

Burlington Development Review Board

149 Church Street, City Hall
Burlington, VT 05401

www.burlingtonvt.gov/pz/DRB

Telephone: (802) 865-7188

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Samantha Tilton
Jim Drummond, (Alternate)
Robert Purvee, (Alternate)



BURLINGTON DEVELOPMENT REVIEW BOARD Tuesday September 19th, 2017, 5:00 PM PUBLIC HEARING NOTICE

The Burlington Development Review Board will hold a meeting on
Tuesday September 19th, 2017 at 5:00pm in Contois Auditorium, City Hall.

- 1. 18-0143CA/CU; 201 Prospect Parkway (RL, Ward 6S) Stephen Richards**
Convert rear addition of garage to accessory dwelling unit.
(Project Manager: Mary O'Neil)

Plans may be viewed in the Planning and Zoning Office, (City Hall, 149 Church Street, Burlington), between the hours of 8:00 a.m. and 4:30 p.m.

Participation in the DRB proceeding is a prerequisite to the right to take any subsequent appeal. Please note that ANYTHING submitted to the Planning and Zoning office is considered public and cannot be kept confidential.

This may not be the final order in which items will be heard. Please view final Agenda, at www.burlingtonvt.gov/pz/drbb/agendas or the office notice board, one week before the hearing for the order in which items will be heard.

The programs and services of the City of Burlington are accessible to people with disabilities. Individuals who require special arrangements to participate are encouraged to contact the Department of Planning & Zoning at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188 (TTY users: 865-7142).

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BURLINGTON DEVELOPMENT REVIEW BOARD Tuesday September 19th, 2017, 5:00 PM Contois Auditorium, City Hall, 149 Church St, Burlington, VT AGENDA

I. Agenda

II. Communications

III. Minutes

IV. Consent

- 1. 18-0143CA/CU; 201 Prospect Parkway (RL, Ward 6S) Stephen Richards**
Convert rear addition of garage to accessory dwelling unit.
(Project Manager: Mary O'Neil)
- 2. 17-1150CA/CU; 3163 North Avenue (RL-W, Ward 7N) Elizabeth and John Allen Shappy**
Construct concrete pad and deck.
(Project Manager: Scott Gustin)
- 3. 18-0210CA; 180 Flynn Avenue (ELM, Ward 5S) L.J.C. INC**
Interior renovations and addition to existing warehouse building, including improvements to an existing loading dock.
(Project Manager: Mary O'Neil)

V. Public Hearing

- 1. 17-1103AP; 383 College Street (RH, Ward 8E) Astra Burlington LLC**
Appeal of a zoning violation #334211 for conversion of a multi-use 5 office and 12 residential unit structure to a 14 residential unit building with commercial use, exterior signs and site plan alterations.
(Project Manager: Jeanne Francis)

VI. Certificate of Appropriateness

- 1. 18-0035CA; 505 Lake Street (UR, Ward 3C) Community Sailing Center/City of Burlington**
Provision of 9 onsite parking spaces and request for parking waiver.
(Project Manager: Scott Gustin)

VII. Other Business

VIII. Adjournment

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Department of Planning and Zoning

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Meagan Tuttle, AICP, Comprehensive Planner
Jay Appleton, Senior GIS/IT Programmer/Analyst
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, CFM, Associate Planner
Layne Darfler, Planning Technician
Anita Wade, Zoning Clerk



MEMORANDUM

To: Development Review Board
From: Mary O'Neil, AICP, Principal Planner
Date: September 19, 2017
RE: ZP18-0143CA/CU

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP18-0143CA/CU

Location: 201 Prospect Parkway

Zone: RL Ward: 6S

Date application accepted: August 8, 2017

Applicant/ Owner: Eugene Richards III / Stephen Richards

Request: Convert rear addition of garage to accessory dwelling unit.

Background:

- **Zoning Permit 18-0142CA;** window and door replacement and rearrangement on garage. August 2017.
- **Zoning Permit 87-838;** rear addition to existing garage and addition of screened porch to home. April 1988.

Overview: 201 South Prospect Street has an oversized two car garage with a permitted rear addition which is proposed to be converted to a new accessory dwelling unit.



Applicable regulations: Article 3 (Applications Permits and Project Reviews), Article 4 (Zoning Maps and Districts), Article 5 (Citywide General Regulations), Article 6 (Development Review Standards), and Article 8 (Parking.)

Recommendation: **Consent approval**, per the following findings and conditions.

I. Findings

Article 2: Administrative Mechanisms **Section 2.7.8 Withhold Permit**

The administrative officer is authorized to deny all zoning permits or certificates of occupancy for any property with an uncorrected zoning violation (i.e. notice of zoning violation and/or municipal complaint ticket has been issued and is not under appeal). The administrative officer is also authorized to deny all zoning permits for any property with an expired zoning permit without a final certificate of occupancy.

*Instead of withholding or denying a zoning permit, the administrative officer may grant such permit **subject to the condition that the uncorrected zoning violation is corrected or the expired zoning permit is closed out with a final certificate of occupancy.** Such action(s) shall take place before the issuance of a final certificate of occupancy on the new permit.*

Affirmative finding as conditioned.

Article 3: Applications, Permit and Project Reviews

Part 5: Conditional Use

Section 3.5.6 Review Criteria

(a) Conditional Use Review Standards (as adopted by City Council 8.10.2015)

Approval shall be granted only if the DRB, after public notice and public hearing, determines that the proposed conditional use and associated development shall not result in an undue adverse effect on each of the following general standards:

1. *Existing or planned public utilities, facilities, or services are capable of supporting the proposed use in addition to the existing uses in the area.*

*Incorporation of an accessory dwelling unit with an existing single family home in a residential zoning district will not result in an undue adverse effect on existing or planned public facilities. **Affirmative finding.***

2. *The character of the area affected as defined by the purpose or purposes of the zoning district(s) within which the project is located, and specifically stated policies and standards of the municipal development Plan;*

This is a residential zoning district; the proposed addition to an existing single family home to include an accessory dwelling unit is in concert with the district and the Municipal Development Plan:

- *Support the development of additional housing opportunities within the city... [MDP, Housing Plan, Page IX-1.]*
- *Encourage a wide range of housing options to meet different and changing needs of households with children, the elderly, people with disabilities and moderate and low income households. [MDP, Housing Plan, Page IX-1.]*
- *Conserve the existing elements and design of its established neighborhoods. [MDP, Historic Preservation, Page IV-1.]*
- *Support the creation of new rental and owner-occupied housing on every parcel of land in Burlington that is zoned for residential development at the number of units allowed by zoning. [MDP, Housing Plan, Page IX-12.]*

Affirmative finding.

3. *The proposed use will not have nuisance impacts from noise, odor, dust, heat, and vibrations greater than typically generated by other permitted uses in the same zoning district;*

The addition of an accessory dwelling unit with an existing single family home will have no discernable nuisance impacts, with effects typical of other residences in the neighborhood. **Affirmative finding.**

4. *The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street designations and capacity; level of service and other performance measures; access to arterial roadways; connectivity; transit availability; parking and access; impacts on pedestrian, bicycle and transit circulation, safety for all modes; and adequate transportation demand management strategies;*

The required addition of a single parking space for the accessory dwelling unit will have no measureable impact on transportation systems, street level of service or other performance measures. Prospect Parkway is an established thoroughfare; existing sidewalks are on the opposite side of the street but an existing walkway on the parcel leads to the public right-of-way via the driveway. The street is broad enough to accommodate bicycle traffic comfortably.

A new walkway is proposed from the driveway to the new ADU. As arranged, the plan may be deemed compliant. **Affirmative finding.**
and

5. *The utilization of renewable energy resources;*

No part of this application will prevent the use of wind, solar, water, geothermal or other renewable energy resource. **Affirmative finding.**
and

6. *Any standards or factors set forth in existing City bylaws and city and state ordinances.*

The applicant will be required to provide a letter from the Department of Public Works confirming adequate water and sewer capacity for the new accessory dwelling unit. Additionally, Withhold Permit standards (Section 2.7.8) shall require that any zoning violations be remedied and any permits issued after July 13, 1989 be closed out.

Affirmative finding as conditioned.

(c) Conditions of Approval

In addition to imposing conditions of approval necessary to satisfy the General Standards specified in (a) or (b) above, the DRB may also impose additional conditions of approval relative to any of the following:

1. *Mitigation measures, including but not limited to screening, landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area;*

The required third parking space can be easily accommodated in the existing driveway or garage. There are no identified impacts that would require mitigation.

Affirmative finding.

2. *Time limits for construction.*

The permit will have a two-year life from the date of approval. Reference is made to Section 3.2.9 (d). **Affirmative finding as conditioned.**

3. *Hours of operation and/or construction to reduce the impact on surrounding properties.*

Residential use has no limitation on hours of operation.
Construction shall be limited Monday-Friday 7:30- 5:30 pm, with indoor work only on Saturdays. No construction shall occur on Sundays. **Affirmative finding as conditioned.**

4. *That any future enlargement or alteration of the use return for review to the DRB to permit the specifying of new conditions,*

Any enlargement will be reviewed under the zoning regulations in effect at that time.

Affirmative finding.

and

5. *Such additional reasonable performance standards, conditions and safeguards as it may deem necessary to implement the purposes of this chapter and the zoning regulations.*

Any other performance standards are at the discretion of the Development Review Board.

Article 4: Zoning Maps and Districts

Section 4.4.5 Residential Districts

Table 4.4.5-1 Minimum Lot Size and Frontage: RL, RL-W, RM and RM-W

201 Prospect Parkways exceeds the required minimum lot size of 6,000 sf (15,000 sf lot) and required lot frontage of 60' (99'). **Affirmative finding.**

Table 4.4.5-3 Residential District Dimensional Standards

Zoning District	Max. Lot Coverage ¹	Setbacks ^{1, 3, 4, 5, 6}				
		Front ²	Side ³	Rear	Waterfront	Max. Height ¹
RL; WRL	35%	Min/Max: Ave. of 2 adjacent lots on both sides +/- 5-feet	Min: 10% of lot width or ave. of side yard setback of 2 adjacent lots on both sides Max required: 20'	Min: 25% of lot depth but in no event less than 20' Max required: 75-feet	Min: 75' feet from the ordinary high water mark of Lake Champlain and the Winooski River	35-feet
201 Prospect Parkway	28% existing; 28.8% proposed	No change	No change.	No change.	N/A	No change

Affirmative finding.

Article 5: Citywide General Regulations

Section 5.2.1 Existing Small Lots

Not applicable.

Section 5.2.2 Required Frontage or Access

The subject parcel has 99' frontage on a public road with a two car access driveway to a double garage. **Affirmative finding.**

Section 5.2.3 Lot Coverage Requirements

See Table 4.4.5-3, above.

Section 5.2.4 Buildable Area Calculation

This lot does not exceed 2 acres in size. Not applicable.

Section 5.2.5 Setbacks

See Table 4.4.5-3, above.

Section 5.2.6 Building Height Limits

See Table 4.4.5-3, above.

Section 5.2.7 Density and Intensity of Development Calculations

The property will remain a single family home, utilizing a previously permitted structural addition to the garage as an accessory dwelling unit. For purposes of density, the property remains a single family home. **Affirmative finding.**

Section 5.3.6 Nonconforming Lots

Not applicable.

Section 5.4.5 Accessory Dwelling Units**(a) Accessory Units, General Standards/Permitted Uses:**

Where there is a primary structure on a lot which exists as an owner-occupied single family residence, one accessory dwelling unit, that is located within or appurtenant to such single family dwelling, shall be allowed as a permitted use if the provisions of this subsection are met.

An accessory dwelling unit means an efficiency or one-bedroom apartment that is clearly subordinate to the primary dwelling, and has facilities and provisions for independent living, including sleeping, food preparation, and sanitation. No accessory unit shall be inhabited by more than 2 adult occupants. An accessory unit shall not be counted as a dwelling unit for the purposes of density calculation. Additionally, there must be compliance with all the following:

- 1. The property has sufficient wastewater capacity as certified by the department of public works;*

The applicant will be required to provide written proof of water/sewer capacity issued from the Department of Public Works. **Affirmative finding as conditioned.**

- 2. The unit does not consist of more than 30 percent of the total habitable floor area of the building, inclusive of the accessory dwelling unit;*

616 sf. is 23.33% of 2640 sf sf; the total finished area of both the existing single family residence (2024 sf) and the proposed apartment area. This is within the 30% maximum allowance.

