANTENNAS: KATHREIN 800-10121 = 3x54.5"x10.3" = 11.7 SqFt KMW AM-X-CD-17-65-00T-RET = 3x96"x11.8" = 23.6 SqFt CCI OPA-65R-LCUU-H8 = 3x92.7"x14.4" = 27.1 SqFt TOTAL ANTENNA PANELS = 62.4 SqFt RRU UNITS ERICSSON RRU-11 = 6x(19.7"-11.8")x18.5" = 6.1 SqFt (PARTIALLY EXPOSED) ERICSSON RRU-32 = 3x(13.3"-14.4")x29.9" = COMPLETELY BEHIND ANTENNA TOTAL RRU UNITS = 6.1 SqFt SURGE SUPPRESSOR RAYCAP DC6-48-60-18 = 3x24"x12" = 6.0 SqFt TOTAL PROPOSED FACIAL SURFACE AREA = 74.5 SqFt	TOTAL EXISTING FACIAL SURFACE AREA = 55.2 SqFt TOTAL PROPOSED FACIAL SURFACE AREA = 74.5 SqFt NET INCREASE IN FACIAL SURFACE AREA = 19.3 SqFt
MAX VERTICAL EXTENSION FROM SUPPORT STRUCTURE	±7'-0"	±7'-0"	0 Ft
MAX HORIZONTAL EXTENSION FROM SUPPORT STRUCTURE	0'-0"	0'-0"	0 Ft
IMPERVIOUS SURFACE ADDED TO SITE	N/A	0 SqFt	0 SqFt

VRG
VERTICAL RESOURCES GRP.
489 Washington Street
Auburn, MA 01501
Tel. (508) 981-9590
Fax (508) 519-8939
mnobre@verticalresourcesgrp.com

EMPIRE telecom
EMPIRE TELECOM USA, LLC
16 ESQUIRE ROAD
BILLERICA, MA 01821

SITE NUMBER: VT6446
SITE NAME:
REDSTONE
703 SOUTH PROSPECT STREET
BURLINGTON, VT 05401
CHITTENDEN COUNTY

at&t Mobility
550 COCHITUATE RD
SUITES 13 & 14
FRAMINGHAM, MA 01701

NO.	DATE	REVISION	BY	CHK	APP'D
4	04/10/15	GENERAL REVISIONS	ELP		
3	03/27/15	GENERAL REVISIONS	ELP		
2	03/18/15	GENERAL REVISIONS	ELP		
1	03/15/15	FOR REVIEW	ELP		
0	02/15/15	FOR REVIEW	ELP		

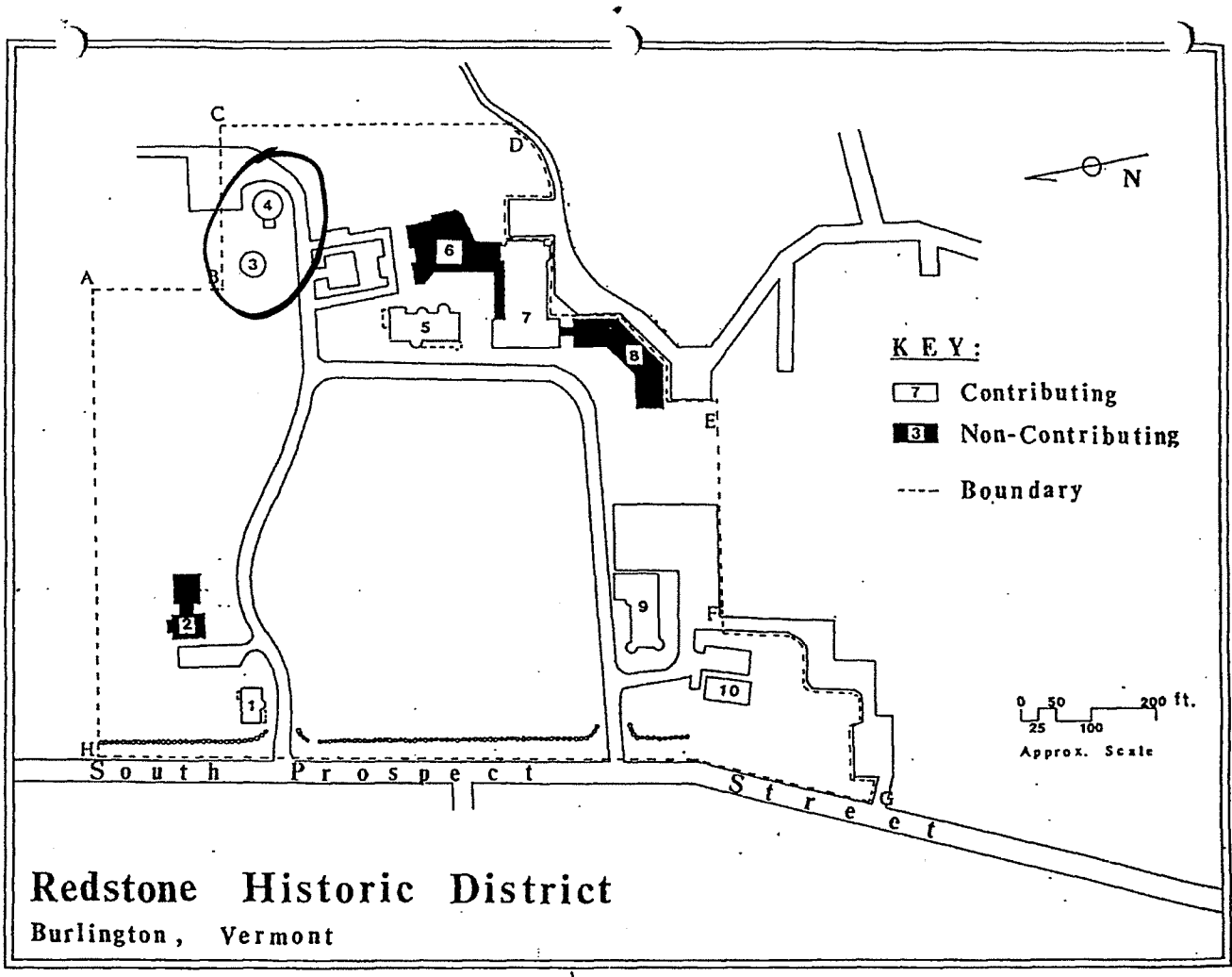
SCALE | DESIGNED BY: M.N. | DRAWN BY: G.A.M.

