

Burlington Design Advisory Board

645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DAB
Phone: (802) 865-7188

Ron Wanamaker
Emily Morse
Jay White
Jack Qualey
Gabriel Stadecker
Kathleen Ryan, Alt
Michael Alvanos, Alt



DESIGN ADVISORY BOARD Tuesday, September 13, 2022 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137

Passcode: 796731

Or Telephone: US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669
900 6833 or +1 253 215 8782

Agenda

Session I – 3:00 PM – 3:30 PM

ZP-22-483; 46 Robinson Parkway (RL, Ward 6S) Thomas Simone / Susan Shull

Small deck addition on back of house and enclosure of small front porch.
(Project Manager, Mary O'Neil)

Session II – 3:30-4:00 PM

ZP-22-485; 45-47 Lakeside Avenue (RL-W, Ward 5S) William Bosley / Robert Hale

Removal of existing carport and asphalt driveway and replace with four strips of pavers for parking two vehicles. Demolish and rebuild existing front porches with larger footprint including connector. (Project Manager, Mary O'Neil)

The programs and services of the City of Burlington are accessible to people with disabilities. Individuals who require special arrangements to participate are encouraged to contact the Department of Permitting & Inspections at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188.

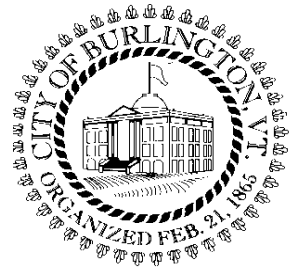
Non-Discrimination

The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status, crime victim status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at (802) 540-2505.

Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Joseph Cava, Planning Technician
Celeste Crowley, Permit Administrator
Theodore Miles, Zoning Specialist
Charlene Orton, DPI Administrator



MEMORANDUM

To: The Design Advisory Board
From: Mary O'Neil, AICP, Principal Planner
RE: 45-47 Lakeside Avenue ZP-22-485
Date: September 13, 2022

File: ZP-22-485

Location: 45-47 Lakeside Avenue

Zone: RL-W **Ward:**5S

Parking District: Neighborhood

Date application accepted: August 23, 2022

Applicant/ Owner: Robert Hale, Wildbranch Builders / William Bosley

Request: Remove existing carport and asphalt driveway in the rear of house. Replace existing asphalt driveway with two strips per car (4 total) of pavers or pervious pavers

Remove and replace existing front porches with a larger connected front porch.

Background:

- **Zoning Permit 22-231;** remove aluminum siding, install composite polyvinyl chloride (pvc) shingle product. Replace windows with 6 over 6 units, alter windows on second floor west, first floor north. Rebuild front porches. May, 2022.
- **Zoning Permit 08-924CA;** Fiberglass replacement windows. **Denied**, January 2009.
- **Zoning Permit 09-514CA;** replace thirty windows with aluminum clad exterior, wood interior, 1/1 double hung units. January 2009. (Permit has not received a Certificate of Occupancy.)
- **Zoning Permit 78-270;** construct roof over paved parking area (2 car) to create open carport. No additional coverage. January 1979.



Overview:

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The dwellings within the Lakeside Development can be categorized into five basic groups of repeated designs which general correspond to specific periods of construction and expansion within the related mill complex.

45-47 Lakeside Avenue was constructed as part of the last group of worker housing for the Queen City Cotton Mill; constructed in 1919-1920 and consisted of five, two and one half story Colonial Revival style duplexes. These were constructed on various open lots within the neighborhood, including 45-47 Lakeside Avenue, 10-12 Central Avenue, 41-43 Harrison Avenue, 67-69 Wright Avenue and 14- 16 Conger Avenue. This was known as Dwelling Type E. The Lakeside Historic District was listed on the National Register of Historic Places April 12, 1982.

The applicant was approved earlier this year for siding and window changes at this existing duplex; the DAB largely supportive of the modern replacement shingle siding and replacement windows. The request to connect the front porches, however was not supported and the DAB advised their rebuild on the same footprint. Lot coverage is a large obstacle to further development (reported existing coverage exceeds 67% on this parcel in a zoning district that limits coverage to 35%). This structure is within the **Lakeside Historic District** on the National Register of Historic Places, and is subject to regulations relative to the treatment of historic buildings; Section 5.4.8. The DAB did not previously approve connecting the porches due to lot coverage considerations and the proposed alteration of existing features on the primary façade. This application attempts to remedy the lot coverage issue to allow the proposed increased coverage by the larger porch; however there are challenges with both requests.

Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a)Protection of Important Natural Features:

There are no important natural features identified within the project scope.

(b) Topographical Alterations:

No topographical alterations are proposed.

(c)Protection of Important Public Views:

Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

See Section 5.4.8, below.

(e) Supporting the Use of Renewable Energy Resources:

No part of this application will preclude the use of wind, water, solar, geothermal, or other renewable energy resource.

(f) Brownfield Sites:

Not applicable.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

The approved reconstruction of the front porches will enhance residence comfort and safety.

There is no part of this application that threatens to disrupt existing snow removal practices.

(h) Building Location and Orientation:

No change is proposed to the existing building location and orientation.

(i) Vehicular Access:

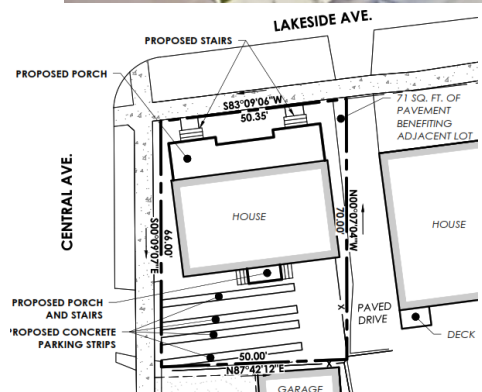
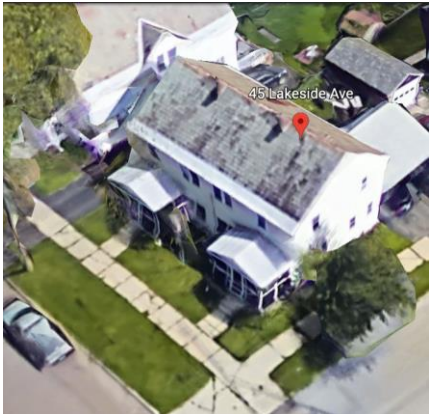
Access is proposed to continue via Central Avenue; however the carport and asphalt pavement are proposed to be removed and replaced with two sets of “tire tracks” in an effort to reduce lot coverage.

(j) Pedestrian Access:

There are two walkways leading to separate entrances along Lakeside Avenue. The site plan provided reflects the intent to keep those access paths.