Affirmative finding.

3. *Applicable setback and coverage requirements are met;*

See Table 4.4.5-3, above. **Affirmative finding.**

4. *One additional parking space which may be legally allocated to the accessory unit must be provided for the accessory unit;*

The site plan confirms the adequacy of parking illustrating a two lane driveway leading to an oversized 2 car garage. Two cars can be accommodated in the garage, and the required third parking space behind either one in the driveway. **Affirmative finding.**

and,

5. *A deed or instrument for the property shall be entered into the land records by the owner containing a reference to the permit granting the accessory unit prior to the issuance of the certificate of occupancy for the unit. Such reference shall identify the permit number and note that the property is subject to the permit and its terms and conditions including owner occupancy. No certificate of occupancy shall be issued for the unit unless the owner has recorded such a notice.*

This remains a condition of approval. **Affirmative finding as conditioned.**

(b) Conditional Use for Accessory Units:

If any of the following are also proposed, conditional use approval as well as development review provisions of Article 6 shall be required:

1. *A new accessory structure;*
2. *An increase in the height or habitable floor area of the existing dwelling;*
3. *An Increase in the dimensions of any parking area.*

The application proposes expanded habitable area, so Conditional Use Review applies. See Section 3.5.6 (a), above.

(c) Discontinuance of Accessory Units:

Approval of an accessory dwelling unit is contingent on owner occupancy of the single-family dwelling unit as a primary residence. For purposes of this section, owner occupancy means that, after the creation of the accessory unit all individuals listed on the deed for the property must reside in the primary unit or in the accessory unit. If either the primary unit or the accessory unit is no longer owner occupied as a primary residence, the approval for the accessory dwelling unit is void and the kitchen of the accessory dwelling unit must be removed within 90 days with the entirety of the property being occupied as a single unit. When an accessory unit that is the result of additional square footage and/or a new accessory structure is proposed to be removed, revised floor plans and a revised site plan shall be required to be submitted for review and approval. Furthermore, where additional square footage is added to a single family home for purposes of creating an accessory unit and the accessory unit is at any point discontinued, none of the additional square footage shall be eligible for the purposes of increasing the number of unrelated adults that may be allowed to inhabit the property.

Affirmative finding as conditioned.

Article 6: Development Review Standards

Part 1: Land Division Design Standards

No land division is proposed. Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

Not applicable.

(b) Topographical Alterations:

The project submission does not detail any proposed changes to topography. **Affirmative finding.**

(c) Protection of Important Public Views:

There are no protected important public views from this parcel. Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

The property was surveyed within the 2005 Historic Sites and Structures Survey of Prospect Park, and was determined to be eligible for historic listing. There are no exterior changes proposed within this application other than a new walkway. **Affirmative finding.**

(e) Supporting the Use of Renewable Energy Resources:

No part of the application will prevent the utilization of wind, solar, water, geothermal or other renewable energy resource. **Affirmative finding.**

(f) Brownfield Sites:

The site is not listed on the VT ANR or DEC Brownfields list of identified sites. **Affirmative finding.**

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

No ground disturbance is proposed so there is no requirement for an Erosion Prevention and Sediment Control Plan.

The principal entrance to the ADU is proposed on the north elevation. A walkway with an exterior light has been provided to that entrance. **Affirmative finding.**

(h) Building Location and Orientation:

Not applicable.

(i) Vehicular Access:

There is an existing driveway which presently provides site access. This right of entry will remain.

Affirmative finding.

(j) Pedestrian Access:

There remains an existing walkway to the principal residence, with a small walkway added from the driveway to the north entrance of the ADU. **Affirmative finding.**

(k) Accessibility for the Handicapped:

Accessibility is not a requirement for a single family residence, but it encouraged.

Not applicable.

(l) Parking and Circulation:

The existing driveway easily accommodates 2 parking spaces; the two car garage remains available for parking 2 cars. The required 3 total parking spaces can be accommodated without further alteration. **Affirmative finding.**

(m) Landscaping and Fences:

Not applicable.

(n) Public Plazas and Open Space:

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

The applicant has submitted a spec sheet of a full cut-off residential style lighting fixture; sufficient for the use and compliance with this standard. **Affirmative finding.**

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

Utility connections are existing and not proposed for alteration. The existing garage can accommodate trash and recycling. The ADU mailbox is anticipated to be co-located with the existing mailbox for the primary residence. An exterior vent will be located on the north elevation. If any additional mechanical equipment is proposed, it, too must be identified by spec sheet and location on a plan as appropriate. **Affirmative finding as conditioned.**

Part 3: Architectural Design Standards

Sec. 6.3.2 Review Standards

Window and door replacement on the garage has previously been permitted. No other exterior changes are proposed. Not applicable.

Article 8: Parking

The existing single family home requires 2 parking spaces in the Neighborhood Parking District, and the proposed ADU requires 1 additional space. Three parking spaces can be accommodated in the double wide driveway and two car garage. **Affirmative finding.**

II. Conditions of Approval

1. A deed or instrument for the property shall be entered into the land records by the owner containing a reference to the permit granting the accessory unit **prior to the issuance of the certificate of occupancy for the unit.** Such reference shall identify the permit number and note that the property is subject to the permit and its terms and conditions **including owner occupancy.** No certificate of occupancy shall be issued for the unit unless the owner has recorded such a notice.
2. **Approval of an accessory dwelling unit is contingent on owner occupancy of the single-family dwelling unit as a primary residence.** For purposes of this section, owner occupancy means that, after the creation of the accessory unit all individuals listed on the deed for the property must reside in the primary unit or in the accessory unit. If either the primary unit or the accessory unit is no longer owner occupied as a primary residence, the

approval for the accessory dwelling unit is void and the kitchen of the accessory dwelling unit must be removed within 90 days with the entirety of the property being occupied as a single unit. When an accessory unit that is the result of additional square footage and/or a new accessory structure is proposed to be removed, revised floor plans and a revised site plan shall be required to be submitted for review and approval. Furthermore, where additional square footage is added to a single family home for purposes of creating an accessory unit and the accessory unit is at any point discontinued, none of the additional square footage shall be eligible for the purposes of increasing the number of unrelated adults that may be allowed to inhabit the property.

3. Functional Family provisions of the ordinance remain in effect. Not more than 4 unrelated adults may occupy the single family residence.
4. No more than 2 adults may occupy the Accessory Dwelling Unit.
5. The accessory dwelling unit is limited to 30% of the habitable area of the single family residence including the ADU.
6. A letter assuring adequate wastewater and water capacity for the new unit from the Department of Public Works shall be required **prior to release of the zoning permit.**
7. Hours of construction are limited to 7:30 am- 5:30 pm Monday through Friday. Saturday construction is limited to interior work. No construction shall occur on Sundays.
8. Any additional mechanical equipment (if proposed) shall be illustrated on a site plan or building elevation as appropriate and is subject to review and approval by staff.
9. All new construction is required to meet the Guidelines for Energy Efficient construction pursuant to the requirements of Article VI, Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.
10. Per **Section 2.7.8, Withhold Permit**, the applicant is required to remedy all violations and close out all zoning permits issued after July 13, 1989 prior to issuance of a Certificate of Occupancy for this permit.
11. Standard Permit Conditions 1-15.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.

201 Prospect Parkway Site Information:

Record Owner: Stephen Richards

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PLANNING & ZONING

Coverage Calculation: *source BTV Public Works

Existing

Main Dwelling: (24X40) +~(14x23)	1256 sqft.
Garage with Accessory (26x28)+(22x22)	1212 sqft.
Patio	42 sqft.
Screen porch	282 sqft.
Canopy (3x8)	24 sqft
Driveway (64' x 19.6')	1254 sqft.
FrontWalk	136 sqft
Total: (28% Coverage)	4206 sq.ft.

Proposed

Main Dwelling: (24X40) +~(14x23)	1256 sqft.
Garage with Accessory (26x28)+(22x22)	1212 sqft.
Patio	42 sqft.
Screen porch	282 sqft.
Canopy (3x8)	24 sqft
Driveway (64' x 19.6')	1254 sqft.
FrontWalk	136 sqft
New Sidewalk	111 sqft
Total:	4317 sq.ft.

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AUG 08 2017

DEPARTMENT OF
PLANNING & ZONING

Proposed coverage:

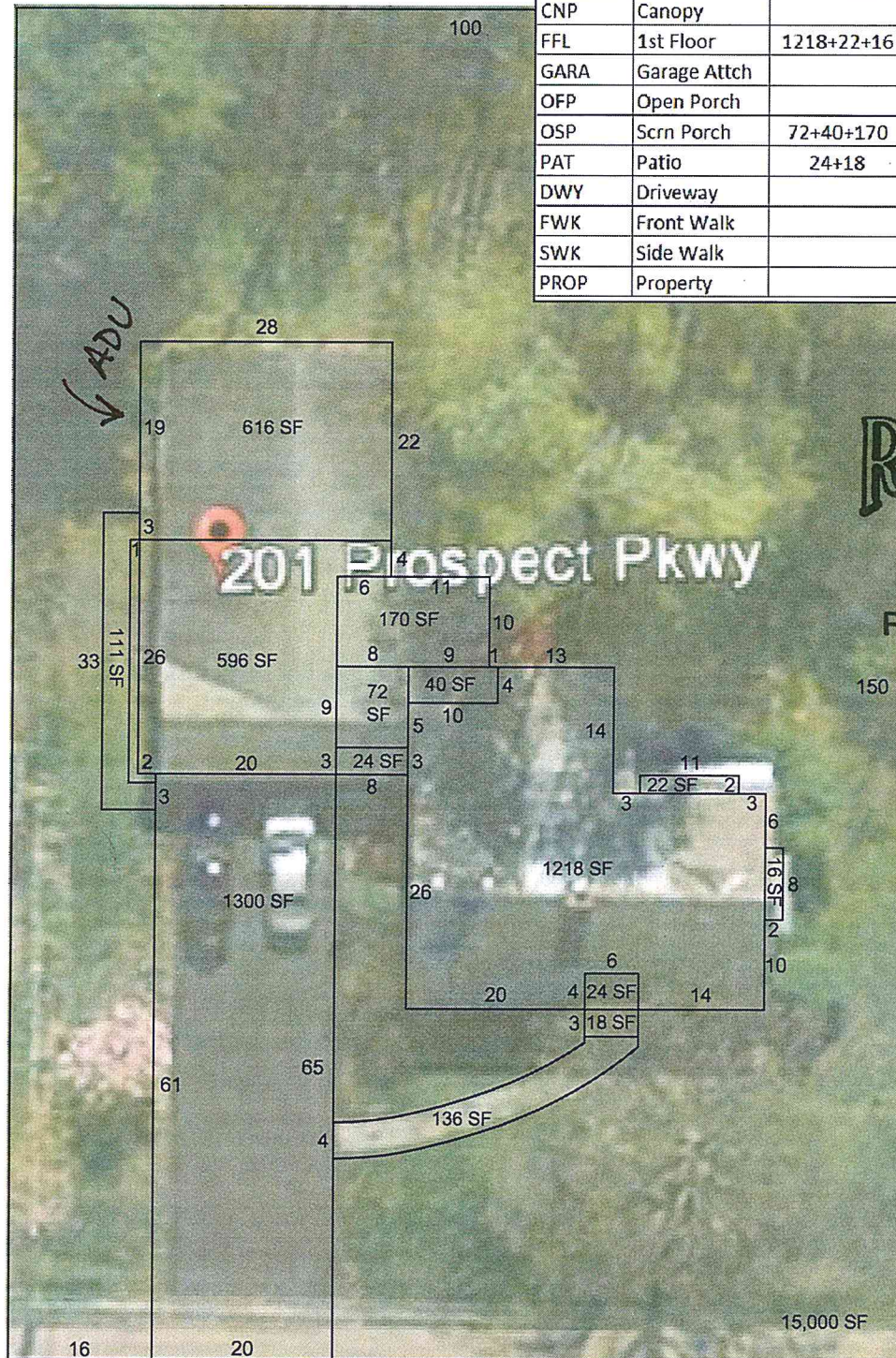
15,000 Square Feet (+-)

$4317/15,000 = 28.8\%$ coverage

NOTES:

Permeable site remaining the same with the exception of a new sidewalk on the east side of the garage. This sidewalk runs from the driveway to a side door entrance. Please refer to site plan.