STATE OF VERMONT
DAVID P. SHUMAN
No. 2257

AT&T MOBILITY
ANTENNA DETAILS

JOB NUMBER	DRAWING NUMBER	REV.
50-145	04	3

UVM Continuing Education
Blundell House
Redstone Green
Redstone Hall
Music Bldg
University Heights



Redstone Historic District

Burlington, Vermont

0

since the Buell estate was purchased in 1921. Other than the placement of screens on the entrance porch and the replacement of the roof's original wood shingles with asphalt ones sometime after the University bought the property, the lodge's exterior has undergone relatively little change.

2. Blundell House, 1960-61 [non-contributing].

The International Style structure to the northeast of Redstone Lodge (#1) was designed by the Burlington architecture firm Freeman-French Freeman in 1960 for use as a home management laboratory for seniors in the University's Home Economics Program and was officially dedicated on December 9, 1961. The flat-roofed, single-story structure is composed of two rectangular sections bridged by a narrow entrance bay. The house's walls are covered with vertical boards above its concrete foundation and fenestrated with large, single-paned, rectangular windows of varying size, most of which are grouped in horizontal bands. A small, rectangular shed is connected to the back of the house's western section by the flat roof and cement foundation. The house is currently (1987) occupied by the Center for Cultural Pluralism.

3. Elevated High Service Water Tank, 1934-35.

The elevated high service water tank was erected for the city by the Pittsburgh DeMoines Company to supply proper service for the University of Vermont's larger buildings and provide a sufficient amount of water to meet the demand of people living outside the city limits. The 150,000 gallon, cylindrical, steel-plated tank is approximately 37 feet in diameter with a conical roof and a semi-spherical bottom that is connected to the ground by a tube approximately 7 feet in diameter. The light green, painted tank is elevated 90 feet above the ground--63 feet higher than the old high service tank (#4)--and held in place by four slightly canted steel legs joined to the tank just below a walkway surrounding the base of its cylindrical, central section. The legs are connected at their midpoints by horizontal steel bands and further stabilized with crisscrossing steel rods above and below the bands on all sides.

4. High Service Water Tower, 1880-81, 1890-91.

The old high service water tower is approximately 35 feet in diameter and 45 feet in height with a 10 x 16 foot, single-story, gable-roofed addition on its west

side. The tower's hollow, common bond brick walls are pointed with scored mortar highlighted by white paint and rest on a rubblework foundation constructed from 171 cubic yards of stone removed from the trenches dug for the new water pipes. On its south side is a boarded-up, segmentally-arched doorway with a granite sill and step, and halfway up its north side is a small, 2-light, segmentally-arched window. Its 16-sided polygonal roof is covered by red slate shingles with bands of fishscale shaped green and red slates decorating the central portion and a copper finial at its peak.

The west entrance building was added sometime before 1932. Its brick veneer walls rise from a concrete foundation up to a slate-shingled gable roof with cornice returns. The addition contains large, boarded-up, openings spanned by flat arches on its north and south facades and a doorway with a flat arch on its gable end.

The water tower was constructed in 1880-81 to protect the new 106,000 gallon high service tank located on land purchased by the city from F. J. Hendee and supplied with water pumped up to it from the reservoir on Main Street across from University Place. When completed in 1881, the boiler plate tank erected by B. S. Nichols and Co. measured 30 feet in diameter and 20 feet in height and supplied water to approximately 200 residents, the University of Vermont, and the newly constructed Mary Fletcher Hospital. In 1890, the water tower's roof and brick wall were raised to accommodate the addition of an extra twelve feet to the tank's height and an extra 63,617 gallons to its capacity the following year. With the erection of the elevated high service water tank in 1934-35, the old tank was repaired and maintained for use during maintenance to the new tank and emergencies.

5. Redstone Hall, 1888-89, 1921-22, 1974.

The Richardsonian Romanesque style Redstone Hall is rectangular in plan with a large central tower on its front (west) facade. The 2-story structure's random-coursed, rock-faced ashlar walls are constructed of redstone blocks originally pointed with a matching, tinted mortar and finished with black mortar with incised red lines. The redstone walls are battered from the granite foundation up to the first floor sill line and rise up to a steeply-pitched, wood-shingled hip roof that has slightly flared eaves with exposed rafter tails and is broken up by dormers on three slopes and three high, narrow, asymmetrically placed chimneys.

The residence hall's front elevation is dominated by the round central tower with a conical cap whose copper peak rises above the main roof's ridgeline. The main entrance, to the tower's right, is recessed behind a large, round arch with blackened redstone voussoirs and a tooled soffit. The 2-panel, single-light, oak

PROJECT INFORMATION

SCOPE OF WORK	UNMANNED COMMUNICATIONS FACILITY MODIFICATIONS WITH PROPOSED REPLACEMENT OF THREE EXISTING ANTENNAS, THE ADDITION OF THREE NEW RRU UNITS AND THE REPLACEMENT OF THREE EXISTING SURGE SUPPRESSORS
SITE NUMBER:	VT6446
SITE NAME:	REDSTONE
SITE ADDRESS:	720 SOUTH PROSPECT STREET BURLINGTON, VT 05401
PROPERTY OWNER:	CITY DPW WATER/WASTEWATER DEPT. PO BOX 878 234 PENNY LANE BURLINGTON, VT 05401
APPLICANT:	AT&T MOBILITY 550 COCHITUATE RD SUITES 13 & 14 FRAMINGHAM, MA 01701
CONTACT:	TEL 800-638-2822
COORDINATES	LAT. N44°28'14.7" LONG. W73°11'51.5"
HEIGHT OF WATER TANK:	±110'
AT&T ANTENNA CENTERLINE:	113'-0" / 114'-8"
SITE PARCEL NO.:	050-4-099-000
CURRENT ZONING:	INDUSTRIAL
HORIZONTAL DATUM:	(NAD) 1983

at&t Mobility

SITE NUMBER: VT6446
SITE NAME: REDSTONE

DRAWING INDEX

		REV
01	TITLE SHEET	3
02	NOTES	3
03	SITE PLAN	3
04	ANTENNA DETAILS	3
05	ENLARGED SITE PLAN & EQUIPMENT PLAN	3
06	ELEVATION VIEW & ANTENNA LAYOUT	3
07	GROUNDING DETAILS	3