(k) Accessibility for the Handicapped:

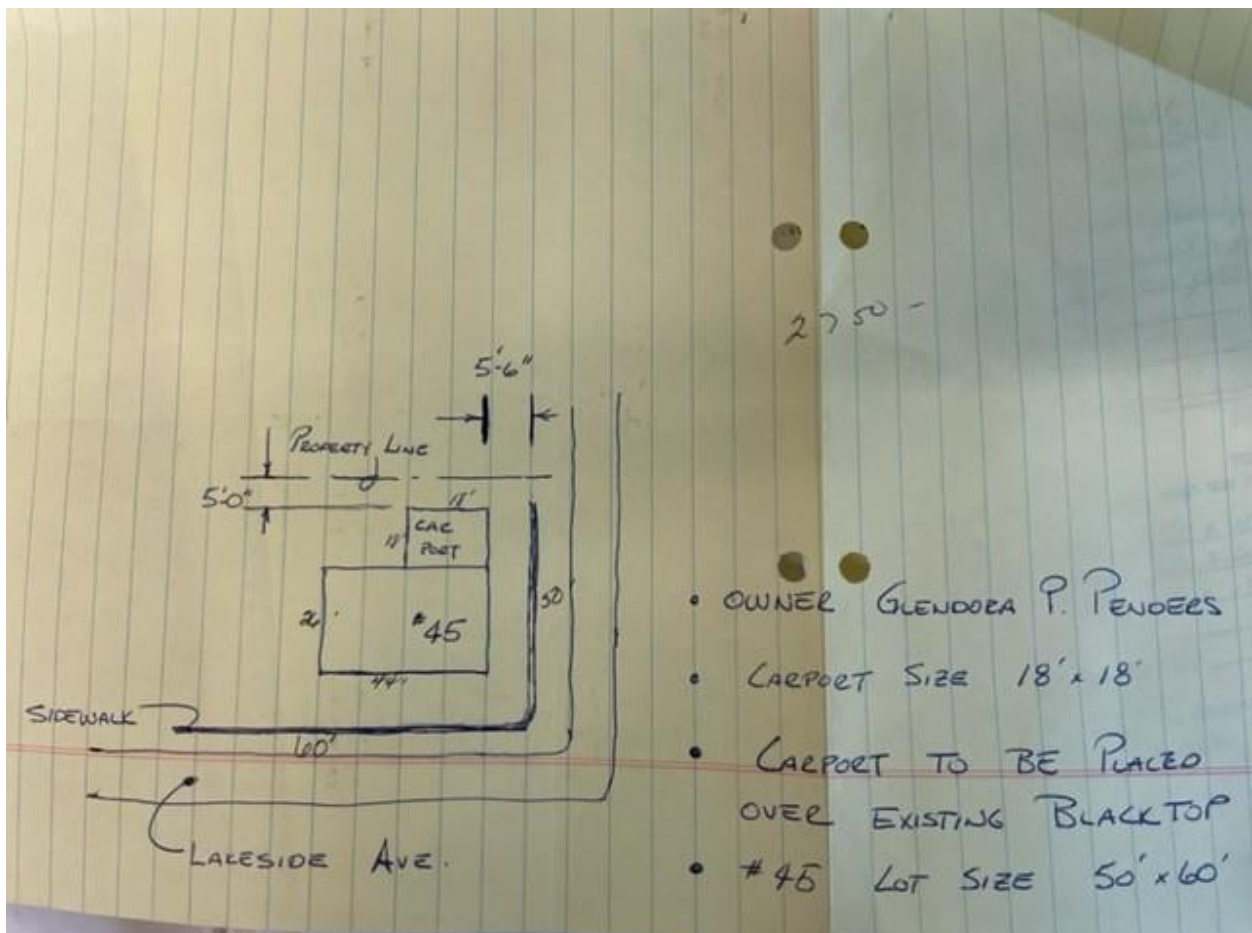
Not applicable.



(I) Parking and Circulation:

Dimensions of features are not provided on the submitted plan; nor is the plan an official survey of the property. From the coverage description it appears that each concrete strip will be approximately 38' long or enough for tandem spaces. Google Earth measurements provide a parking length 29' long to the easterly edge of the carport, while a vehicle is shown exceeding that footprint. The 1978 site plan limits the lot coverage of the carport to 18' x 18' with two parking spaces, so any parking east of that dimension exceeds the 1978 approval.

Although parking is illustrated in the same location as existing, lot coverage is calculated for lot coverage purposes not just on the tirepaths, but where the vehicle is parked. This reflects that the area is not functionally pervious if parking is occurring there. The lot coverage, therefore, remains impervious where vehicles are parked. Section 8.1.11-1 requires 8 x 16' for a single parking space (8 x 36 for tandem); for four parking spaces in tandem side-by-side would be 576 sf – the tire tracks up to that parking area must be counted as well. For this limited area, most of the existing lot coverage will remain.



1978 site plan associated with installation of the carport.

Note that there is no pavement east of the (18' x 18') carport and only spaces identified in approval.

(m) Landscaping and Fences:

Not applicable.

(n) Public Plazas and Open Space:

Not applicable.

(o) Outdoor Lighting:

No lighting is included within the application. Not applicable.

(p) Integrate infrastructure into the design:

Not applicable.

Part 3: Architectural Design Standards

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

While the height and scale of the structure will remain as existing, the massing is somewhat altered by the proposed porch enlargements/extension. The proposed plan is not consistent with the original massing of the porch, and contrary to the characteristics as recorded in the Lakeside Historic District National Register nomination.

2. Roofs and Rooflines.

A standing seam roof is proposed for the connected porches. Sanborn Fire Insurance Map details indicates the original porch roof was a “composition roof” (typically an asphalt product.¹) The



¹ Sanborn Fire Insurance Maps of Burlington, 1942 and 1951.

pediment-styled roofs are proposed for the new construction, spanned by a shed roof. This replacement porch diverges from the colonial styled separate porch entrances associated with this last group of dwellings constructed for the Cotton Mill employees. Similarly, the three-corner-posts are clearly from the Colonial Revival style and must be retained or reproduced.

3. Building Openings

Doors will remain in the same location as existing.

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

See Section 5.4.8.

(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

Nothing is quite as inviting as an open front porch. While the application proposes the reconstruction of a porch, these duplex buildings of the last phase of Lakeside development had individual porch entries for each of the (two) units. The connected porch has occurred as an alteration with earlier examples within the district (Dwelling Type B, C, and D) and not the last to be built.

The district displays porch variation (particularly with Building Type C); however these changes were made prior to adoption of the current ordinance that includes Section 5.4.8. 45-47 Lakeside Avenue retains the original character of the dual porch arrangement characteristic of Building Type E.

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Owners of historic structures are encouraged to consult with an architectural historian in order to determine the most appropriate repair, restoration or replacement of historic building materials as outlined by the requirements of Art 5, Sec. 5.4.8.

There is no submission to assure there has been consultation with an architectural historian, and there are no material specifics of porch replacement material. The Development Review Board

has specifically denied composite material for porch trim, balusters, railings, and decorative components on a listed historic resource. All materials shall be wood; pressure treated is only considered for the superstructure, and when it is hidden by other sheathing.

Porch decking may be a composite material. IPE is proposed and is acceptable.

(f) Reduce energy utilization:

Not applicable.

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

Not applicable.

(i) Make spaces secure and safe:

All redevelopment must meet required building and life safety code as defined by the building inspector and/or fire marshal.

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,

To promote the adaptive re-use of historic buildings and sites.

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

45-47 Lakeside Avenue is a contributing resource within the Lakeside Historic District, listed on the National Register of Historic Places.

(b) Standards and Guidelines:

The following development standards, following the Secretary of the Interior's Standards for the Treatment of Historic Properties, shall be used in the review of all applications involving historic buildings and sites subject to the provisions of this section and the requirements for Design Review

in Art 3, Part 4. The Secretary of the Interior's Standards are basic principles created to help preserve the distinctive character of a historic building and its site. They are a series of concepts about maintaining, repairing and replacing historic features, as well as designing new additions or making alterations. These Standards are intended to be applied in a reasonable manner, taking into consideration economic and technical feasibility.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

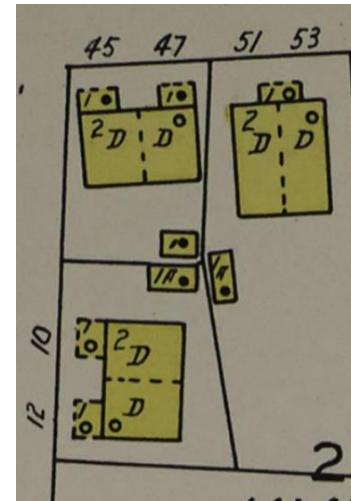
The property was constructed as a duplex between 1919 and 1920 as part of the worker housing neighborhood in support of the Queen City Cotton Mill. The duplex residential use will continue.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The carport was a 1978 addition, and not historic.