Area	Description	Components	Gross Area (SF)	Finish Area (SF)	% Exis
APT	Apartment		616	616	30
ATC	Attic W Finish	1218+40+22	1280	768	
BMT	Basement	1218+16	1234	0	
CNP	Canopy		24	0	
FFL	1st Floor	1218+22+16	1256	1256	
GARA	Garage Attch		596	0	
OFP	Open Porch		24	0	
OSP	Scrn Porch	72+40+170	282	0	
PAT	Patio	24+18	42	0	
DWY	Driveway		1300	0	
FWK	Front Walk		136	0	
SWK	Side Walk		111	0	
PROP	Property		15000	0	



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Site Photos 201 Prospect Parkway
Stephen Richards Zoning Permit

North Side End of Driveway



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Across Street





Customer Service: 1-800-653-6556 or cs@destinationlighting.com

M-F: 7am-5pm & Sunday: 11am-4pm (PST)

Bronze Outdoor Barn Wall Light with Gooseneck Arm and 12" Shade



Product Number:	623517	ADA Compliant:	No
Manufacturer:	Recesso Lighting by Dolan Designs	EnergyStar Compliant:	No
Model Number:	BL-ARMQ-BZ/BL-SH12-BZ	Shade Material:	Metal
Collection:	Barn	Material:	Aluminum
Manufacturer Finish:	Bronze	Shipping:	UPS Regular
Manufacturer Shade Color:	Bronze	Certification Agencies:	ETL, CETL
Shade Shape:	RLM / Warehouse	Backplate Dimension:	4-5/8
Total Wattage:	100 w.	Wet Location:	Yes
Voltage Type:	Line Voltage	Damp Location:	Yes
Height:	13-7/8 in.	Harsh Environ/Coastal:	No
Width:	12 in.	Weight:	2.27 lbs
Depth:	29 in.	Made In America:	No
Wattage:	100	Dusk To Dawn:	No
Bulb Type:	Incandescent	Motion Sensor:	No
Bulb Shape:	A19	Title 24:	No
Base Type:	Medium		
Number Of Bulbs:	1		
Bulb Included:	No		
Bulb Color:	Frosted		
Dark Sky:	Yes		

Alternate 1



Alternate 2

Department of Planning and Zoning

149 Church Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/PZ/>

Telephone: (802) 865-7188

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Layne Darfler, Planning Technician
Anita Wade, Zoning Clerk



MEMORANDUM

To: Development Review Board
From: Mary O'Neil, AICP, Principal Planner
Date: September 19, 2017
RE: ZP18-0210CA; 180 Flynn Avenue

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP18-0210CA

Location: 180 Flynn Avenue

Zone: E-LM Ward: 5S

Date application accepted: August 22, 2017

Applicant/ Owner: Citizen Cider, Justin Heilenbach; SAS Architects, Bren Alvarez

Request: Renovation to existing warehouse building, new addition, improvements to existing loading dock. Change of use from warehouse/showroom to warehouse/applepress (Food and Beverage Processing.)

Background:

180 Flynn Avenue is a collection of commercial/industrial buildings. The following zoning history includes **all** buildings and uses on that parcel:

- Non-Applicability of Zoning Permit Requirements 16-0066NA; build 2 office rooms in warehouse area. July 2015.
- Zoning Permit 14-099CA; add entry stairs to front door of building one. **Denied** as incomplete, August 2014.
- Non-Applicability of Zoning Permit Requirements, 14-0653NA, showroom remodel. December 2013.



- Zoning Permit 13-1004CA; replace four doors with metal doors, replace six double window units with new vinyl windows, infill one window with siding, replace wood siding with vinyl on front gable end of building. All work to be on the Granite Group building. April 29, 2013.
- Zoning Permit 10-0674CU, Conditional Use review for establishing seasonal open air market. Approved April 2010.
- Zoning Permit 06-742CA; change of use from manufacturing and storage to auto parts sales, storage, boat service, office, machine shop, and manufacturing. Approved June 2006. Permit relinquished by owner July 2008. (Permit not exercised.)
- Zoning Permit 98-332; change of use from warehouse to office (no retail; create newsletters, newspaper, t-shirt designs, etc.) No exterior changes, including signage. Approved February 1998.
- Zoning Permit 00-224 / COA000-013A; extension of ZP00-162 to allow the installation of the temporary office trailer for a period not to exceed February 1, 2000 in support of the existing National Gardening offices within the existing commercial complex. October 1999.
- Zoning Permit 00-162 / COA 000-013 / MA2000-017; Installation of a temporary office trailer for National Gardening staff. To be located behind their existing facility in the industrial complex. September 1999.
- Zoning Permit 99-634 / COA 099-080; removal of wood siding on the tower portion of the existing VT Hardware Industrial/commercial structure, replacing with vinyl siding. Existing windows to be removed. August 1999.
- Zoning Permit 99-235; repairs to the existing skylight in the roof of VT Hardware. October 1998.
- Zoning Permit 97-502 / COA 094-054C; temporary (two year) establishment of an accessory theatre (172 seats) to the Magic Hat Brewery. Parking and circulation improvements. May 1997.
- Zoning Permit 96-405; construction of a fire escape; change of use from office to design manufacturing. April 1996.
- Zoning Permit 95-508 / COA 095-074; remove two existing storage sheds replacing with one retail/office building. Proposal includes paving parking area. Major Impact Review 95-050; 9,340 sf commercial building that includes a natural area of significance. Approved June 1995.
- Zoning Permit 95-419; installation of two freestanding signs at the entrance to the complex with business names; the other to direct to each building. Approved May 1995.
- Zoning Permit 95-198 / COA 094-054B; revise previously approved tour oriented beer manufacturing facility to retain the overhead connection with the adjacent building. November 1994.
- Zoning Permit 95-179 / COA 095-030A; change of use for 1075 sf space from industrial to a silk screen printing establishment. No exterior changes. October 1994.

- Zoning Permit 95-184 / COA 095-030; change of use from wholesale warehouse to offices and sign manufacturing. Exterior changes include adding an entrance on the first and second floors of the north elevation and infilling an existing garage style door with a pedestrian sized door on the east elevation. Restoration work to windows, brick included for the structure listed on the state list of historic buildings. October 1994.
- Zoning Permit 94-357; change of use from retail sale and storage to screen printing of t-shirts and storage. No exterior changes proposed. April 1994.
- Zoning Permit 95-167 / COA 094-054A; revise previously approved tour oriented beer manufacturing to smaller space with only production and tour operations offered. No food, entertainment or other uses included.) December 1993.
- Zoning Permit 94-254/ COA 094-054 / AP94-028; change of use from Vermont Hardware to tour oriented beer manufacturing with an entertainment and restaurant component. Window improvements and reconfiguration of the existing parking area. December 1993.
- Zoning Permit 91-196 / COA 91-037; addition of solarium to front entrance of building to add expanded entry area with plants. December 1990.
- Zoning Permit 87-078; place individual letters spelling the name of the company on the side of the building facing Flynn Avenue. (Capital Plumbing and Heating Supply Company.) March 1987.
- Zoning Permit 84-357 / COA 84-095; erect a 24' x 42' storage addition to the existing gardens for all buildings on Flynn Avenue and to construct a second story addition over the existing building for additional office space. July 1984.
- Zoning Permit 79-513; open "Chicken King" home delivery service; sit down breakfast and lunch. Sign to be installed on building. September 1979.
- Zoning Permit 78-43; secondhand products, retail/wholesale. Add 2'x4' sign. August 1978.
- Zoning Permit 77-24; 24' x 40' wood frame addition (storage) to present building. May 1977.
- Zoning Permit 7-297; Thomas Reid to erect a 24' x 40'7" wood frame building to be used for light manufacturing, furniture finishing, and the sale thereof. September 1976.
- Sign permit for the Hodge Podge, April 1977.
- Zoning permit; erect a 40' x 62' steel building on the lot to be used for an auto body shop. November 1976.
- Zoning Permit, 2' x 3' sign to be hung on the fence. August 1976.
- Zoning Permit; to erect a 60'x 200' pole barn and a 20' x 25' office area. October 1974. Requires Planning commission approval.

Overview:

The application proposes renovations and a small addition to an existing warehouse, including improvements to an existing loading dock for use by Citizen Cider as a warehouse/apple press. This is anticipated to be Phase 1 of an expansion for the cidery.

Recommendation: Certificate of Appropriateness Consent approval, per the following findings and conditions:

I. Findings**Article 3: Applications, Permits, and Project Reviews****Part 3: Impacts Fees****Section 3.3.2 Applicability**

*Any new development or additions to existing buildings which result in new dwelling units **or in new nonresidential buildings square footage are subject to impact fees** as is any change of use which results in an added impact according to Section 3.3.4.*

Based on submitted information for the approximately 1,500 sf building addition, the following is an estimate of Impact Fees:

Department	<u>Industrial</u>	
	Rate	Fee
Traffic	0.256	384.00
Fire	0.191	286.50
Police	0.342	513.00
Parks	0.412	618.00
Library	0.000	0.00
Schools	0.000	0.00
Total	1.201	\$ 1,801.50

Section 3.3.8 Time and Place of Payment

Impact fees must be paid to the city's chief administrative officer/city treasurer according to the following schedule:

*(a) New buildings: Impact fees must be paid at least seven (7) days prior to occupancy of a new building or any portion thereof. **Affirmative finding as conditioned.***

Article 4: Zoning Maps and Districts**Sec. 4.4.3 Enterprise Districts****(a) Purpose:**

The 2 Enterprise districts as illustrated in Map 4.4.3-1 are described as follows:

*The **Light Manufacturing (E-LM)** district is the primary commercial/industrial center of Burlington, and is intended primarily to accommodate enterprises engaged in the manufacturing, processing, distribution, creating, repairing, renovating, painting, cleaning, or assembling of goods, merchandise, or equipment without potential conflicts from interspersed residential uses. Other accessory commercial uses are allowed to support a wide range of services and employment opportunities. This district is intended*

to ensure that sufficient land area is appropriately designated within the city to provide an adequate and diversified economic base that will facilitate high-density job creation and retention. This district is primarily intended to provide for industrial uses suitable for location in areas of proximity to residential development. Development is intended to respect interspersed historic industrial buildings, and reflect the industrial aesthetic of the district's past. Parking is intended to be hidden within, behind, or to the side of structures.

180 Flynn Avenue is a commercial complex with multiple buildings and uses. The subject building is an existing warehouse with manufacturing onsite. The use and proposed loading dock improvements and building addition are consistent with the intent of the E-LM zoning district. **Affirmative finding.**

Table 4.4.3 -1 Dimensional Standards and Density

Districts	Max. Intensity (floor area ratio ¹)	Max. Lot Coverage ¹	Minimum Building Setbacks ¹ (feet)			Max. Height ¹ (feet)
			Front	Side	Rear ³	
Light Manufacturing	2.0 FAR	80%	5 min	0 ²	10% ²	45'
Proposed 180 Flynn Avenue	0.19 FAR	68%	No change	New addition approx. 43' from easterly property line.	No change. Meets required 25' setback from abutting residential district.	Addition is 1 story.

1 – Floor area ratio is further described in Art 5. Measurement of and exceptions to coverage, setback, and height standards are found in Art 5. Actual maximum build out potential may be reduced by site plan and architectural design considerations of Art 6.

2 – Structures shall be setback a minimum of 25-feet along any zoning district boundary line that abuts a residential zoning district. Lots of record existing as of September 9, 2015 that are split by enterprise and residential zones are exempt from this district boundary setback.

3 – Percentage of the lot depth.