DIG SAFE 1-888-DIG-SAFE

AT LEAST 72 HOURS PRIOR TO DIGGING, THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT 1-888-DIG-SAFE

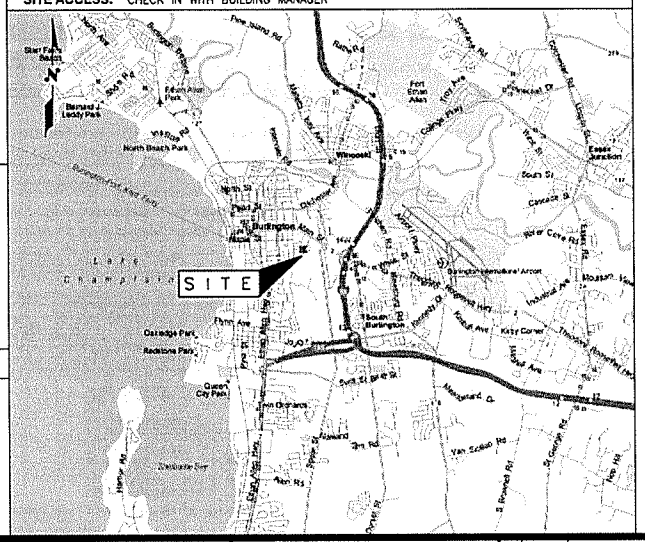
CONTACT & UTILITY INFORMATION

CONTACT	CONTACT	COMPANY	PHONE NO.
ENGINEERING:	MIGUEL NOBRE	VRG	(508) 981-9590
SITE ACQUISITION:	DAVID COOPER	EMPIRE	(484) 683-5349
CONSTRUCTION:	BILL DANIELS	EMPIRE	(484) 683-5349
UTILITIES			
POWER:	WORK REQUEST GROUP	NATIONAL GRID	(800) 375-7405
TELCO:	-	VERIZON	

LOCATION MAP

DIRECTIONS: FROM FRAMINGHAM TAKE I-90 WEST TO EXIT 4. PROCEED NORTH ON I-91. TAKE I-91 NORTH, TAKE EXIT 10N TOWARDS I-89 NORTH. TAKE I89 NORTH EXIT 14W. PROCEED WEST ON RT-2. TURN LEFT ON UNIVERSITY HEIGHTS RD. LOOK FOR WATER TANK ON RIGHT.

SITE ACCESS: CHECK IN WITH BUILDING MANAGER



APPLICABLE BUILDING CODES AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH PROJECT STANDARDS AND SPECIFICATIONS. SUBCONTRACTOR WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE:
MASSACHUSETTS BUILDING CODE LATEST EDITION

ELECTRICAL CODE:
NATIONAL ELECTRICAL CODE (NEC 2008) LATEST EDITION
SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS.
AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
AMERICAN NATIONAL STANDARDS INSTITUTE/TELECOMMUNICATIONS INDUSTRY ASSOCIATION (ANSI/TIA) 222-G AS APPLICABLE, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES:
TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM
IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS

ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

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NO.	DATE	REVISION	BY	CHK	APP'D
3	04/10/15	GENERAL REVISIONS	ELP		
2	03/27/15	GENERAL REVISIONS	ELP		
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A	02/15/15	FOR REVIEW	ELP		

SCALE | DESIGNED BY: M.N. | DRAWN BY: G.A.M.

STATE OF VERMONT LICENSE A SURVEYOR No. 2922

AT&T MOBILITY

TITLE SHEET

JOB NUMBER	DRAWING NUMBER	REV
50-145	01	3

GENERAL NOTES

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
   CONTRACTOR - PRIME CONTRACTOR
   SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
   OWNER - AT&T WIRELESS
   OEM - ORIGINAL EQUIPMENT MANUFACTURER

2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.

3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.

4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE UNLESS OTHERWISE NOTED AND ARE INTENDED TO SHOW OUTLINE ONLY.

5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.

6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.

7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.

8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. ROUTING OF CONDUIT FOR POWER AND TELCO SHALL BE APPROVED BY OWNER OF SITE.

9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.

10 SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

11 SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.

12. **SUBCONTRACTOR SHALL NOTIFY PROPERTY OWNER BURLINGTON WATER AT 802-863-4501 TWENTY-FOUR (24) HOURS IN ADVANCE OF STARTING WORK AT THIS SITE.**

SITE WORK GENERAL NOTES

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.

2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.

3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.

4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES, TOP SOIL AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.

5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.

6. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.

7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE OWNER SPECIFICATION FOR SITE SIGNAGE.

8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE TRANSMISSION EQUIPMENT AND TOWER AREAS.

9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION, SEE DETAIL 303.

11. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.

12. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL JURISDICTION'S GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

13. ALL EARTH WORK SHALL BE PERFORMED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES

STRUCTURAL STEEL NOTES:

1. ALL STEEL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A123 (HOT-DIP) UNLESS NOTED OTHERWISE. STRUCTURAL STEEL SHALL BE ASTM-A-36 UNLESS OTHERWISE NOTED ON THE SITE SPECIFIC DRAWINGS. STEEL DESIGN, INSTALLATION AND BOLTING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "MANUAL OF STEEL CONSTRUCTION".

2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.

3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4"ø) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE. STEEL FASTENER HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 (HOT-DIP)

4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.

5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. EXPANSION BOLTS SHALL BE PROVIDED BY RAWSET/REDHEAD, HILTI OR APPROVED EQUAL.

6 ALL STRUCTURAL STEEL SHALL BE SUPPLIED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.

2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. A HIGHER STRENGTH (4000 PSI) MAY BE USED.

3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.

4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

   CONCRETE CAST AGAINST EARTH.....3 IN.
   CONCRETE EXPOSED TO EARTH OR WEATHER:

   ø6 AND LARGER .....2 INCH
   ø5 AND SMALLER & WWF.....1 1/2 INCH

   CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:

   SLAB AND WALL .....3/4 INCH
   BEAMS AND COLUMNS.....1 1/2 INCH

5. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

6. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. EXPANSION BOLTS SHALL BE PROVIDED BY RAWSET/REDHEAD, HILTI OR APPROVED EQUAL.