The dual front porches, however, are specific characteristic features of these last duplexes; ornamented and attired in attributes associated with the Colonial Revival style. 10-12 Central Avenue and 14-16 Conger Avenue, part of that last development wave of worker housing, still retain their wood shingle siding, slate roofs and dual porches; the latter as does 45-47 Lakeside Avenue.

Although later alterations to siding, windows and the chimney have occurred at 45-47 Lakeside, the owner has received approval to replace the aluminum siding with a composite shingle product and will restore the original window configuration and attic windows. To alter the porches by connecting them to each other threatens to remove a single remaining and important original characteristic of the 1919-1920 plan, and alter the spatial relationship and architectural style that characterizes the property.



Sanborn Fire Insurance Map
(detail) 1942
45-47 Lakeside Avenue top left

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The connected porches was not an original feature of these duplexes; in fact almost all the duplexes within the community had individual entry porches in 1942. To alter the porches would dilute the Colonial Revival character of the structure and introduce an alteration within of the Lakeside district.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The porches, evident on the Sanborn Fire Insurance maps, are significant as a defining feature of the later duplexes within the district, and should be retained as separate entities to retain the integrity of the structure and the overall district.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The dual porches are characteristic not only of Building Type E, but were the common feature of the duplexes within the Lakeside neighborhood.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

An earlier permit (ZP 22-231) approved the overall rehabilitation of 45-47 Lakeside Avenue, including the reconstruction of the existing dual front porches. There is no documentary evidence that the property ever had a single, connected front porch. If the existing porches are in a state of failure, repair or replacement should match the design, detailing, and configuration of the original.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Not applicable.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

There are no known archaeological resources on this site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

To replace historic dual porches with a single connected porch will change the spatial arrangements and features that characterize the property; impacting the integrity of the property and the historic district overall.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The application proposes removal of the dual porches and the carport, with the installation of dual pair of tire paths to accommodate the proposed increase in lot coverage introduced by the enlarged front porch. The carport is not historic; and any effort to reduce lot coverage without altering the character of the structure is encouraged.

The introduction of a large, connected front porch is inconsistent with the original character of the structure and diminishes the historic integrity of the building with removal of the characteristic dual porches. While removal of this connected porch may be feasible in the

future, it is highly unlikely and in the interim will incur significant diminishment of the historic merit of the 1919-1920 Colonial Revival structure.

Items for the Board's consideration:

- Lot coverage is still calculated where vehicles are parked, so a revision must be made to the plans (dimensional measurements needed) to correctly calculate what, if any, diminishment of lot coverage may occur with the removal of the asphalt. The carport is not historic.
- The removal of dual front porches and replacement with a connected porch introduces a conjectural feature inconsistent with the time period of the construction of this Colonial Revival duplex; and diminishes the historic integrity of this structure and the overall historic district.



DRAWING INDEX

CS	COVER SHEET
A1.0	PROPOSED BUILDING ELEVATIONS
A2.0	PROPOSED PORCH PLAN
AB1.0	AS-BUILT BUILDING ELEVATIONS

GENERAL NOTES

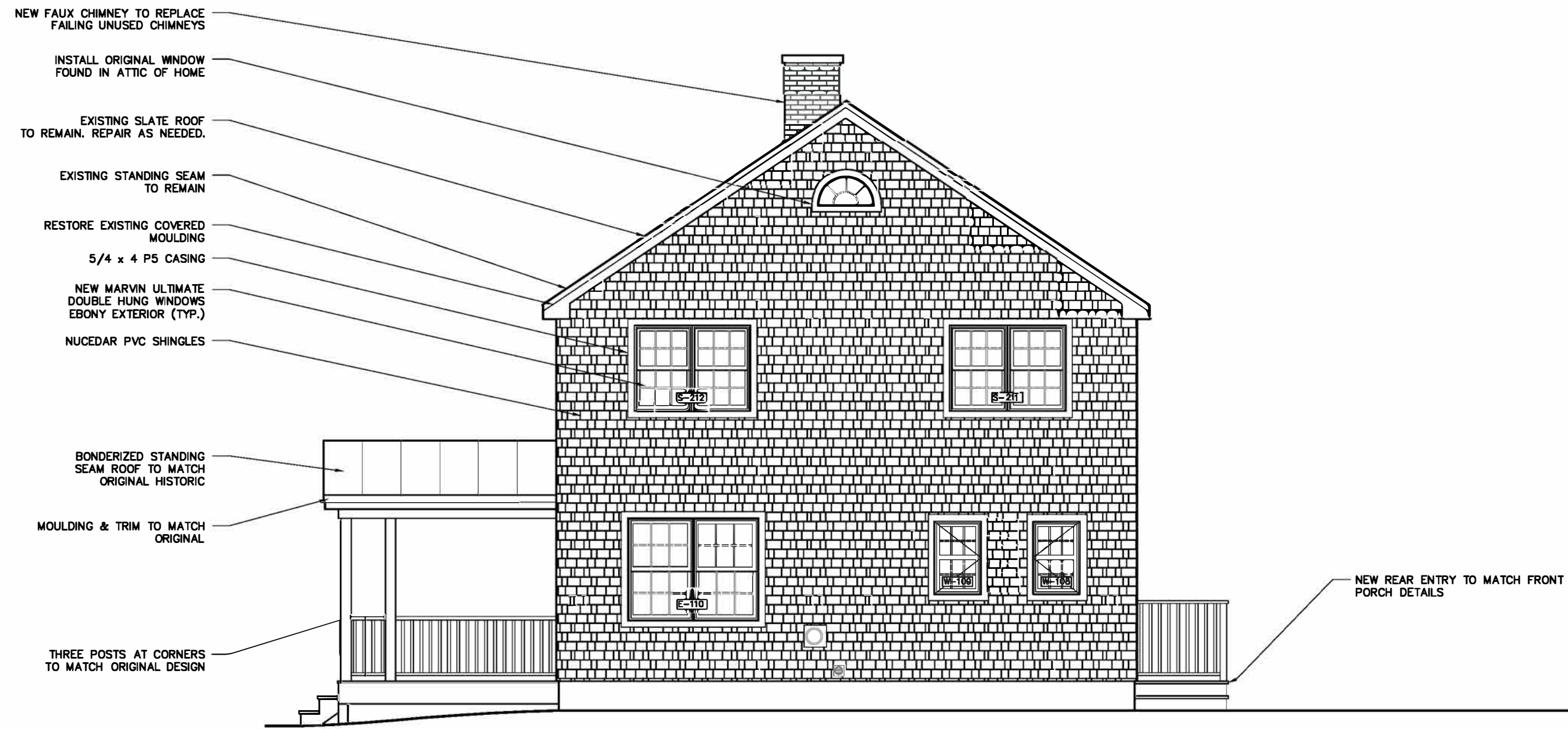
1. LOCATIONS OF EXISTING UTILITIES, RELATED EQUIPMENT, OR FIXTURES IF INDICATED SHALL BE VERIFIED IN THE FIELD PRIOR TO WORK BEGINNING.
2. NO DIMENSION SHALL BE SCALED. THE SCALE OF THESE DRAWINGS MAY HAVE CHANGED DURING REPRODUCTION FROM THE ORIGINAL DRAWING SIZE.
3. THE OWNER SHALL HAVE SOLE RESPONSIBILITY FOR ENSURING THE PROJECT MEETS ALL APPLICABLE ZONING REGULATIONS.
4. ALL WORK SHALL COMPLY WITH APPLICABLE BUILDING CODES, RULES AND REGULATIONS SET FORTH BY LOCAL GOVERNING BODIES. ANY VARIATION FROM THE APPROVED DRAWINGS MUST BE APPROVED IN ADVANCE BY THE OWNER, ARCHITECT, AND GOVERNING BODIES.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION PERFORMED BY SUBCONTRACTORS. ELECTRICAL, PLUMBING AND ANY ABATEMENT WORK SHALL BE PERFORMED BY LICENSED TRADESMEN AND SHALL ARRANGE REQUIRED INSPECTIONS, APPROVALS AND/OR PERMITS.
6. ALL DEBRIS REMOVED FROM THE SITE SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