Affirmative finding.

(c) Permitted and Conditional Uses:

The principal land uses that may be permitted, or conditionally permitted pursuant to the requirements of Article 3, within the Enterprise districts shall be as defined in Appendix A – Use Table.

Both warehouse and Food and Beverage Processing are permitted uses in the E-LM zoning district per Appendix A as amended. **Affirmative finding.**

(d) District Specific Regulations:

1. Convenience Stores. Not applicable.

Article 5: General Citywide Regulations

Section 5.2.1 Existing Small Lots

Not applicable.

Section 5.2.2 Required Frontage or Access

Development is proposed on a parcel with existing access and frontage on Flynn Avenue.

Affirmative finding.

Section 5.2.3 Lot Coverage Requirements

See Table 4.4.3-1, above.

Section 5.2.4 Buildable Area Calculation

The parcel is not within RCO, WRM, RM, WRL or RL zoning districts. Not applicable.

Section 5.2.5 Setbacks.

See Table 4.4.3-1, above.

Section 5.2.6 Building Height Limits

See Table 4.4.3-1, above.

Section 5.2.7 Density and Intensive of Development Calculations

See Table 4.4.3-1, above.

Part 3: Non-conformities

Not applicable.

Part 4: Special Use Regulations**Section 5.4.8 Historic Buildings and Sites**

Although some buildings within the complex are historically sensitive, this warehouse is not.

Not applicable

Section 5.4.9 Brownfield Remediation

The site is not listed on the DEC Brownfields website. Not applicable.

Part 5: Performance Standards**Section 5.5.1 Nuisance Regulations**

Construction activities will be limited Monday-Saturday 7:00 am – 6:00 pm, with no construction on Sundays. This is an active, multi-use commercial / industrial complex; the redevelopment of the existing warehouse is not anticipated to generate any new nuisance impacts.

Affirmative finding as conditioned.

Section 5.5.2 Lighting

Full cut-off light fixtures are proposed immediately above both galvanized steel overhead doors.

All other lighting is existing. **Affirmative finding.**

Section 5.5.3 Stormwater and Erosion Control

Written approval of the EPSC Plan by the Stormwater Engineering team shall be a requirement prior to release of the zoning permit. It is anticipated that a Stormwater Management Plan will be required for subsequent phases, but the Stormwater Engineer finds the project, as redevelopment, only triggers the EPSC standard. **Affirmative finding as conditioned.**

Section 5.5.4 Tree Removal

Not applicable.

Article 6: Development Review Standards

Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Section 6.2.2 Review Standards

(a) Protection of Important Natural Features

This is an existing, developed site within a commercial / industrial complex. Englesby Brook runs north of this parcel, and will be taken into consideration as project plans intensity in future phases. For this redevelopment application, the application is subject to EPSC review only. **Affirmative finding as conditioned.**

(b) Topographical Alterations

Other than re-grading and repaving at the northwest area of the building, no topographical changes are proposed. **Affirmative finding.**

(c) Protection of Important Public Views

There are no protected or important views from this parcel. Not applicable.

(d) Protection of Important Cultural Resources

Although there are some historically sensitive buildings within the complex, this warehouse is not among them. Not applicable.

(e) Supporting the Use of Renewable Energy Resources

No part of the application precludes the use of wind, solar, water, geothermal or other renewable energy resource. **Affirmative finding.**

(f) Brownfield Sites

None identified. Not applicable.

(g) Provide for Nature's Events

The application is required to submit an Erosion Prevention and Sediment Control Plan for review and approval by the Stormwater Engineering program. **Affirmative finding as conditioned.**

(h) Building Location and Orientation

A structural addition is proposed to an existing warehouse. The addition is consistent with the orientation and circulation pattern of the existing building. The enhanced entry area will be re-graded and paved. **Affirmative finding.**

(i) *Vehicular Access*

Access will be maintained via the existing entrance off Flynn Avenue. **Affirmative finding.**



(j) *Pedestrian Access*

There are sidewalks along the north side of Flynn Avenue, connecting to this parcel.

Affirmative finding.

(k) *Accessibility for the Handicapped*

ADA compliance is under the jurisdiction of the building inspector. Two handicap parking spaces are identified adjacent to a westerly building. It is recommended that some h/c parking spaces should be identified on the site plan for the benefit of this use when build-out progresses and there is greater public circulation. **Affirmative finding.**

(l) *Parking and Circulation*

There are 109 parking spaces illustrated on the “existing conditions” site plan for the entire complex, with the proposed relocation of three spaces to assure adequate truck circulation/radius. See plan C-2. The three relocated spaces, and two additional to meeting the parking requirement for the 1,500 sf addition are identified on revised plan L-1.0.

The total parking count does not include 4 additional spaces across the boundary into the Switchback parcel, and the large expanses of undefined parking on gravel.

The plan improves the loading dock area and adds another (enclosed) truck delivery space on the east. The proposal includes re-grading and paving the area to the north/west of this building. See Article 8 for parking requirements, below.

Affirmative finding.

(m) *Landscaping and Fences*

The application proposes the retention and protection of existing green spaces, and the removal of fencing at the north of the site that would preclude truck circulation into the proposed new addition. **Affirmative finding.**

(n) Public Plazas and Open Space

There are no public plazas or required open space as part of this application. **Affirmative finding.**

(o) Outdoor Lighting

See Section 5.5.2, above.

(p) Integrate Infrastructure into the design:

Pomace bins and the dumpster location are north of the subject building. The dumpster will need to be enclosed on all sides to prevent trash from blowing. The manner of that enclosure needs to be submitted for staff review and approval. **Affirmative finding as conditioned.**

Part 3: Architectural Design Standards

Section 6.3.2 Review Standards

(a) Relate development to its environment

1. Massing, Height and Scale

The proposed 1,500 sf addition is consistent and compatible in massing and scale with the existing building. **Affirmative finding.**

2. Roofs and rooflines

The proposed rooflines are consistent with the existing building and those of neighboring buildings. **Affirmative finding.**

3. Building Openings

Building openings are appropriate to the intended function and overall design of the building. The addition will have galvanized steel overhead doors at both ends. **Affirmative finding.**

(b) Protection of Important Architectural Resources

Not applicable.

(c) Protection of Important Public Views

Not applicable.

(d) Provide an active and inviting street edge

The proposed building addition is both consistent with the existing building design and compatible in appearance. The pre-finished corrugated metal siding and metal fascia will blend with the existing warehouse. **Affirmative finding.**

(e) Quality of Materials;

Exterior walls will be pre-finished corrugated metal siding with galvanized steel overhead doors. Both are appropriate for the intended installation. **Affirmative finding.**

(f) Reduce energy utilization;

All development is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances. **Affirmative finding as conditioned.**

(g) *Make Advertising features complementary to the site;*

Any new or revised signage will require a separate sign permit. **Affirmative finding as conditioned.**

(h) *Integrate infrastructure into the building design;*

See Section 6.2.2. (p), above.

(i) *Make spaces secure and safe.*

Development shall adhere to all applicable building and life safety code as defined by the building inspector and fire marshal. **Affirmative finding as conditioned.**

Article 7: Signs

Any new or replacement signage will require separate permitting. **Affirmative finding as conditioned.**

Article 8: Parking

In the Shared Use Parking District, Manufacturing requires .35 parking spaces per 1,000 s.f. of gross floor area. The addition of 1,500 s.f. will require 2 new parking spaces. (1,500 / 1,000.) Existing conditions provide 109 + 4 (across Switchback parcel) defined parking spaces distributed throughout the commercial complex, in addition to large undefined gravel parking areas. The Assessor's database defines this building as 90,308 sf which would require 32 parking spaces under these standards. For purposes of existing conditions and the proposed expansion, the applicant need only show 2 more parking spaces associated with this parcel than existing. Revised plan L-1.0 defines the new location of three spaces (moved to facilitate truck turn circulation) and two new spaces to meet the parking requirement for the new 1,500 sf warehouse addition. **Affirmative finding.**

Appendix A: Warehouse, the existing and proposed use, is a permitted use in the E –LM Zoning District. The proposed additional use (apple press) is also a permitted use under *Food and Beverage Processing* or as an accessory use to the principal, warehouse use.

II. Conditions of Approval

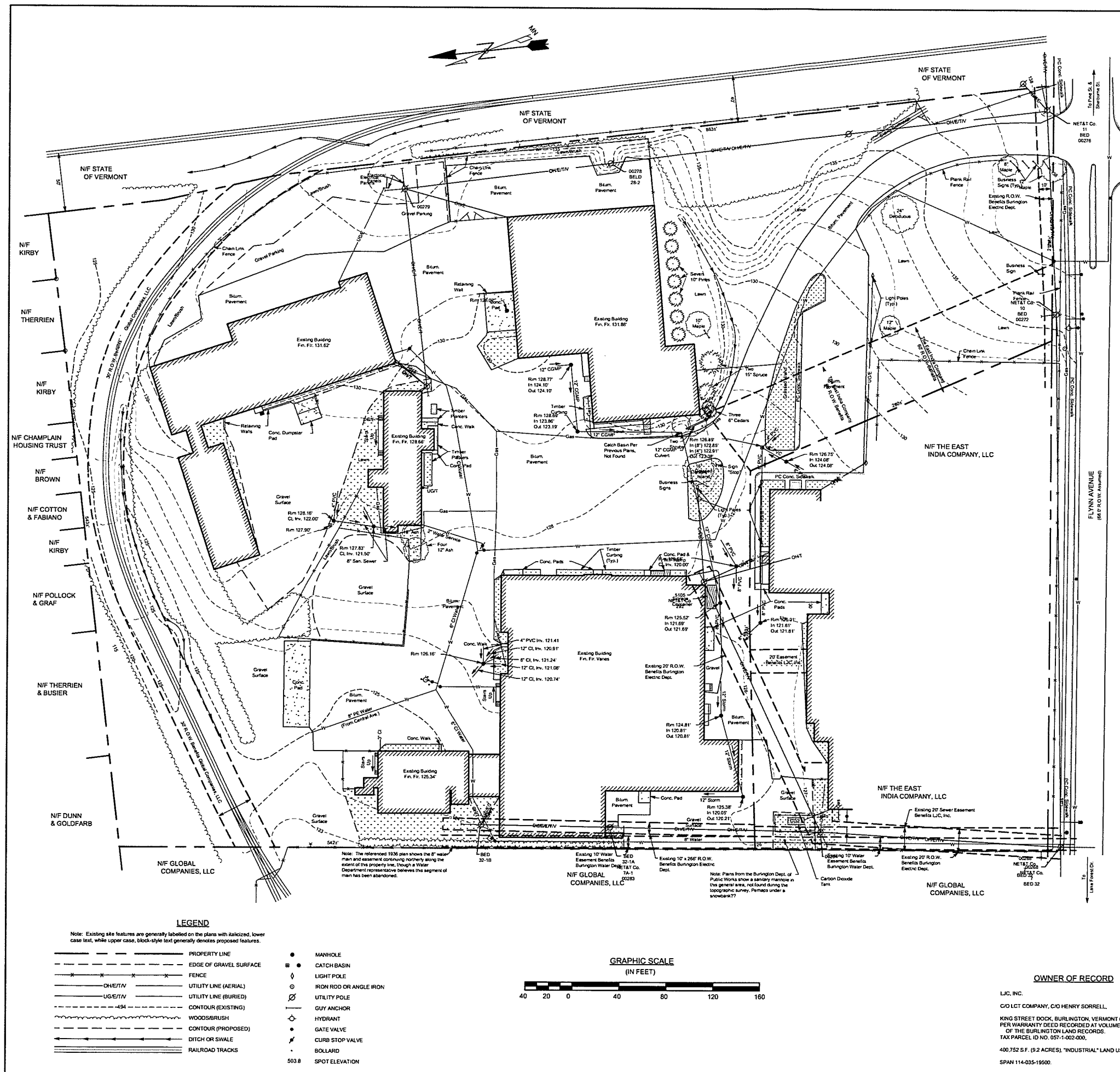
1. Based on submitted new square footage of new nonresidential space (1,500 sf), the following Impact fees shall be paid at least **seven days prior to occupancy of a new building** or any portion thereof. (If area differs, the applicant shall provide corrected area to staff for recalculation and allocation by department):

Department	<u>Industrial</u>	
	Rate	Fee
Traffic	0.256	384.00
Fire	0.191	286.50
Police	0.342	513.00
Parks	0.412	618.00

Library	0.000	0.00
Schools	0.000	0.00
Total	1.201	\$ 1,801.50

2. **Section 2.7.8, Withhold Permit** requires that any open violations on this property be remedied, and any zoning permits issued since July 13, 1989 be closed out **prior to issuance of a Certificate of Occupancy** for this project. See attached property permit history for further information.
3. The dumpster shall be enclosed on all sides to prevent blowing trash. The manner of that enclosure needs to be submitted for staff review and approval.
4. Written approval of the EPSC Plan by the Stormwater Engineering team shall be a requirement **prior to release of the zoning permit**.
5. Unless specifically altered by the DRB, construction activities shall be limited to 7:00 am to 6:00 pm, Monday through Saturday. There shall be no construction on Sundays.
6. Any new or replacement signage will require separate permitting.
7. All development is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.
8. Standard Permit Conditions 1-15.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.