7. CONCRETE CYLINDER TEST IS NOT REQUIRED FOR SLAB ON GRADE WHEN CONCRETE IS LESS THAN 50 CUBIC YARDS (IBC 1905.6.2.3) IN THAT EVENT THE FOLLOWING RECORDS SHALL BE PROVIDED BY THE CONCRETE SUPPLIER;
   (A) RESULTS OF CONCRETE CYLINDER TESTS PERFORMED AT THE SUPPLIER'S PLANT,

   (B) CERTIFICATION OF MINIMUM COMPRESSIVE STRENGTH FOR THE CONCRETE GRADE SUPPLIED.

   FOR GREATER THAN 50 CUBIC YARDS THE GC SHALL PERFORM THE CONCRETE CYLINDER TEST.

8. AS AN ALTERNATIVE TO ITEM 7, TEST CYLINDERS SHALL BE TAKEN INITIALLY AND THEREAFTER FOR EVERY 50 YARDS OF CONCRETE FROM EACH DIFFERENT BATCH PLANT.

9. EQUIPMENT SHALL NOT BE PLACED ON NEW PADS FOR SEVEN DAYS AFTER PAD IS POURED, UNLESS IT IS VERIFIED BY TESTS THAT COMPRESSIVE STRENGTH HAS BEEN ATTAINED.

10 ALL CONCRETE SHALL BE SUPPLIED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES.

SOIL COMPACTION NOTES FOR SLAB ON GRADE:

1. EXCAVATE AS REQUIRED TO REMOVE VEGETATION AND TOPSOIL, EXPOSE UNDISTURBED NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.

2. COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.

3. AS AN ALTERNATIVE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.

4. COMPACTED SUBBASE SHALL BE UNIFORM AND LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100% PASSING 1" SEVE.

5. AS AN ALTERNATIVE TO ITEMS 2 AND 3 PROOF ROLL THE SUBGRADE SOILS WITH 5 PASSES OF A MEDIUM SIZED VIBRATORY PLATE COMPACTOR (SUCH AS BOMAG BPR 30/38) OR HAND-OPERATED SINGLE DRUM VIBRATORY ROLLER (SUCH AS BOMAG BW 55E). ANY SOFT AREAS THAT ARE ENCOUNTERED SHOULD BE REMOVED AND REPLACED WITH A WELL-GRADED GRANULAR FILL, AND COMPACTED AS STATED ABOVE.

6. COMPACTION CRITERIA FOR OTHER FILL AREAS ON SITE SHALL MEET THE SAME REQUIREMENTS AS NOTED ABOVE.

7. SOIL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH TECHNICAL SPECIFICATION FOR CONSTRUCTION OF RADIO ACCESS NETWORK SITES

COMPACTION EQUIPMENT:

HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING JACK COMPACTOR

ELECTRICAL INSTALLATION NOTES

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.

2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.

3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.

4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.

5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.

6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.

7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH PERMANENT LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S). NO HAND WRITTEN LABELS ALLOWED.

8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED. NO HAND WRITTEN LABELS ALLOWED.

9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.

10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (SIZE 14 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.

11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (SIZE 6 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.

12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (SIZE 14 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.

13. ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).

14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.

ELECTRICAL INSTALLATION NOTES (cont.)

15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.

17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.

18. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.

19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.

20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.

21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.

22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.

23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS

24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.

25. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.

26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.

27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.

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SCALE | DESIGNED BY: M.N. | DRAWN BY: G.A.M.

STATE OF VERMONT — JAMES P. KNUDSEN — No. 2312

AT&T MOBILITY

NOTES

JOB NUMBER	DRAWING NUMBER	REV
50-145	02	3

10. Ethan Allen Engine Company #4 (135 Church Street)

A Nineteenth Century Commercial style fire station, listed on the National Register of Historic Places on December 17, 1970.

11. City Hall

Because of its great mass and highly central location, City Hall is perhaps the most visually strategic component in the district. The brick facade with extensive carved marble trim is Neo-classical in style, although the strict symmetry and multi-stage domed cupola impart definite Georgian overtones. This classical/colonial motif was intended by the architect, W.M. Kendall of McKim, Mead, and White, to be "in accordance with the same classical principles which inspired the public buildings of the colonies and the early republic."

Virtually all the finish materials - brick, marble, roofing slate, and granite - were produced in Vermont. When the building was constructed in 1928 at a cost of $475,000, it was hailed by Mayor Beecher as "the most ambitious building project on which the city of Burlington has ever embarked." When the mayor pushed through a new fire station and civic auditorium the next year, his critics dubbed him "Beecher the Builder" and spread rumors of graft. The previous City Hall, built on this site in 1854, had grown decrepit with age, and was, in the words of the Free Press editor, "a repellent municipal liability."

The rectangular plan has virtual dual orientation, displaying identical eleven-bay, two-story facades on both Church Street and the park. Bays are defined by fluted pilasters with Corinthian caps, and twelve-over-twelve sash with gauged brick flat arches. Quoins, a denticulated cornice with carved architrave, and spandrel panels add further surface enrichment. The round-arched central entrances have panelled doors with tracery fan-lights and surrounds of fluted Ionic pilasters supporting swan-neck pediments. Cupola enrichment includes clocks, balustrades with urns, columns and arches in a Palladian motif, and a gilded dome embellished with swag.

12. Hotel Vermont (129-133 Main Street)

The old Hotel Vermont, at seven stories the tallest building in the district, is a dominant presence in the streetscape surrounding City Hall Park. The style is Colonial Revival, characterized by a symmetrically organized brick facade with central pavilion, quoins, and neo-classical trim executed mostly in marble. A denticulated pressed metal cornice with brick parapet highlights the roofline. A glazed roof garden and wrought iron seventh story balconies take advantage of the building's height and provide views of the lake and the park.

Fenestration is three by seven bays, regularly spaced; windows are all paired except on the central pavillion, vhere they are three-part and flanked by slit windows. Most sills and lintels are marble. The modern central entrance retains original granite Doric columns with marble base and capitals; overhead is an iron balcony served by French doors with a segmental arch marble cornice. The entire first story is banded between a marble string course and water table. In the rear, fronting on St. Pa Street, is a three-story service wing with stone-capped battlement.