[illegible]



1 PROPOSED NORTH ELEVATION - FRONT

Scale: 3/16 = 1'



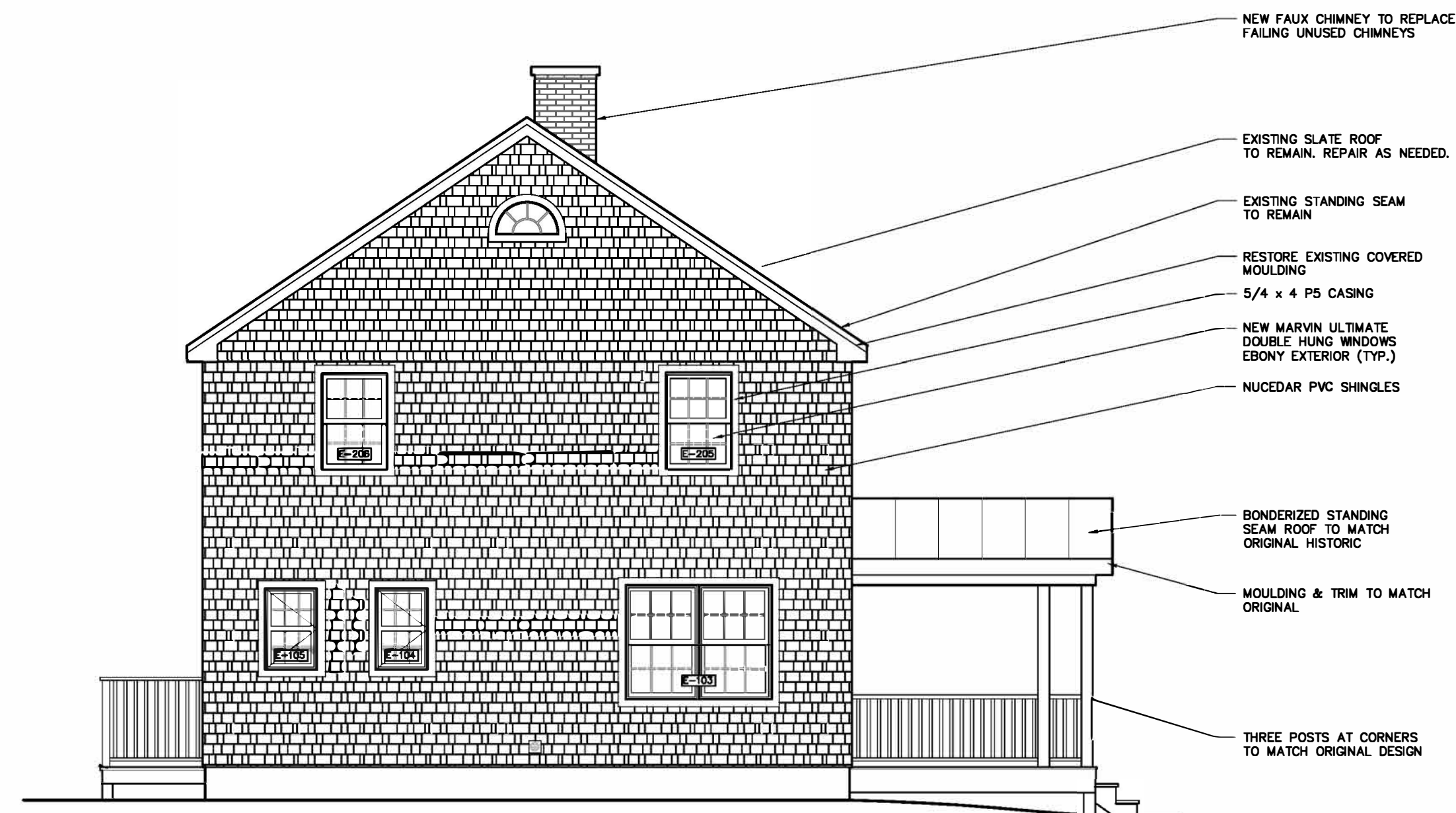
2 PROPOSED WEST ELEVATION - SIDE

Scale: 3/16 = 1'



3 PROPOSED SOUTH ELEVATION - REAR

Scale: 3/16 = 1'



4 PROPOSED EAST ELEVATION - SIDE

Scale: 3/16 = 1'

General Notes

-All dimensions to face of framing unless otherwise noted.

-Do not scale off of drawings. Use dimensions indicated on plans.

No.	Revision/Issue	Date
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Designed By:

Drawn By:

Checked By:

Wild Branch Builders LLC.
3679 North Cambridge Rd.
Jeffersonville, VT 05464
802.338.8519

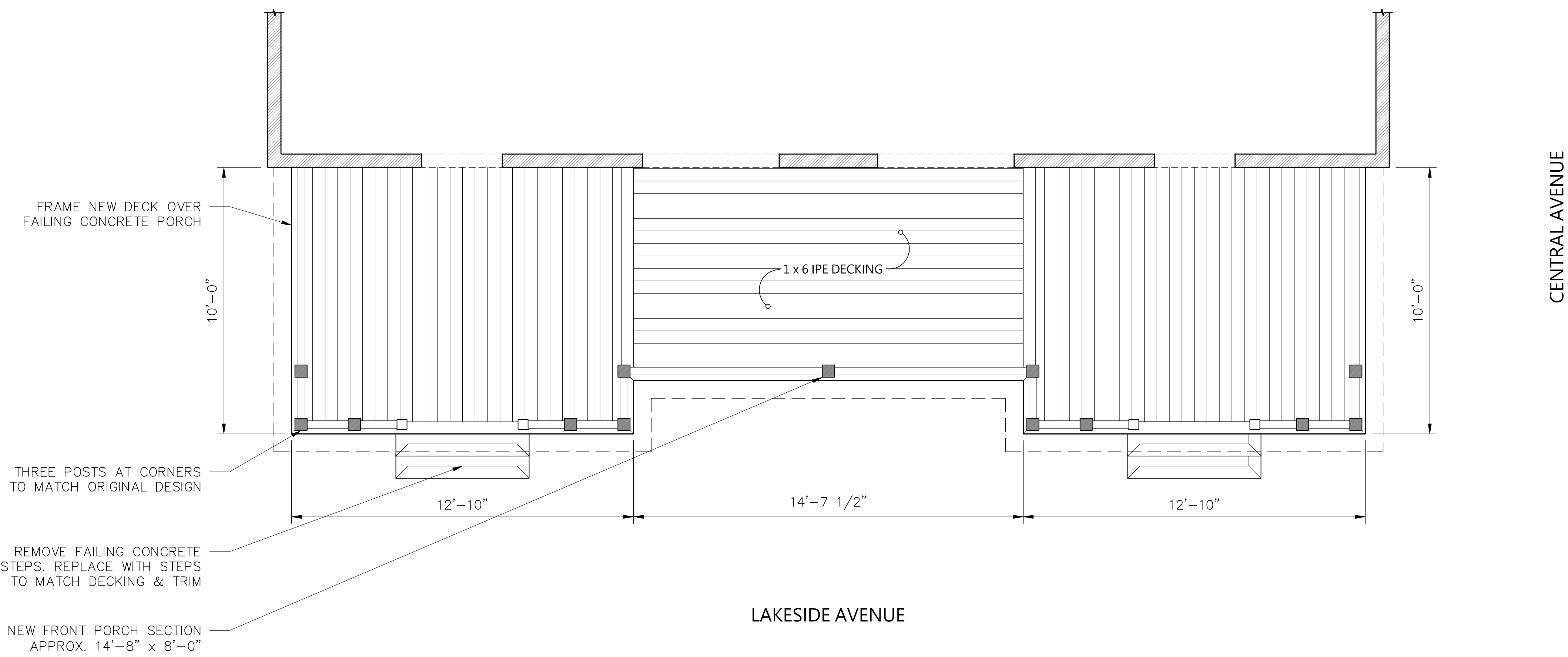
Bosley Duplex
45-47 Lakeside Ave.
Burlington, Vermont 05401

PROPOSED BUILDING ELEVATIONS

8/23/2022

Scale: AS NOTED

A1.0



1 PROPOSED FRONT PORCH

Scale: 3/8" = 1'-0"
N

General Notes

-All dimensions to face of framing unless otherwise noted.