LOCATION MAP
N.T.S.

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SAS MODIFIED - COMPILED BY LAYERS
AUG 22 2017

DEPARTMENT OF
PLANNING & ZONING

- NOTES**
1. AS INSTRUMENTS OF SERVICE THESE DRAWINGS AND COPIES THEREOF ARE PROPERTY OF THE ENGINEER, BUERMANN ENGINEERING, LLC. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.
 2. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO ENSURE THAT THESE PLANS CONTAIN THE MOST RECENT REVISIONS.
 3. BUERMANN ENGINEERING, LLC HAS NOT PERFORMED ANY ENVIRONMENTAL SITE ASSESSMENTS ON THE SUBJECT PROPERTY, AND MAKES NO CLAIMS ABOUT THE POSSIBLE PRESENCE OR ABSENCE OF HAZARDOUS MATERIALS ON-SITE.
 4. UNDERGROUND UTILITIES SHOWN ARE BASED UPON DOCUMENTATION FROM THE BURLINGTON DEPARTMENT OF PUBLIC WORKS (FOR SANITARY AND STORM SEWERS), A SITE MEETING AND AN APPROXIMATE FIELD DELINEATION PROVIDED BY THE BURLINGTON WATER DEPARTMENT, OTHER DOCUMENTS OF RECORD (REFERENCED BELOW), AND FIELD EVIDENCE FOUND. THE OWNER AND ANY CONTRACTOR SHALL BE AWARE THAT OTHER BURIED UTILITIES OR STRUCTURES, NOT SHOWN ON THESE PLANS, MAY EXIST ON THIS SITE. FURTHERMORE, LOCATIONS AND SIZES SHOWN ARE APPROXIMATE AND MUST BE FIELD-VERIFIED PRIOR TO RELIANCE FOR DESIGN OR CONSTRUCTION.
 5. BOUNDARY INFORMATION SHOWN IS APPROXIMATE, BASED UPON INFORMATION FROM THE OWNER, FIELD EVIDENCE FOUND, AND THE FOLLOWING DOCUMENTS:
 - A. PLAN OF "JOHN MCKENZIE PACKING COMPANY INC." (DATED JANUARY 1978 BY FRED C. KOERNER, C.E., AS RECORDED AT SLIDE 113-37 OF THE BURLINGTON LAND RECORDS);
 - B. PLAN OF "MCKENZIE PACKING CO." (DATED 3/27/81 BY THE BURLINGTON ELECTRIC DEPARTMENT, AS RECORDED AT SLIDE 286F OF THE BURLINGTON LAND RECORDS);
 - C. PLAN OF "R.O.W. 280 FLYNN AVE., LLC PROPERTIES" (DATED 1/20/95 BY THE BURLINGTON ELECTRIC DEPARTMENT, AS RECORDED AT SLIDE 290E OF THE BURLINGTON LAND RECORDS);
 - D. "PLAN SHOWING RIGHTS OF WAY FOR PROPOSED WATER MAINS ON FLYNN AVENUE" (DATED 1936 BY CITY ENGINEER, RECORDED AT VOL. 106, PAGE 645 OF THE BURLINGTON LAND RECORDS);
 - E. "PLAN SHOWING MODIFICATION OF LEASE AGREEMENT BETWEEN L.J.C. INC. & JOHN MCKENZIE PACKING CO. INC." (DATED MARCH 81 BY WARREN A. ROSENSTEN, L.S., AS RECORDED AT SLIDE 116-62 OF THE BURLINGTON LAND RECORDS);
 - F. "MODIFICATION OF LEASE AGREEMENT", L.J.C. INC. AND JOHN MCKENZIE PACKING CO., INC. (DATED DEC. 6, 1980, AS RECORDED AT VOLUME 271, PAGES 433-436 OF THE BURLINGTON LAND RECORDS);
 - G. WARRANTY DEED, L.J.C. INC. TO JOHN MCKENZIE PACKING CO., INC. (DATED NOV. 2, 1978, AS RECORDED AT VOLUME 256, PAGES 409-412 OF THE BURLINGTON LAND RECORDS);
 - H. BURLINGTON PUBLIC WORKS RECORDS;
 - I. BURLINGTON TAX MAPS; AND
 - J. NUMEROUS OTHER DOCUMENTS DEEMED OF LESS VALUE AND/OR RELIABILITY.
 6. TOPOGRAPHY SHOWN WAS OBTAINED BY BUERMANN ENGINEERING, LLC ON APRIL 4-9, 2017. THE PROPERTY LINES, EASEMENTS, AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THESE PLANS ARE FOR THE USE OF THE OWNER ONLY, FOR PRELIMINARY PLANNING PURPOSES. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN 26 V.S.A. SECTION 2502(4), AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
 7. ELEVATIONS SHOWN ARE BASED UPON THE FINISHED FLOOR ELEVATION (129.24') OF THE "SINGLE-STORY BRICK BUILDING" ON THE PRESENT PROPERTY OF THE EAST INDIA COMPANY, LLC, AS SPECIFIED ON THE REFERENCED PLAN BY KOERNER.

SITE PLAN LJC, INC. 180 FLYNN AVENUE BURLINGTON, VERMONT	Date 4/13/2017
	Project Number 762
	Plan Scale 1" = 40'
	Sheet 1 of 3
 BUERMANN ENGINEERING, LLC 7 Sanderson Road, Milton, Vermont 05468 Tel.: (802) 893-1308 www.belvt.com	

OWNER OF RECORD

LJC, INC.
C/O LCT COMPANY, C/O HENRY SORRELL
KING STREET DOCK, BURLINGTON, VERMONT 05401
PER WARRANTY DEED RECORDED AT VOLUME 169, PG. 80
OF THE BURLINGTON LAND RECORDS.
TAX PARCEL ID NO. 057-1-002-000.
400.752 S.F. (9.2 ACRES), "INDUSTRIAL" LAND USE.
SPAN 114-035-19500.



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PLANNING & ZONING

Regrading of existing pavement and gravel surfaces and new additions on existing impervious surfaces are redevelopment. No additional stormwater management should be required.

Legend

- Approximate Property Line
- Existing Contour Interval
- Existing gas line
- Existing sewer line
- Existing water line
- Existing storm line
- Proposed Contour Interval
- Proposed spot grade
- Existing pavement or gravel to be regraded and restored
- New Sewer Line/Manhole
- New Storm Line/CB
- New underground power

Notes:

- This plan is not a boundary survey. The property lines shown are based on City of Burlington tax maps and are considered approximate.
- The topographical information depicting on plan was generated using DEM produced by EarthData Inc. from 2004.
- Aerial photography from the spring of 2013 (15m) was developed and distributed by the Vermont Center of Geographic Information System.
- Existing utilities from a plan provided by Buermann Engineering, LLC.



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KL - PROJECT NO. 17105
SAS PROJECT NO. 0707