The Hotel Vermont was the last of the great hotels which once dominated life around City Hall Park. It replaced the burned-out main block of the old American House in 1910. For may years it was considered the fir non-resort hotel in the state. Converted to apartments and offices in 1

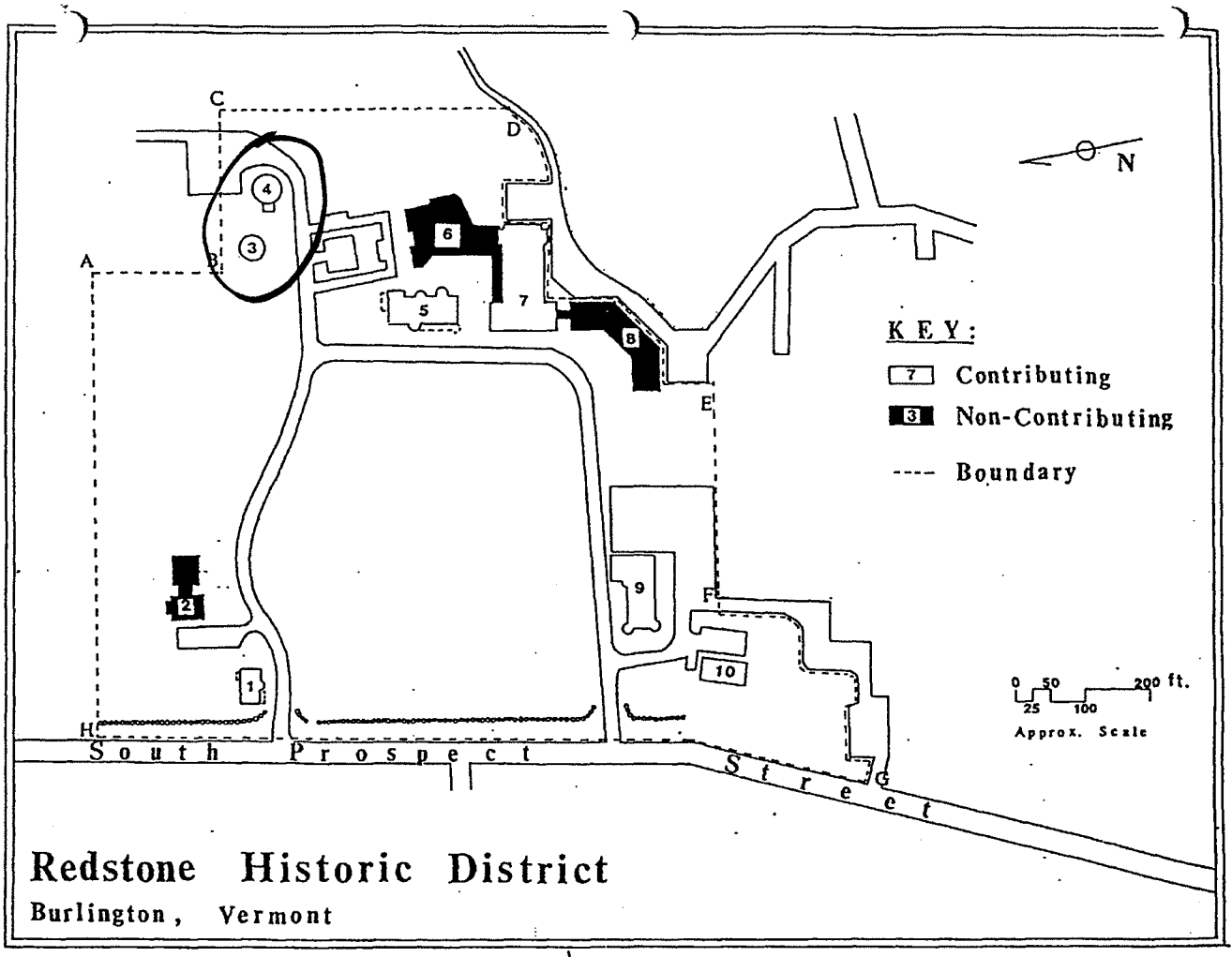
13. East Wing of American House (135-143 Main Street)

This brick block was originally the east wing of the American House, a landmark which burned in 1906, to be replaced four years later by the Hotel Vermont (#12). A Federal style parapetted gable is now the only stylistic clue to its c.1830 origins. In the early twentieth century the roofline was raised toaccommodate a full third story; the present windows and corbelled cornice with cyma recta wood molding date from the Modern storefronts, one faced with carrara glass. Despite alterations to the facade, the block plays an intergral part in the City Hall street scape by spanning the wide gap between the Hotel Vermont and the Flynn Theater.

14. Flynn Theater (149-153 Main Street)

According to at least one authority, the Flynn is the finest Art Deco moviehouse in the state. As the last remaining theater in downtown Burlington, it testifies to the enduring role which film has played in American culture, particularly in the pre-television years of the depres when Hollywood enjoyed its "golden age." It was built in 1930 for John Flynn, a local lawyer, banker, and real estate developer. The architec were Newell and Rand of Boston. A total restoration, including new fac ties for the performing arts, is nearing completion at the time of this writing.

The building consists of two adjoining structures. On Main Street is a two-story, four part block which houses the threater entrance and foyer to the left, two shopfronts and a walk-up entry to the right, and offic upstairs. In the rear is a tall, rectangular structure which houses th 1800-seat theater. A short, one-story passageway links the two.



Redstone Historic District

Burlington, Vermont

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since the Buell estate was purchased in 1921. Other than the placement of screens on the entrance porch and the replacement of the roof's original wood shingles with asphalt ones sometime after the University bought the property, the lodge's exterior has undergone relatively little change.

2. Blundell House, 1960-61 [non-contributing].

The International Style structure to the northeast of Redstone Lodge (#1) was designed by the Burlington architecture firm Freeman-French Freeman in 1960 for use as a home management laboratory for seniors in the University's Home Economics Program and was officially dedicated on December 9, 1961. The flat-roofed, single-story structure is composed of two rectangular sections bridged by a narrow entrance bay. The house's walls are covered with vertical boards above its concrete foundation and fenestrated with large, single-paned, rectangular windows of varying size, most of which are grouped in horizontal bands. A small, rectangular shed is connected to the back of the house's western section by the flat roof and cement foundation. The house is currently (1987) occupied by the Center for Cultural Pluralism.