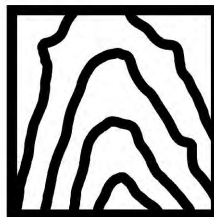
-Do not scale off of drawings. Use dimensions indicated on plans.

No.	Revision/Issue	Date

Designed By:

Drawn By:

Checked By:



WILD
BRANCH
BUILDERS

Design + Build

Wild Branch Builders LLC.

3679 North Cambridge Rd.

Jeffersonville, VT 05464

802.338.8519

Bosley Duplex

45-47 Lakeside Ave.

Burlington, Vermont 05401

PROPOSED FRONT PORCH PLAN

8/23/2022

Scale: AS NOTED

A2.0



1 EXISTING NORTH ELEVATION - FRONT

Scale: 3/16 = 1'



2 EXISTING WEST ELEVATION - SIDE

Scale: 3/16 = 1'



3 EXISTING SOUTH ELEVATION - FRONT

Scale: 3/16 = 1'



4 EXISTING EAST ELEVATION - SIDE

Scale: 3/16 = 1'

General Notes

-All dimensions to face of framing unless otherwise noted.

-Do not scale off of drawings. Use dimensions indicated on plans.

No.	Revision/Issue	Date
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Designed By:

Drawn By:

Checked By:



Wild Branch Builders LLC.
3679 North Cambridge Rd.
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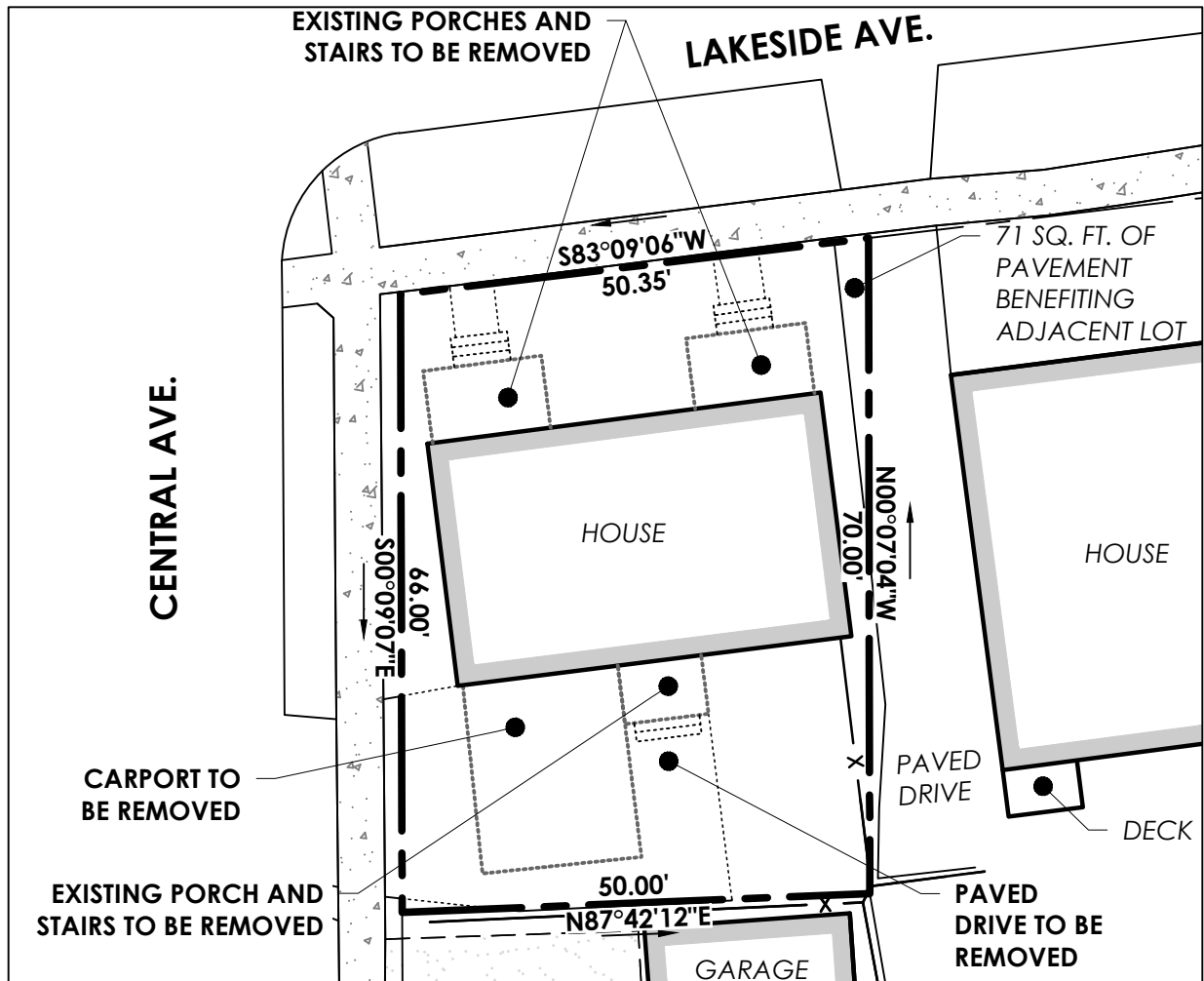
Bosley Duplex
45-47 Lakeside Ave.
Burlington, Vermont 05401