PROJECT

CITIZEN CIDER

**PRODUCTION
FACILITY**

**BURLINGTON,
VERMONT**

DATE: August 22, 2017
SCALE: 1" = 40'
CHECKED: MB
DRAWN: JAR

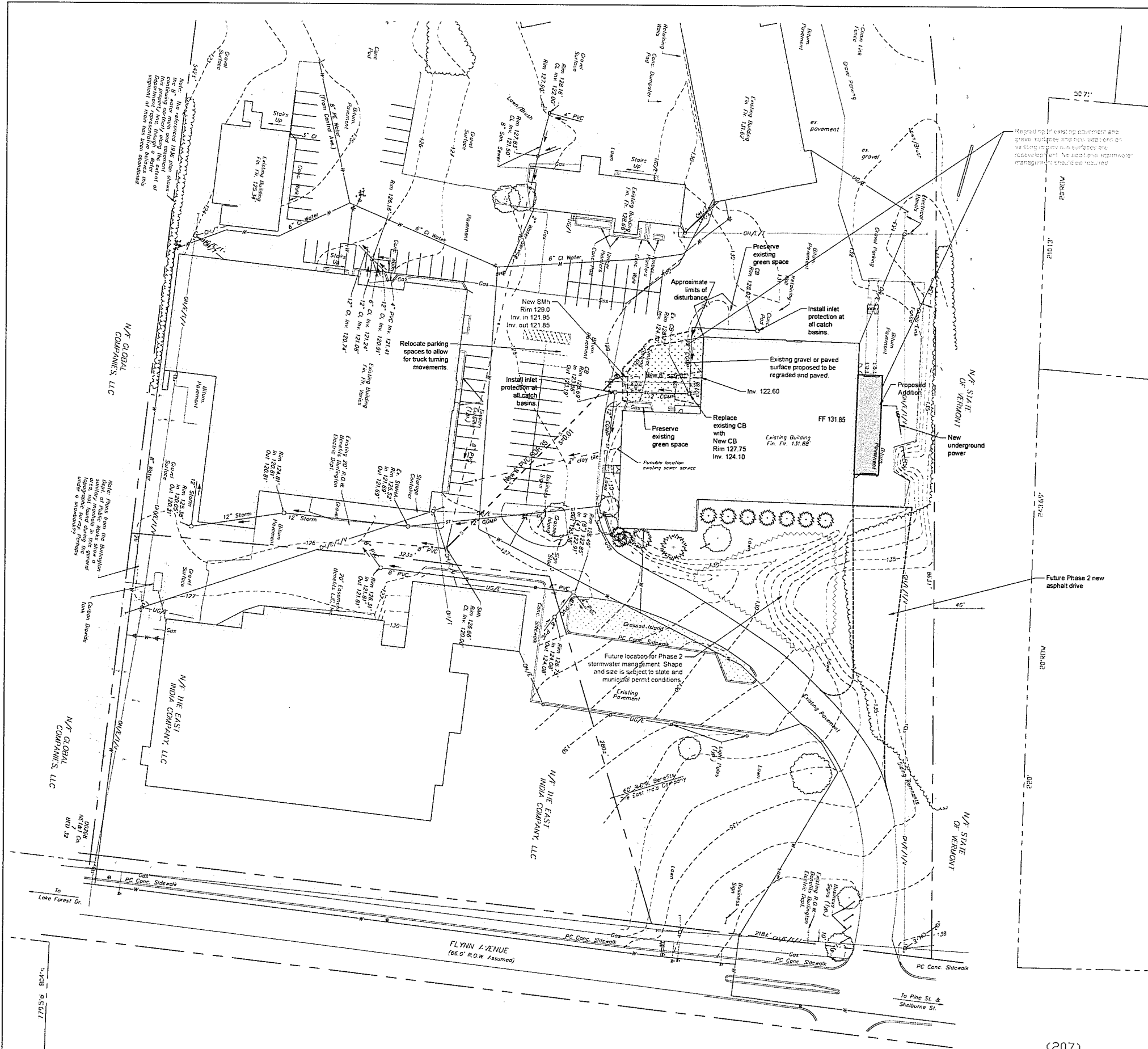
REVISIONS

SCHEMATIC DESIGN

PHASE 1

**Overall Site
Plan**

C-1



Erosion Prevention and Sediment Control Notes

1. Contractor shall be responsible for complying with all State and Local erosion prevention and sediment control standards and permit requirements during construction.
 2. The limit of disturbance shall be clearly defined by Contractor's surveyor prior to clearing. Erosion and sediment control devices shall be established to trap sediment on site.
 3. Clearing and grubbing shall not begin until disturbance limits and sediment controls are in place. All roots, stumps and debris shall be removed from the site. The Contractor shall minimize the amount of disturbed land at any given time.
 4. All erosion control shall be placed as shown on the drawings or as ordered by the Engineer. The Contractor shall maintain the erosion control measures until the Engineer is satisfied that permanent ground cover is established and that further measures are not required. It shall be the responsibility of the Contractor to employ appropriate erosion control as shown on these drawings and any other measures as necessary to trap sediment on site. Refer to permit maintenance and inspection requirements.
 5. All areas of disturbance shall be permanently or temporarily stabilized as soon as possible and within 48 hours of final grading. All areas of disturbance shall be at least temporarily stabilized daily during winter construction unless the following exceptions apply:
 - a. Stabilization is not required if earthwork is to continue in the area in the next 24 hours and there is no precipitation forecast in the next 24 hours.
 - b. Stabilization is not required if the work is occurring in a self-contained excavation (i.e. no outlet) with a depth of 2 ft. or greater (e.g. house foundation excavation, utility trenches).
 - c. Stabilization measures shall include mulch and seeding, erosion control matting, crushed stone, gravel, or pavement.
 6. Unless specifically indicated on the plans acceptable methods of stabilization shall include:
 - STRAW MULCHING - 2 tons per acre. Only 500#M mulch is allowed. Approximately 2" uniform thickness. Only allowed on relatively flat areas with minimum upslope watershed. Mulch must be properly secured with netting to prevent material from being blown away by wind (windthrow).
 - HYDROSEEDING - Applied at the manufacturer's recommended application rate. Contractor shall provide evidence of proper application rate. Hydroseeding must be accompanied by erosion control matting in areas of concentrated flow.
 - EROSION CONTROL MATTING - 5750M matting must be applied to all slopes 3:1 (H:V) or greater (unless otherwise indicated).
 - CRUSHED STONE OR CRUSHED GRAVEL - Typically used for temporary access roads and construction staging areas.
 7. The Contractor shall use water for dust control.
 8. The Contractor shall provide silt protection around all catch basins (existing or new) that collect construction site stormwater runoff. At a minimum, silt fences shall be installed over all catch basin inlets. Additional silt control shall be installed as identified on the plans or as warranted during construction. Silt protection must be maintained until final stabilization has been reached.
 9. A stabilized construction entrance (See Detail) shall be installed and maintained at all construction access locations if construction vehicles travel off the existing hardcover. Contractor shall be responsible for installing crushed stone to provide stable areas for construction vehicle traffic, staging, and storage. The Contractor is responsible for providing and maintaining sufficient stone to prevent rutting and sediment tracking.
 10. Any paved roads used by construction vehicles shall be swept daily, or at a greater frequency, if dirt or gravel is tracked from the site. The swept areas shall be immediately removed from face of curb if applicable.
 11. All temporary erosion and sediment control measures shall be removed within 30 days after final stabilization or after the measures are no longer needed, unless otherwise authorized.
 12. All sediment removed from sediment control practices shall be placed in an approved soil disposal area.
 13. All areas that do not have established vegetation by October 15th must be stabilized in accordance with the Water Stabilization requirements outlined in the Low Dist. Site Handbook. See Detail.
 14. After permanent seeding the Contractor shall be responsible for watering to ensure adequate vegetative growth.
 15. The location of temporary construction fencing and the temporary access shown on the plan are for schematic purposes only. The Contractor shall be responsible for providing all necessary temporary construction fencing, temporary roads, staging areas, etc., necessary to complete the work.
 16. Water from dewatering activities that flows off site must be clear. Water must not be pumped through a filter bag into storm sewers unless the water is clear.
 17. Contractor shall sign on as the Co-Permitter for the State of Vermont Erosion Prevention and Sediment Control permit for the project.
 18. The erosion prevention and sediment control practices shown on these plans are the minimum required for the project. The Contractor shall employ as many best management practices as necessary to prevent soil from leaving the construction site. If evidence is found of sediment tracking or eroded soil leaving the construction site, the Engineer may direct Site Contractor to implement additional best management practices at no additional cost to Owner.
 19. The Contractor shall be responsible for inspection and maintenance of the erosion prevention and sediment control practices for the project. Inspections and corresponding reports shall be performed at a minimum, once a week and after every precipitation event that results in a discharge from the site. Contractor shall call areas Open at 540-1745 or email (jordan@openat540.com) at least 24 hours prior to initiating earth disturbance and submit name, cell phone number, and email contact information of the erosion control coordinator for the project.
- The perimeter of the site and all buffers will be inspected at the end of each workday to ensure that sediment will not leave the site. If sediment has traveled beyond the site boundary, it shall be swept up or otherwise removed and deposited on-site in an upgradient area at the end of each workday.

Legend

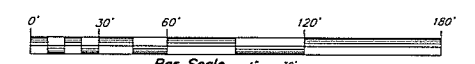
- Approximate Property Line
- - - Existing Contour Interval
- - - Existing gas line
- - - Existing sewer line
- - - Existing water line
- - - Existing storm line
- - - Proposed Contour Interval
- - - Proposed spot grade
- - - Existing pavement or gravel to be repaired and restored
- - - New Sewer Line/Manhole
- - - New Storm Line/CB

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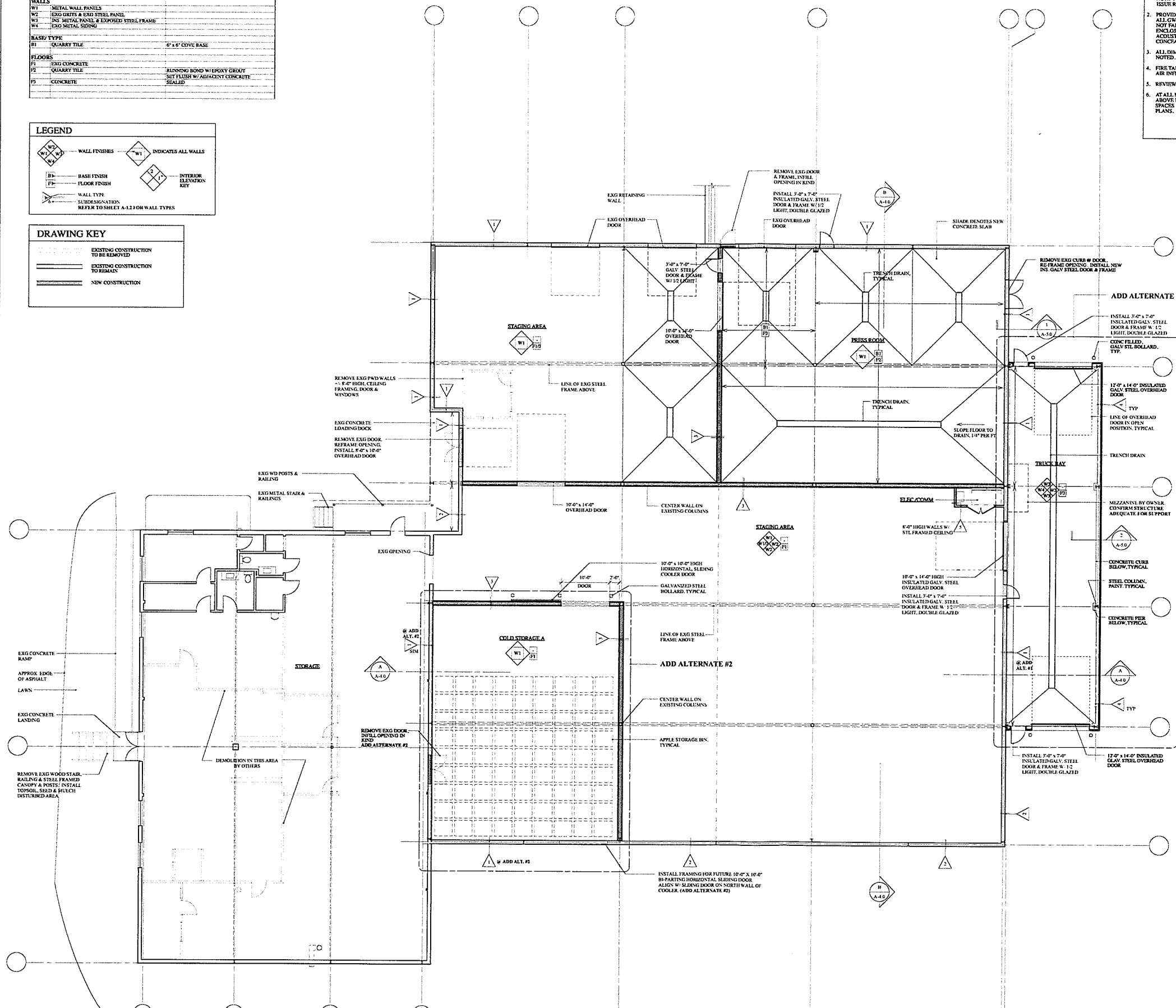
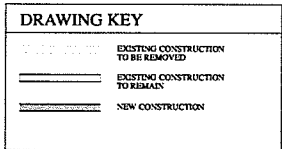
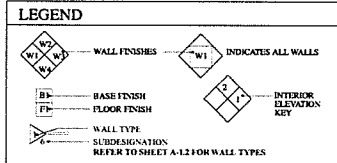
DEPARTMENT OF
PLANNING & ZONING

Notes:

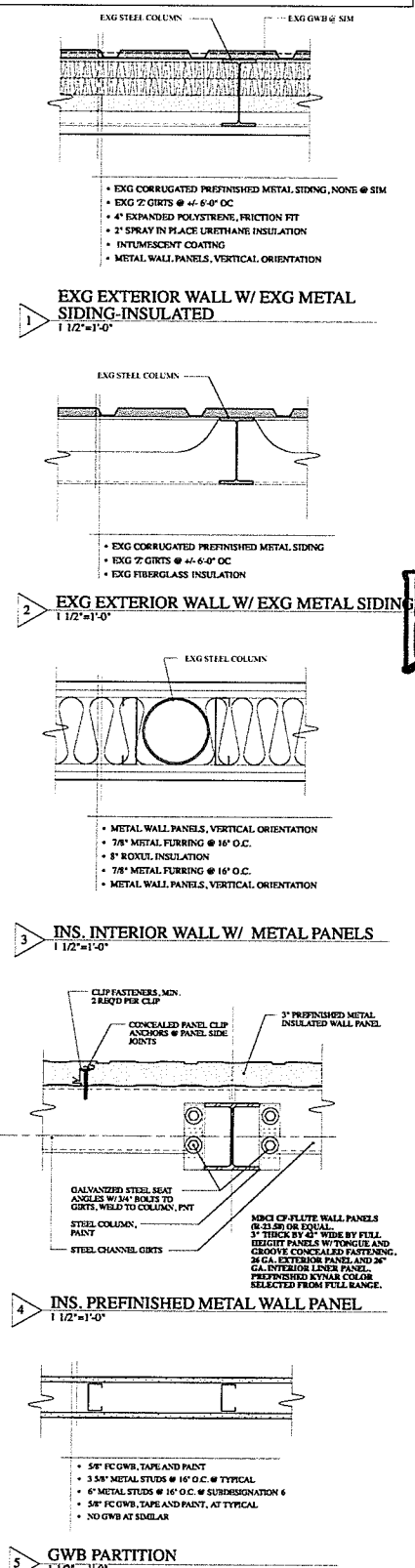
1. This plan is not a boundary survey. The property lines shown are based on City of Burlington tax maps and are considered approximate.
2. The topographical information depicting on plan was generated using DEM produced by EarthData Inc. from 2004.
3. Aerial photography from the spring of 2013 (1:15m) was developed and distributed by the Vermont Center of Geographic Information System.
4. Existing utilities from a plan provided by Buermann Engineering, LLC.