3. Elevated High Service Water Tank, 1934-35.

The elevated high service water tank was erected for the city by the Pittsburgh DeMoines Company to supply proper service for the University of Vermont's larger buildings and provide a sufficient amount of water to meet the demand of people living outside the city limits. The 150,000 gallon, cylindrical, steel-plated tank is approximately 37 feet in diameter with a conical roof and a semi-spherical bottom that is connected to the ground by a tube approximately 7 feet in diameter. The light green, painted tank is elevated 90 feet above the ground--63 feet higher than the old high service tank (#4)--and held in place by four slightly canted steel legs joined to the tank just below a walkway surrounding the base of its cylindrical, central section. The legs are connected at their midpoints by horizontal steel bands and further stabilized with crisscrossing steel rods above and below the bands on all sides.

4. High Service Water Tower, 1880-81, 1890-91.

The old high service water tower is approximately 35 feet in diameter and 45 feet in height with a 10 x 16 foot, single-story, gable-roofed addition on its west

side. The tower's hollow, common bond brick walls are pointed with scored mortar highlighted by white paint and rest on a rubblework foundation constructed from 171 cubic yards of stone removed from the trenches dug for the new water pipes. On its south side is a boarded-up, segmentally-arched doorway with a granite sill and step, and halfway up its north side is a small, 2-light, segmentally-arched window. Its 16-sided polygonal roof is covered by red slate shingles with bands of fishscale shaped green and red slates decorating the central portion and a copper finial at its peak.

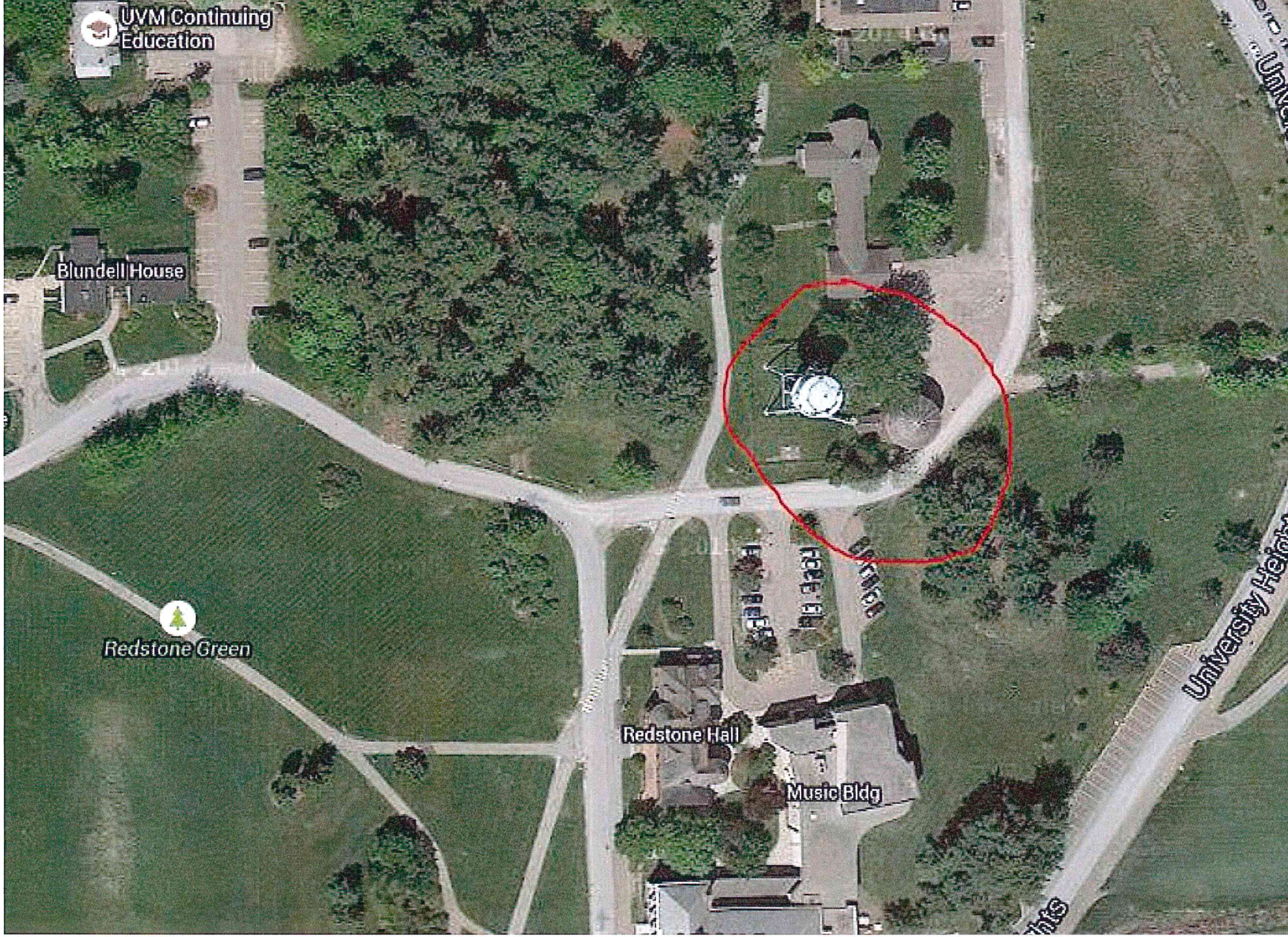
The west entrance building was added sometime before 1932. Its brick veneer walls rise from a concrete foundation up to a slate-shingled gable roof with cornice returns. The addition contains large, boarded-up, openings spanned by flat arches on its north and south facades and a doorway with a flat arch on its gable end.

The water tower was constructed in 1880-81 to protect the new 106,000 gallon high service tank located on land purchased by the city from F. J. Hendee and supplied with water pumped up to it from the reservoir on Main Street across from University Place. When completed in 1881, the boiler plate tank erected by B. S. Nichols and Co. measured 30 feet in diameter and 20 feet in height and supplied water to approximately 200 residents, the University of Vermont, and the newly constructed Mary Fletcher Hospital. In 1890, the water tower's roof and brick wall were raised to accommodate the addition of an extra twelve feet to the tank's height and an extra 63,617 gallons to its capacity the following year. With the erection of the elevated high service water tank in 1934-35, the old tank was repaired and maintained for use during maintenance to the new tank and emergencies.