AS-BUILT BUILDING ELEVATIONS

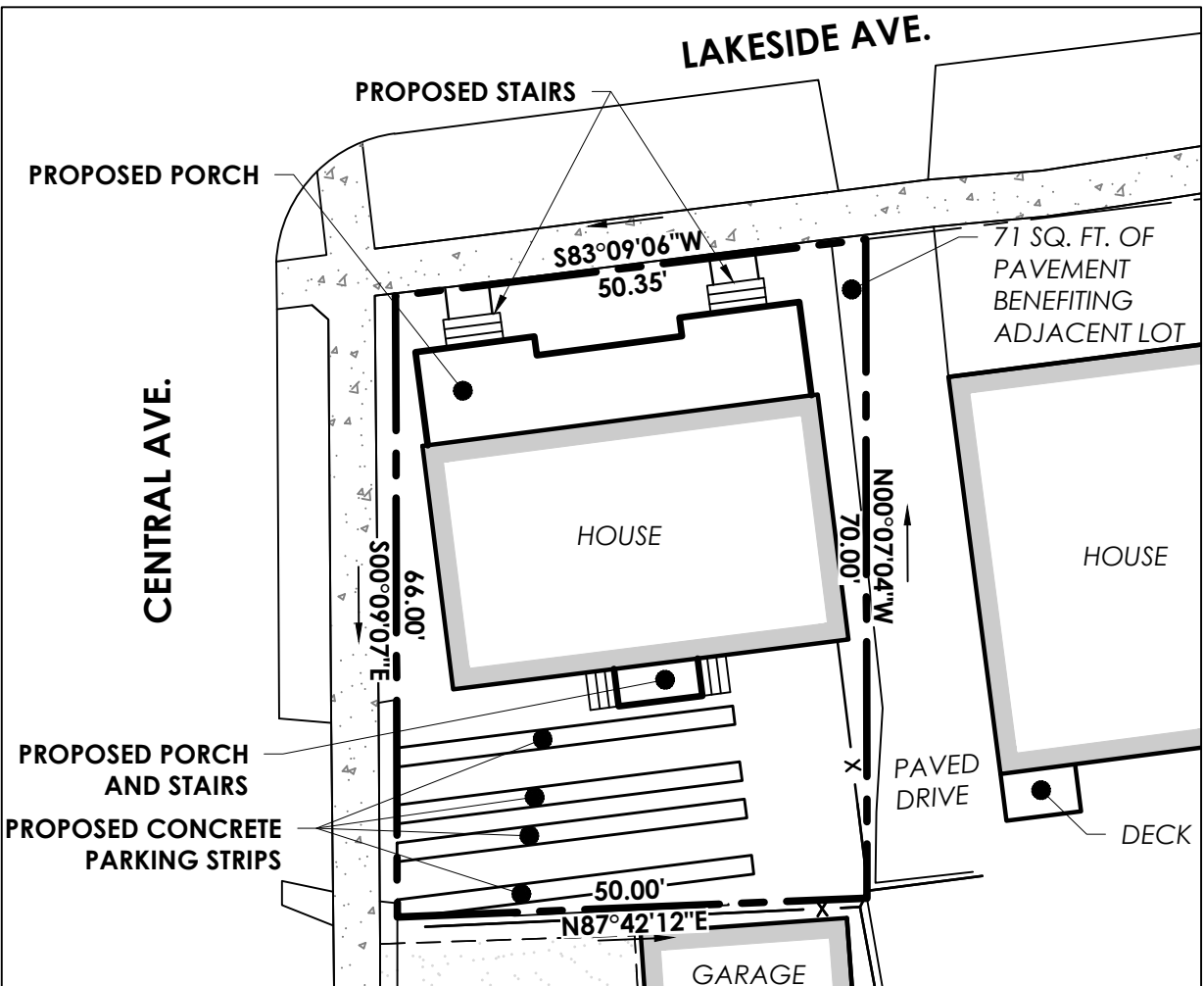
8/23/2022

Scale: AS NOTED

AB1.0



EXISTING



PROPOSED

TOTAL LOT AREA = 3399 SQ. FT.

EXISTING COVERAGE:

COVERED AREAS = 2280.7 SQ. FT. OR 67.1%:

- HOUSE = 1107.5 SQ. FT. OR 32.6%
- PORCHES = 252.7 SQ. FT. OR 7.4%
- STAIRS = 51.5 SQ. FT. OR 1.5%
- CONCRETE WALKWAY = 49.9 SQ. FT. OR 1.5%
- CARPORT = 344.5 SQ. FT. OR 10.1%
- PAVEMENT = 474.6 SQ. FT. OR 14.0%

UNCOVERED AREAS = 1118.3 SQ. FT. OR 32.9%

- LAWN = 1118.3 SQ. FT. OR 32.9%

EXISTING IMPERVIOUS VS. PERVIOUS AREAS:

IMPERVIOUS AREAS = 2280.7 SQ. FT. OR 67.1%:

- HOUSE = 1107.5 SQ. FT. OR 32.6%
- PORCHES = 252.7 SQ. FT. OR 7.4%
- STAIRS = 51.5 SQ. FT. OR 1.5%
- CONCRETE WALKWAY = 49.9 SQ. FT. OR 1.5%
- CARPORT = 344.5 SQ. FT. OR 10.1%
- PAVEMENT = 474.6 SQ. FT. OR 14.0%

PERVIOUS AREAS = 1118.3 SQ. FT. OR 32.9%

- LAWN = 1118.3 SQ. FT. OR 32.9%

PLOT PLAN NOTES:

1. THE PURPOSE OF THE PROPOSED PLOT PLAN IS TO DEPICT THE PROPOSED IMPROVEMENTS TO 45-47 LAKESIDE DRIVE AND DISTINGUISH PERVIOUS VS. IMPERVIOUS AREA
2. BEARINGS SHOWN ARE BASED UPON VERMONT GRID NORTH USING VT VRS .
3. VERTICAL DATUM IS BASED ON NAVD88 (GEIOD 12). A TRIMBLE R6 RTK GPS UNIT WAS EMPLOYED FOR THESE OBSERVATIONS.
4. COORDINATE SYSTEM IS BASED ON VERMONT STATE PLANE (U.S. SURVEY FEET).
5. PERIMETER BOUNDARIES SHOWN HEREON ARE STRICTLY FROM STREET ALIGNMENT, EVIDENCE FOUND IN THE FIELD, AND A SURVEY OF RECORD.
6. SURVEY OF RECORD: "PLAN OF SUBDIVISION OF DWELLING PROPERTIES OF THE QUEEN CITY COTTON COMPANY" DATED MAY 1937 BY H.M. MCINTOSH, C.E. AND RECORDED IN VOL. 110 PAGE 223 OF THE LAND RECORDS OF THE CITY OF BURLINGTON.
7. DEED OF RECORD VOL. 1420 PG. 45.
8. THIS PROPOSED PLOT PLAN DOES NOT DEPICT A FORMAL BOUNDARY SURVEY.

TOTAL LOT AREA = 3399 SQ. FT.

PROPOSED COVERAGE:

COVERED AREAS = 2264.9 SQ. FT. OR 66.6%:

- HOUSE = 1107.5 SQ. FT. OR 32.6%
- PORCHES = 416.3 SQ. FT. OR 12.2%
- STAIRS = 48.1 SQ. FT. OR 1.4%
- CONCRETE WALKWAY = 28.4 SQ. FT. OR 0.8%
- PAVEMENT = 71.0 SQ. FT. OR 2.1%
- PARKING AREA = 593.6 SQ. FT. OR 17.5%

UNCOVERED AREAS = 1134.1 SQ. FT. OR 33.4%

- LAWN = 1134.1 SQ. FT. OR 33.4%

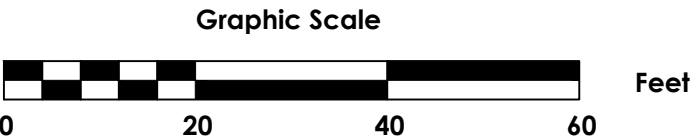
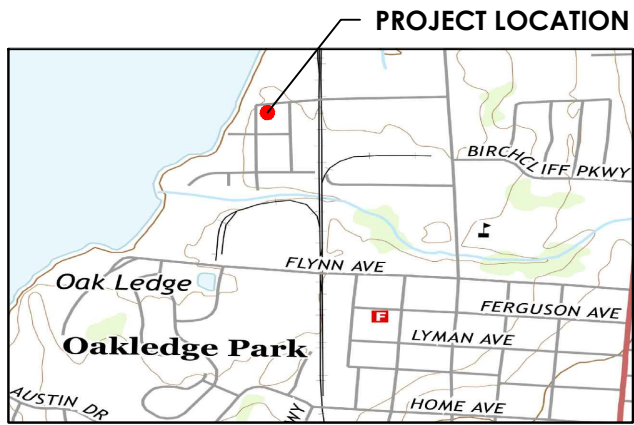
PROPOSED IMPERVIOUS VS. PERVIOUS AREAS:

IMPERVIOUS AREAS = 1968 SQ. FT. OR 57.9%:

- HOUSE = 1107.5 SQ. FT. OR 32.6%
- PORCHES = 416.3 SQ. FT. OR 12.2%
- STAIRS = 48.1 SQ. FT. OR 1.4%
- CONCRETE WALKWAY = 28.4 SQ. FT. OR 0.8%
- PAVEMENT = 71.0 SQ. FT. OR 2.1%
- CONCRETE PARKING = 296.7 SQ. FT. OR 8.7%

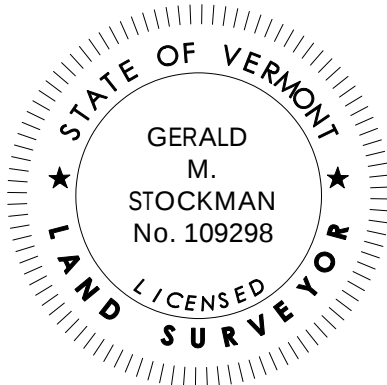
PERVIOUS AREAS = 1431 SQ. FT. OR 42.1%

- LAWN = 1134.1 SQ. FT. OR 33.4%
- GRASS BETWEEN CONCRETE STRIPS = 296.9 SQ. FT. OR 8.7%



TRUDELL CONSULTING ENGINEERS
478 BLAIR PARK ROAD | WILLISTON, VERMONT 05495
802.879.6331 | WWW.TCEVT.COM

Revisions	No.	Description	Date	By



Gerald Stockman IV

Project Title

Bosley
45-47 Lakeside Ave.
Burlington, VT

Sheet Title

Proposed
Plot Plan

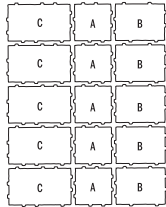
Date:	07/31/2022
Scale:	1"=20'
Project Number:	21-245
Drawn By:	DBM
Project Engineer:	
Approved By:	GMS



PURE

DESCRIPTION: Paver **TEXTURE:** Beveled

PALLET OVERVIEW



The use of permeable pavement systems throughout the world has proven effective in reducing storm water runoff while increasing infiltration rates as it returns the water to the environment. The use of permeable pavers also facilitates LEED® certification easier to obtain.

NOTES

See page 33 and 101 for more technical information.

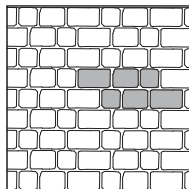
See page 30 for more information about applications.

JOINT WIDTH: 3/8" (10 mm)
% OF SURFACE OPENING: 5.0 %
INFILTRATION RATE: 726 in./hr
 (18 440 mm/hr)

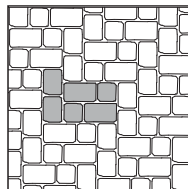
Specifications per pallet	Imperial	Metric
Cubing	90 ft²	8.36 m ²
Approx. Weight	3 175 lbs	1 440 kg
Number of rows	8	
Coverage per row	11.25 ft ²	1.05 m ²
Linear coverage per row	15 lin. ft	4.57 lin. m

	Unit dimensions	in	mm	Units/pallet
 A	Height	3 1/8	80	40 units
	Width	9	229	
	Length	9	229	
B	Height	3 1/8	80	40 units
	Width	9	229	
	Length	12	305	
C	Height	3 1/8	80	40 units
	Width	9	229	
	Length	15	381	

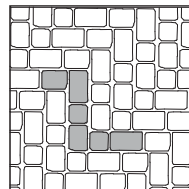
01 | Linear pattern



02 | Herringbone pattern



03 | Modified Herringbone pattern



Patterns are for design inspiration only. The installer is responsible to calculate & purchase the correct amount of material.

Chestnut Brown



Sandlewood



Champlain Grey



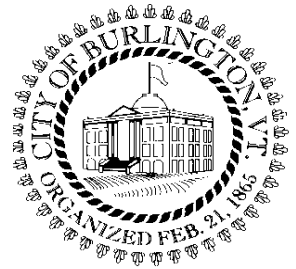
Shale Grey



Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Joseph Cava, Planning Technician
Celeste Crowley, Permit Administrator
Theodore Miles, Zoning Specialist
Charlene Orton, DPI Administrator



MEMORANDUM

To: The Design Advisory Board
From: Mary O'Neil, AICP, Principal Planner
RE: ZP-22-483, 46 Robinson Parkway
Date: September 13, 2022

File: ZP-22-483
Location: 46 Robinson Parkway
Zone: RL **Ward:** 6
Parking District: Neighborhood
Date application accepted: 8.22.22
Applicant/ Owner: Susan Shull, Thomas Simone
Request: Create front porch enclosure; add rear deck.

Background:

- **Zoning Permit 14-0225FC;** install wooden stockade fence on northerly boundary area. September 2013.
- **Zoning Permit 13-1237;** replace eight wood windows with new clad wood windows. June 2013.
- **Zoning Permit 03-010;** 2 story rear addition. July, 2002.



Overview: 46 Robinson Parkway is an existing, single family home that was included in the 2005 Prospect Parkway (North) Historic Sites and Structures Survey. As such, it is considered eligible for historic listing, and the standards of Section 5.4.8 apply. The deck may be considered as a bonus allowance in lot coverage. The changes proposed for the primary façade are largely the subject of this review.

The 1984-85 City of Burlington Revaluation photo illustrates the Colonial-styled home with window shutters. Subsequent photos are absent the shutters, but include the porch roof supported by white wrought-iron style railings. Application photos now include the entrance roof supported by plain dimensional lumber.



Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

No significant natural features are identified within the plan.

(b) Topographical Alterations:

Not applicable.

(c) Protection of Important Public Views:

Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

See Section 5.4.8, below.

(e) Supporting the Use of Renewable Energy Resources:

No part of this application precludes the use of wind, water, solar, geothermal or other renewable energy resource.

(f) Brownfield Sites:

Not applicable.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

Presumably the enclosure of the front entrance with a small entryway is intended to create a space for resident shelter in inclement weather.

(h) Building Location and Orientation:

No change is proposed to the building location or orientation.

(i) Vehicular Access:

Not applicable.

(j) Pedestrian Access:

No change is proposed to the pedestrian access. The front walkway will remain.

(k) Accessibility for the Handicapped:

Not applicable.

(l) Parking and Circulation:

Not applicable.

(m) Landscaping and Fences:

Not applicable.

(n) Public Plazas and Open Space:

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

The project description does not include any definition of lighting. If any light fixtures are proposed, fixture information and illumination levels shall be provided.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

Not applicable.

Part 3: Architectural Design Standards
Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

The enclosure of the front entryway will not increase the massing, height or scale of the existing building. Another nearby residence has a similar front door enclosure.

2. Roofs and Rooflines.

Not applicable.

3. Building Openings

The proposed enclosure will have one window on each side and a storm door facing the street; although the submitted illustrative example includes window lights along the entrance door. If that is intended, the applicant shall confirm.

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

See Section 5.4.8.

(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

The existing home has a Colonial Revival entrance porch, with cornice returns and dentils. The proposed enclosure will somewhat mask the entrance details, but the proposal is both attractive and minimal in treatment.

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Owners of historic structures are encouraged to consult with an architectural historian in order to determine the most appropriate repair, restoration or replacement of historic building materials as outlined by the requirements of Art 5, Sec. 5.4.8.

No repair or restoration of historic building materials is proposed. The application proposes vinyl windows, and wood frame with clapboard sheathing. (*Senesac Building Project Description*) The brick entrance steps will be replaced with a concrete slab (32" x 72"), matching the existing entry footprint.

(f) Reduce energy utilization:

The new entry enclosure will be required to meet the Residential Energy Building Standards, if intended to create a transition to habitable (conditioned) space.

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

Not applicable.

(i) Make spaces secure and safe:

All development is required to meet applicable building and life safety code, as defined by the building inspector.

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,

To promote the adaptive re-use of historic buildings and sites.