ROOM FINISH SCHEDULE		
WALLS	FINISH	REMARKS
W1	METAL WALL PANELS	
W2	EXG GRTS & EXG STEEL PANEL	
W3	INS METAL PANEL & EXPOSED STEEL FRAME	
W4	EXG METAL SIDING	
BASE/TYPE		
B1	QUARRY TILE	6" x 6" COVE BASE
FLOORS		
F1	EXG CONCRETE	
F2	QUARRY TILE	RUNNING BOND W/ EPOXY GROUT
F3	CONCRETE	"SET" FINISH W/ ADJACENT CONCRETE SEALED



- TYPICAL DRAWING NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND WILL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. IN THE CASE OF DISCREPANCIES THE ARCHITECT WILL ISSUE REVISIONS IN WRITING WITHIN SEVEN CALENDAR DAYS.
 - PROVIDE SOUND ATTENUATION BATTS IN GWB PARTITIONS AS INDICATED IN THE WALL TYPES. EXTEND ALL GWB ACOUSTIC PARTITIONS TO THE UNDERSIDE OF STRUCTURE ABOVE. WHERE STRUCTURE DOES NOT FALL COMPLETELY WITHIN THE ACOUSTIC PARTITION, EXTEND THE ACOUSTIC CONSTRUCTION TO ENCLOSE THE STRUCTURE WITHIN. SEAL ACOUSTIC GWB PARTITIONS AT TOP, BOTTOM, AND SIDES WITH ACOUSTIC SEALANT. THE GWB IS AN INTEGRAL PART OF THE ACOUSTIC ASSEMBLY AND ALL JOINTS, CONCEALED AND EXPOSED MUST BE TAPED.
 - ALL DIMENSIONS ARE FROM THE FACE OF METAL FRAMING OR CONCRETE UNLESS OTHERWISE NOTED.
 - FIRE TAPE ALL GWB WALLS ABOVE CEILINGS AND IN CONCEALED SPACES FOR ACOUSTICS AND AIR INFILTRATION.
 - REVIEW FINAL LOCATION OF ALL FIRE EXTINGUISHERS IN THE FIELD WITH THE OWNER.
 - AT ALL NON ACOUSTIC PARTITIONS WITH FINISH CEILING ON BOTH SIDES, TERMINATE GWB WALLS 6" MIN. ABOVE HIGHEST FINISH CEILING AND BRACE TO STRUCTURE ABOVE. EXTEND ALL GWB PARTITIONS IN SPACES WITHOUT FINISH CEILING TO UNDERSIDE OF STRUCTURE ABOVE OR HEIGHT AS INDICATED ON THE PLANS.



LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

PHASE 1

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Burlington, VT
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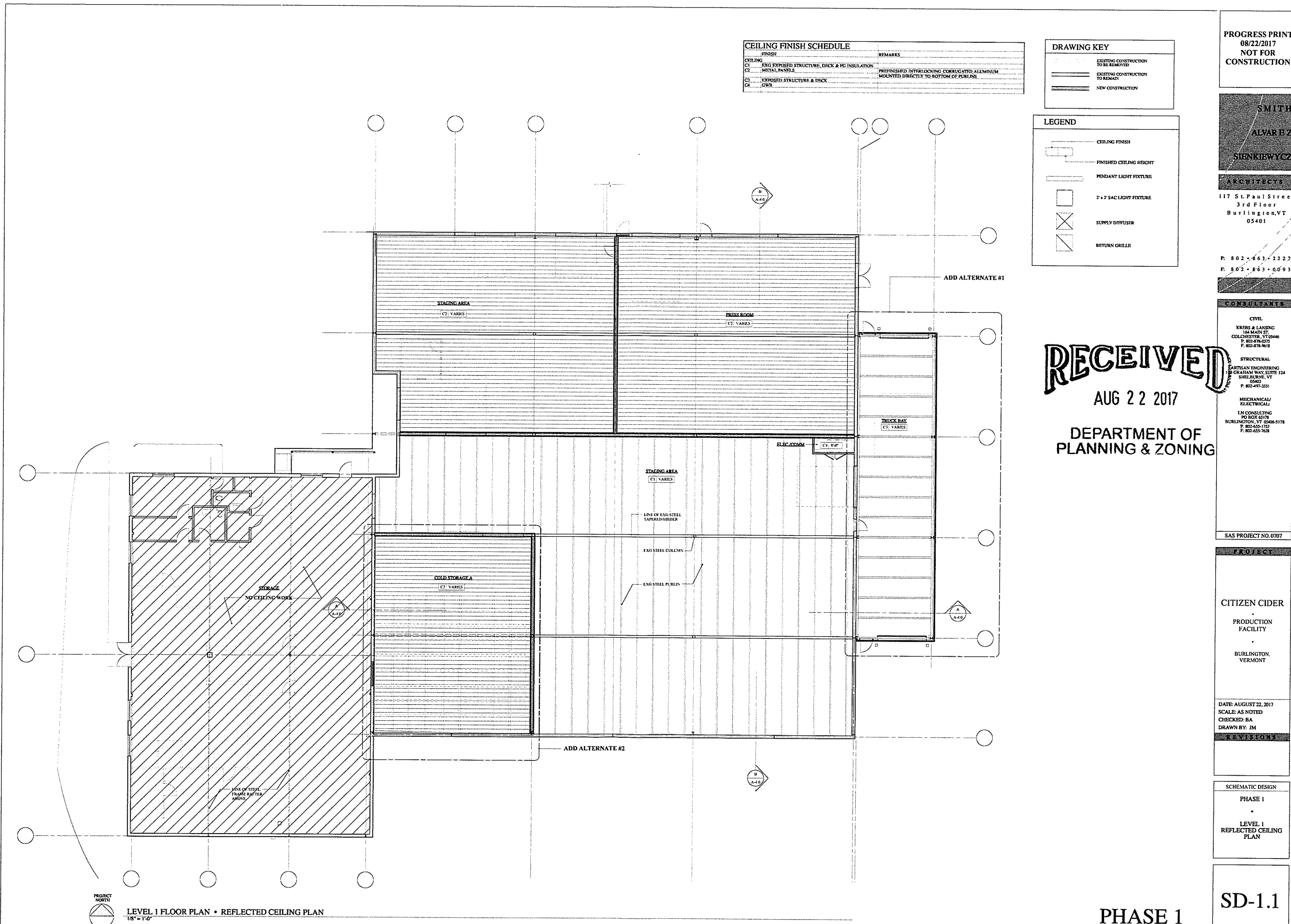
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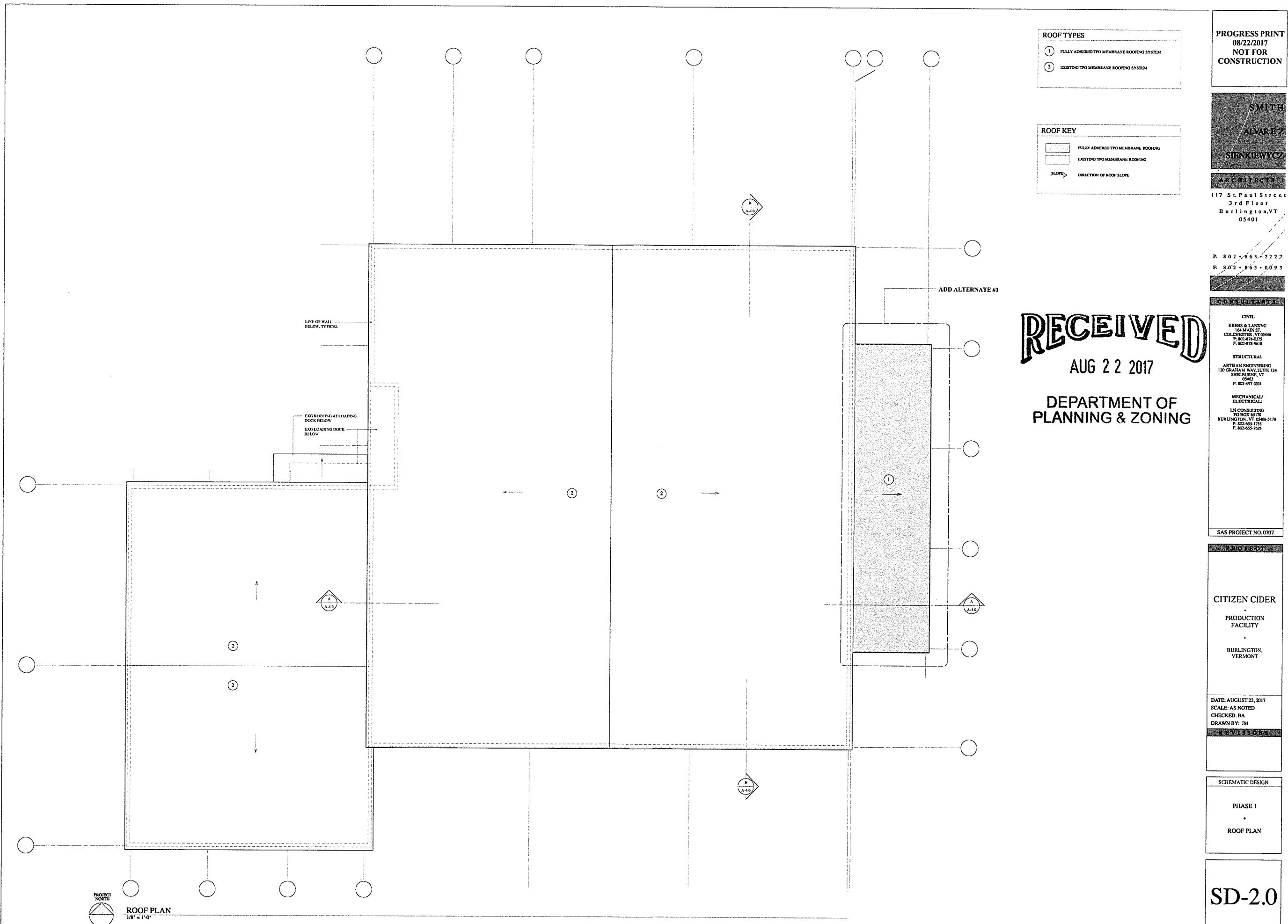
CITIZEN CIDER
•
PRODUCTION
FACILITY
•
BURLINGTON,
VERMONT