5. Redstone Hall, 1888-89, 1921-22, 1974.

The Richardsonian Romanesque style Redstone Hall is rectangular in plan with a large central tower on its front (west) facade. The 2-story structure's random-coursed, rock-faced ashlar walls are constructed of redstone blocks originally pointed with a matching, tinted mortar and finished with black mortar with incised red lines. The redstone walls are battered from the granite foundation up to the first floor sill line and rise up to a steeply-pitched, wood-shingled hip roof that has slightly flared eaves with exposed rafter tails and is broken up by dormers on three slopes and three high, narrow, asymmetrically placed chimneys.

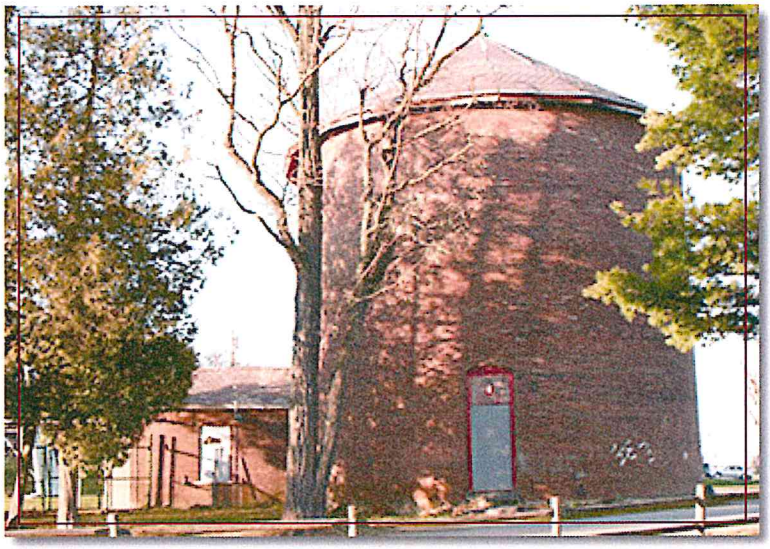
The residence hall's front elevation is dominated by the round central tower with a conical cap whose copper peak rises above the main roof's ridgeline. The main entrance, to the tower's right, is recessed behind a large, round arch with blackened redstone voussoirs and a tooled soffit. The 2-panel, single-light, oak


UVM Continuing Education
Blundell House
Redstone Green
Redstone Hall
Music Bldg
University Heights

The University of Vermont

Historic Burlington, Vermont

Burlington High Water Service Works



Built: circa 1885 by the City of Burlington.

This round, brick, water tower is approximately 35' in diameter, 45' high, and is capped by a 16-sided polygonal slate roof. A copper needle finial rests at the very top. On the north side is a small 2-light segmental arch window and the west side contains a single-story gabled entrance projection – added sometime prior to 1932.[1] Originally built to supply water to the city, the university and the Mary Fletcher Hospital , it was enlarged in 1890.[2] An elevated steel tank was erected next to it in 1934, and the old brick tank is still in service: kept as a back-up tank, for when the new tank is undergoing maintenance or when there is an emergency.[3]

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1. Visser, Thomas, Reid Larson and Ann Cousins, *National Register of Historic Places Registration Form – Redstone Historic District.* (United States Department of the Interior, National Park Service: 1991.)
2. Ibid.
3. Ibid.

Last modified December 09 2004 05:18 PM

ALTERNATE SITE REVIEW ASSESSMENT

1. UNINTERESTED LANDOWNER
2. **PROPOSED SITE LOCATION**
3. TOO CLOSE TO SLOPE TO ACHIEVE BATTERY STREET OBJECTIVES
4. a. FAILURE TO ACHIEVE BATTERY STREET OBJECTIVES,
   b. UNACCEPTABLE SYSTEM BALANCE
5. a. UNACCEPTABLE SYSTEM BALANCE,
   b. FAILURE TO ACHIEVE BATTERY STREET OBJECTIVES
6. a. TOO FAR NORTH OF COVERAGE OBJECTIVES,
   b. UNACCEPTABLE SYSTEM BALANCE
7. a. TOO FAR NORTH OF COVERAGE OBJECTIVES,
   b. UNACCEPTABLE SYSTEM BALANCE,
   c. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
   d. ENVIRONMENTAL CONCERNS,
   e. UNCONFIRMED FUTURE STATUS
8. a. UNACCEPTABLE SYSTEM BALANCE,
   b. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE
9. a. UNACCEPTABLE SYSTEM BALANCE,
   b. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE
10. a. UNACCEPTABLE SYSTEM BALANCE,
    b. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    c. FEDERAL FACILITY WITH RESTRICTED ACCESS
11. a. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    b. STRUCTURAL LIMITATIONS,
    c. NO AVAILABLE EQUIPMENT SPACE,
    d. ARCHITECTURAL FOCAL POINT OF BURLINGTON WATERFRONT
12. a. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    b. ARCHITECTURAL FOCAL POINT OF BURLINGTON WATERFRONT
13. a. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    b. UNACCEPTABLE SYSTEM BALANCE,
    c. FLOOD PLAIN,
    d. LOW ANTENNA CENTERLINE
14. a. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    b. UNACCEPTABLE SYSTEM BALANCE
15. a. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    b. UNACCEPTABLE SYSTEM BALANCE,
    c. UNINTERESTED LANDOWNER (SAME AS LOCATION 1)
16. a. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    b. LOW ANTENNA CENTERLINE
17. a. UNACCEPTABLE RF INTERFERENCE WITH BURLINGTON SQUARE,
    b. LOW ANTENNA CENTERLINE
18. a. UNACCEPTABLE RF INTERFERENCE WITH NEW YORK STATE SITE,
    b. UNABLE TO PROVIDE IN BUILDING COVERAGE FOR BATTERY STREET OBJECTIVES
19. a. UNACCEPTABLE RF INTERFERENCE WITH NEW YORK STATE SITE,
    b. UNABLE TO PROVIDE IN BUILDING COVERAGE FOR BATTERY STREET OBJECTIVES
20. a. UNACCEPTABLE RF INTERFERENCE WITH NEW YORK STATE SITE,
    b. UNABLE TO PROVIDE IN BUILDING COVERAGE FOR BATTERY STREET OBJECTIVES