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

(b) Standards and Guidelines:

The following development standards, following the Secretary of the Interior's Standards for the Treatment of Historic Properties, shall be used in the review of all applications involving historic buildings and sites subject to the provisions of this section and the requirements for Design Review in Art 3, Part 4. The Secretary of the Interior's Standards are basic principles created to help preserve the distinctive character of a historic building and its site. They are a series of concepts about maintaining, repairing and replacing historic features, as well as designing new additions or making alterations. These Standards are intended to be applied in a reasonable manner, taking into consideration economic and technical feasibility.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

46 Robinson Parkway was constructed in 1931 as a single family residence; a use that continues.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The deck, on a rear elevation, has no impact on the historic character of the home.

The enclosure of the entry porch alters the primary façade of this notable Colonial Revival dwelling, although the treatment is limited in scope and may be deemed reversible.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The application proposes copying a neighboring entry enclosure, which is not original to this home. This type of enclosure may have been a natural alteration to some homes in Burlington, although not original to the design.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

None identified.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The features that characterize this Colonial Revival structure, particularly the denticulation and cornice returns, should remain evident.



Entry porch at 49 Robinson Terrace

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

Not applicable.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Not applicable.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

There are no known archaeological resources at this site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The Design Advisory Board is tasked with assessing whether the proposed new addition (porch enclosure) is compatible with the historic materials, features, size, scale and proportion of the existing home, and does not unreasonably alter the character of the structure.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

It is possible to consider the porch enclosure reversible.

STATE OF VERMONT Division for Historic Preservation Montpelier, VT 05602 HISTORIC SITES & STRUCTURES SURVEY Individual Structure Survey Form		SURVEY NUMBER: 46	
COUNTY: Chittenden		Part of: ☒ District _____ ☐ Complex _____ Contributing ☒ Non-Contributing ☐	
TOWN: Burlington VILLAGE:		Listed on: State Register of Historic Places National Register of Historic Places	
LOCATION: 46 Robinson Parkway		CRITERIA: A ☒ B ☐ C ☒ D ☐	
PROPERTY TYPE: House		NEGATIVE FILE NUMBER:	
OWNER: SIMONE R THOMAS & SUSAN SHULL ADDRESS:		COORDINATES: UTM (ZONE 18) E _____ N _____ VSP (NAD 83) E 444409.07504 N 219425.50171 E911 E 0 N 0	
ACCESSIBILITY TO PUBLIC: Yes ☐ No ☒ Restricted ☐		PRESENT FORMAL NAME:	
HISTORIC CONTEXT: Physical Patterns of Communities		COMMON NAME: 46 Robinson Parkway	
SIGNIFICANCE: Architectural ☒ Historic ☐ Archeological ☐ Engineering ☐		ORIGINAL FORMAL NAME:	
LEVEL OF SIGNIFICANCE: Local ☒ State ☐ National ☐		PRESENT USE: House	
PHYSICAL CONDITION OF STRUCTURE: Excellent ☐ Good ☒ Fair ☐ Poor ☐		ORIGINAL USE: House	
ARCHITECT/ENGINEER:			
BUILDER/CONTRACTOR:			
STYLE: Colonial Revival			
PLAN:			
DATE BUILT: ca.1931			
GENERAL DESCRIPTION: 1. Foundation: Stone ☐ Brick ☒ Concrete ☐ Concrete Block ☐ 2. Wall Structure: a. Wood Frame: Post & Beam ☐ Balloon ☐ b. Load Bearing Masonry: Brick ☐ Stone ☐ Concrete ☐ Concrete Block ☐ Bonding Pattern: c. Iron ☐ Steel ☐ e. Other: F 3. Wall Covering: Clapboard ☐ Board & Batten ☐ Wood Shingle ☐ Shiplap ☐ Novelty ☐ Asbestos Shingle ☐ Sheet Metal ☐ Aluminum & Asphal Siding ☐ Brick Veneer ☒ Stone Veneer ☐ Bonding Pattern: Other: F 4. Roof Structure: a. Truss: Wood ☒ Iron ☐ Steel ☐ Concrete ☐ b. Other: 5. Roof Covering: Slate ☐ Wood Shingle ☐ Asphalt Shingle ☐ Sheet Metal ☐ Built Up ☐ Rolled ☐ Tile ☐ Other: 6. Engineering Structure: 7. Other: 8. Appendages: Porches ☒ Towers ☐ Cupolas ☐ Dormers ☐ Chimneys ☒ Shed ☐ Ells ☐ Wings ☒ Bay Window ☐ Other: 9. Roof Styles: Gable ☒ Hip ☐ Shed ☐ Flat ☐ Mansard ☐ Gambrel ☐ Jerkinhead ☐ Saw Tooth ☐ With Monitor ☐ With Bellcast ☐ With Parapet ☐ With False Front ☐ Other: Number of Stories: 2 Entrance Location: eave center Number of Bays: 3 Approximate Dimensions:			

ADDITIONAL ARCHITECTURAL OR STRUCTURAL DESCRIPTION:**Additional Features:**

dentils; Colonial Revival porch; returns

Additional Description:

Colonial Revival porch; returns; dentils

RELATED STRUCTURES:

Two-bay Garage

STATEMENT OF SIGNIFICANCE:

46 First listed in the Burlington City Directory in 1931, John O Baxendale – Manager of Redfield-Coupe Inc.

REFERENCES:

Mannings Burlington City Directory, Sanborn Insurance Maps 1884-1950

MAP: (Indicate North in Circle)

SURROUNDING ENVIRONMENT:

Open ☐

Woodland ☐

Scattered Buildings ☐

Moderately Built Up ☐

Densely Built Up ☒

Residential ☒

Commercial ☐

Agricultural ☐

Industrial ☐

Roadside Strip Development ☐

Designed Landscape Features ☐

Other:

RECORDED BY:

P. Barlow

ORGANIZATION:

Burlington Planning

DATE RECORDED:

LAST UPDATED:

Burlington Design Advisory Board

Department of Permitting and Inspections

645 Pine Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/DPI/Boards/Design-Advisory-Board/>

Telephone: (802) 865-7188

Ron Wanamaker

Emily Morse

Jack Qualey

Gabriel Stadecker

Jay White

Kathleen Ryan, Alternate

Michael Alvanos, Alternate



DESIGN ADVISORY BOARD Tuesday September 13, 2022 3:00 PM

Minutes

Present: Ron Wanamaker, Jay White, and Gabe Stadecker.

Absent: Emily Morse, Jack Qualey, Kathleen Ryan (alternate) and Michael Alvanos (alternate).

Staff present: Mary O'Neil.

Guests: Susan Shull (46 Robinson Parkway), Robert Hale, Mr. William Bosley and son.

Agenda

Session I – 3:00 PM – 3:30 PM

ZP-22-483; 46 Robinson Parkway (RL, Ward 6S) Thomas Simone / Susan Shull

Small deck addition on back of house and enclosure of small front porch. (Project Manager, Mary O'Neil)

Motion by Jay White: I move we approve the application, conditioned upon the submission of elevation drawings of the front and sides of the proposed enclosure, with windows of wood, clad or fiberglass with simulated divided lights subject to staff review and approval.

2nd – Gabe Stadecker.

Vote 3-0.

Motion carries.

Session II – 3:30-4:00 PM

ZP-22-485; 45-47 Lakeside Avenue (RL-W, Ward 5S) William Bosley / Robert Hale

Removal of existing carport and asphalt driveway and replace with four strips of pavers for parking two vehicles. Demolish and rebuild existing front porches with larger footprint including connector. (Project Manager, Mary O'Neil)

Motion by Jay White: I move we approve the proposed connected porches as long as the carport is removed, and contingent upon agreeable swap of lot coverage.

2nd – Gabe Stadecker

Vote 3-0.

Motion carries.

Adjournment: 3:37 PM.