PRIMARY COVERAGE OBJECTIVE

EXISTING & PROPOSED ANTENNA AZIMUTHS

APPROXIMATE COVERAGE FOOTPRINT OF PROPOSED LOCATION AT 86 LAKE STREET

GRAPHIC SCALE

200 0 100 200 400 800

(IN FEET)
1 inch = 200 ft. AT 24X36
HALF SIZE AT 11X17

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PROFESSIONAL

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PLANS

verizon

PROJECT ID: 20130
PROJECT TYPE: B
LOCATION CODE:

BURLING
WATERFR

86 LAKE STR
BURLINGTO
05401

SHEET TITL

ALTERNATE
ASSESSMENT

PERMIT PL

DRAWN BY	DATE
JWP	AP
CHECKED BY	D&K P
LJH	4
PROJ. ENG.	D&K P
LJH	

SHEET NUME

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Design Advisory Board
Terms of Office FY 2016

Organizational Meeting July 14, 2015

Member	Appointed	Term expires
Ron Wanamaker ☼	12.15.2003	6.30.2016
Sean McKenzie	10.25.2004	6.30.2017
Matthew Bushey* ☼	4.16.2012	6.30.2016
Steven Offenhartz ☼	9.13.2010	6.30.2017
Larry Christopher Alley	6.15.2015	6.30.2018
Jeremy Gates (A)	7.15.2013	6.30 2017
Phil Hammerslough (A) Δ	4.16.2012	6.30.2017

*Chair FY 2015
**Vice Chair FY 2015 Todd Joseph Thomas – did not seek re-appointment
*** Clerk (none appointed 2015)
Δ Representative to the Zoning Ordinance Committee 2015
☼Historic Preservation Review Committee 2015

Terms are for three years.
Chair, Vice Chair and Clerk shall be voted on annually; before May 1st and preferably around Town Meeting Day.

Historic Preservation Review Committee
Terms of Office FY 2016

From *Ordinance relating to Appendix A – Zoning #92-03, Design Control Districts*, as amended March 16, 1992:

To the extent available, at least two (2) of the three members shall be professionals from the fields of history, archaeology, architectural history, architecture or historical architecture who meet the requirements outlined in Appendix A of the "Regulations for the Vermont Certified Local Government Program". These two (2) shall serve on the historic preservation review committee.

Action taken July 14, 2015:

DAB Chair: _____
DAB Vice-Chair: _____
DAB Clerk: _____
DAB Representative to the Zoning Ordinance Committee: _____

Representatives to the **Historic Preservation Review Committee**: _____
_____
_____

The Zoning Ordinance Committee has been meeting the first Thursday of the month from 12:00-1:00 pm. As the staff support person has retired, this time is likely to be rescheduled.

Burlington Design Advisory Board
149 Church Street, City Hall
Burlington, VT 05401
www.burlingtonvt.gov/PZ/DAB
Phone: (802) 865-7188
Fax: (802) 865-7195

Matthew Bushy, Chair
Ron Wanamaker, Vice Chair
Sean McKenzie
Steven Offenhartz
Chris Alley
Philip Hammerslough, Alt.
Jeremy Gates, Alt.

DESIGN ADVISORY BOARD
Tuesday, July 14, 2015
Conference Room 12, City Hall, Burlington, VT
MINUTES

Board Members present: Matt Bushey, Steve Offenhartz, Sean McKenzie, Ron Wanamaker, Chris Alley, and Phil Hammerslough (alternate)
Board Members Absent: Jeremy Gates (alternate)
Staff: Scott Gustin
Public/Applicants present: Brian Sullivan, Britta Fenniman-Tonn, Andrew Davis, Louie Hodges

Session I - 3:00-3:45 p.m.
13-0587LL; 86 Lake Street, (DW, Ward 3), Lake Street Associates, Inc. Section 106 Review
Installation of wireless telecommunications facilities (revised plans.) HPRC review for any adverse effect on historic properties.

Motion by Matt Bushey

Approve the proposal as submitted.

2nd – Steve Offenhartz

Vote: 3-0-0 (MB, SO, RW)

Motion passes.

Session II - 3:45-3:55 p.m.
131 Main Street, (RH, Ward 3), Section 106 Review
Proposed changes to existing telecommunications installation at the Vermont House. HPRC review for any adverse effect on historic properties.

Motion by Matt Bushey

Approve the proposal as submitted.

2nd – Steve Offenhartz

Vote: 3-0-0 (MB, SO, RW)

Motion passes.

Session III - 3:55-4:05 p.m.
720 South Prospect Street, Section 106 Review
Proposed changes to existing telecommunications installation at the High Service Water Tank.
HPRC review for any adverse effect on historic properties.

Motion by Matt Bushey

Approve the proposal as submitted.

2nd – Steve Offenhartz

Vote: 3-0-0 (MB, SO, RW)

Motion passes.

Session IV – 4:05-4:15 p.m.
Annual Organizational Meeting

Nomination and election of Chair
Motion by Sean McKenzie

Nominate Matt Bushey as Chair

2nd – Steve Offenhartz

Vote: 4-0-1

Motion passes.

Nomination and election of Vice Chair
Motion by Ron Wanamaker

Nominate Ron Wanamaker as Vice Chair

2nd – Steve Offenhartz

Vote: 4-0-1

Motion passes.

Nomination and election of Clerk
Motion by Steve Offenhartz

Nominate Mary O'Neil as Clerk

2nd – Sean McKenzie

Vote: 5-0-0

Motion passes.

Nomination and election of Planning Commission Ordinance Committee representative
Motion by Steve Offenhartz

Nominate Phil Hammerslough as PC OC representative

2nd – Matt Bushey

Vote: 5-0-0

Motion passes.

Nomination and election of Historic Preservation Review Committee members
Motion by Sean McKenzie

Nominate present slate of Committee members to continue (RW, SO, MB, SM as alternate)

2nd – Chris Alley

Vote: 5-0-0

Motion passes.