DATE: AUGUST 22, 2017
SCALE: AS NOTED
CHECKED: BA
DRAWN BY: JM

SCHEMATIC DESIGN
PHASE 1
•
LEVEL 1
FLOOR PLAN

SD-1.0





ROOF TYPES	
①	FULLY ADHERED TPO MEMBRANE ROOFING SYSTEM
②	EXISTING TPO MEMBRANE ROOFING SYSTEM

ROOF KEY	
	FULLY ADHERED TPO MEMBRANE ROOFING
	EXISTING TPO MEMBRANE ROOFING
	DIRECTION OF ROOF SLOPE

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SAS PROJECT NO. 6707

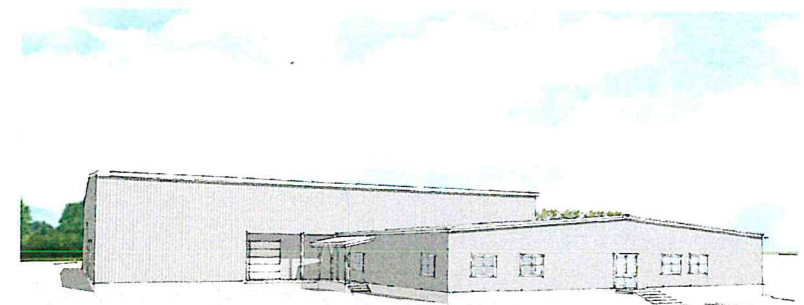
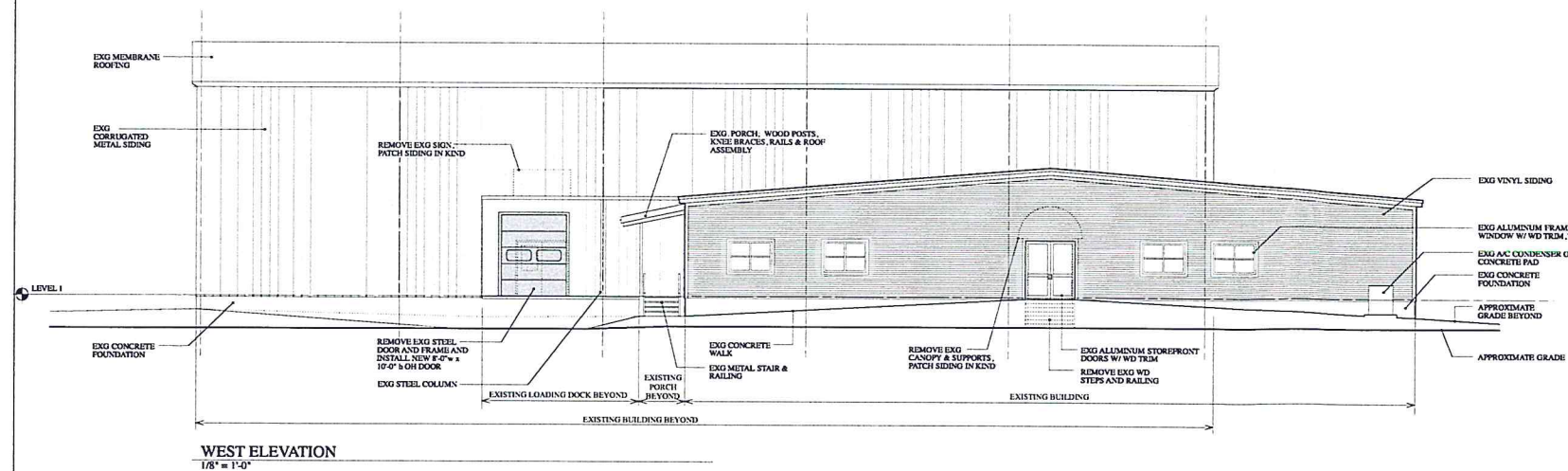
PROJECT
CITIZEN CIDER
•
PRODUCTION
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•
BURLINGTON,
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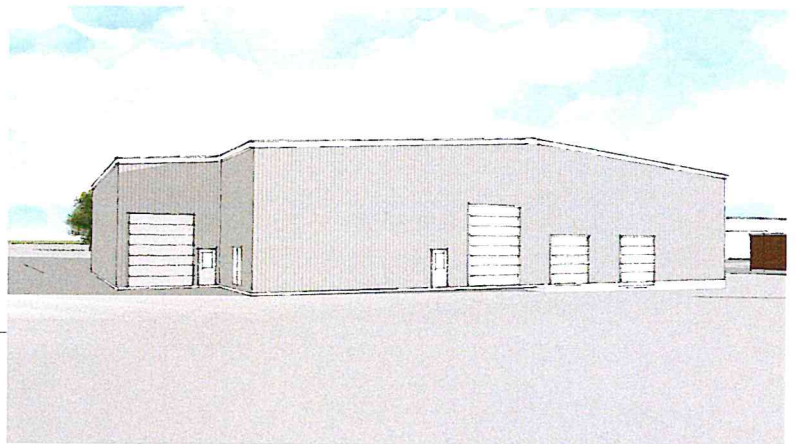
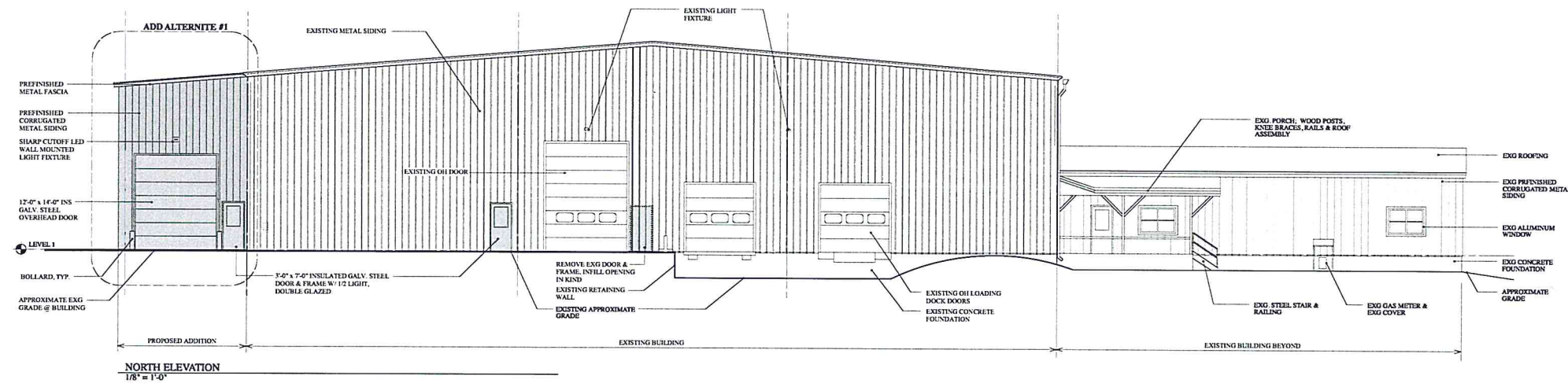
REVISIONS

SCHEMATIC DESIGN
PHASE 1
•
ROOF PLAN

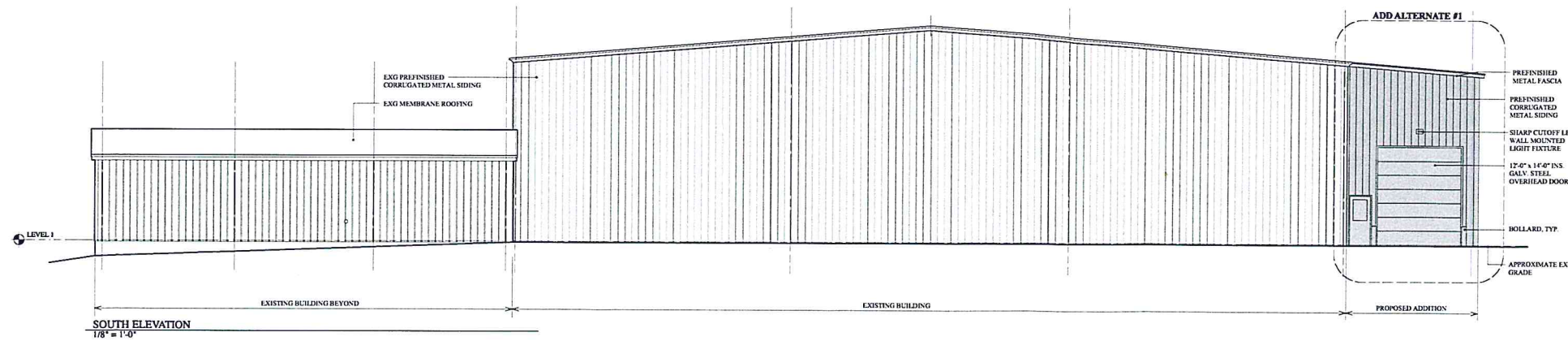
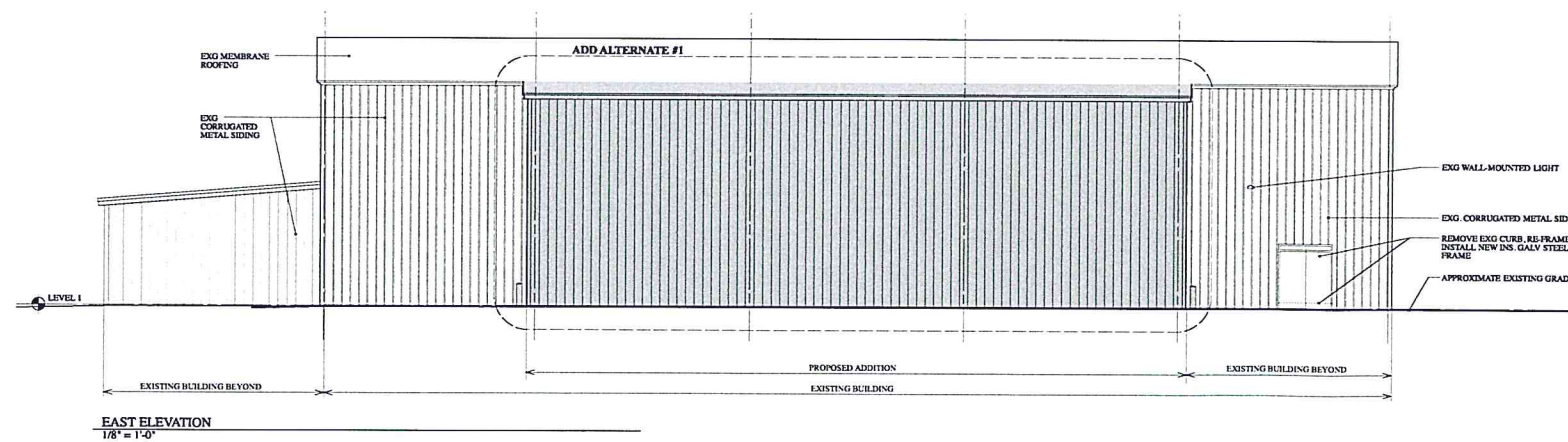
SD-2.0



3D VIEW OF WEST ELEVATION



3D VIEW OF NORTH ELEVATION



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PROJECT

CITIZEN CIDER
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DATE: AUGUST 22, 2017
SCALE: AS NOTED
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REVISIONS

SCHEMATIC DESIGN

PHASE 1

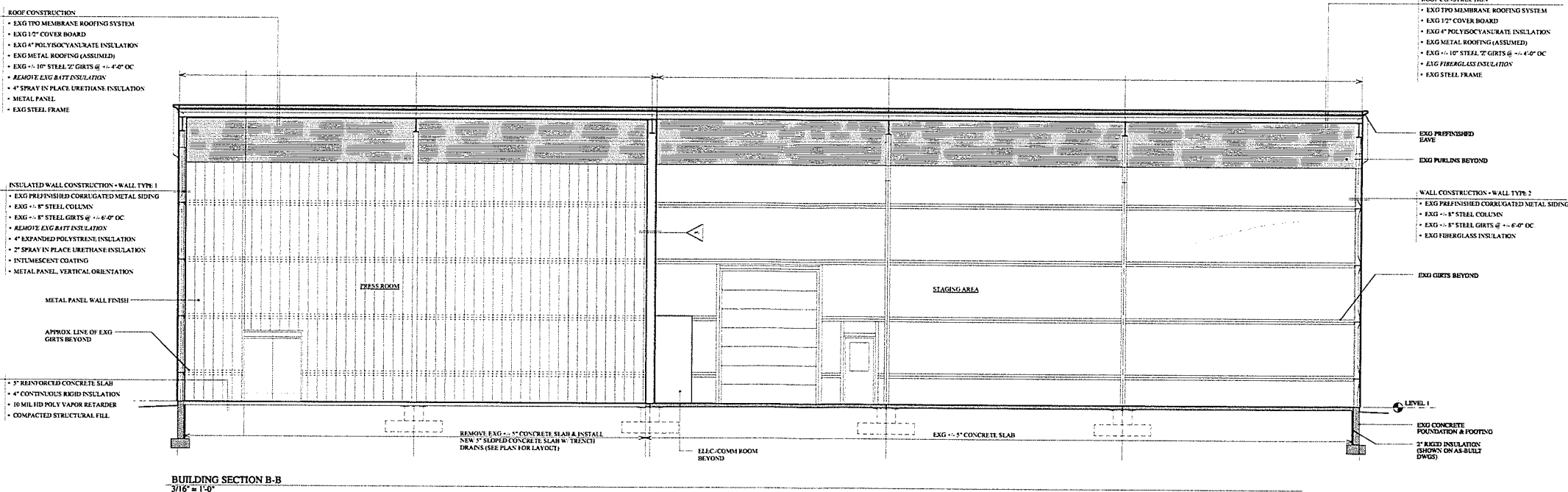
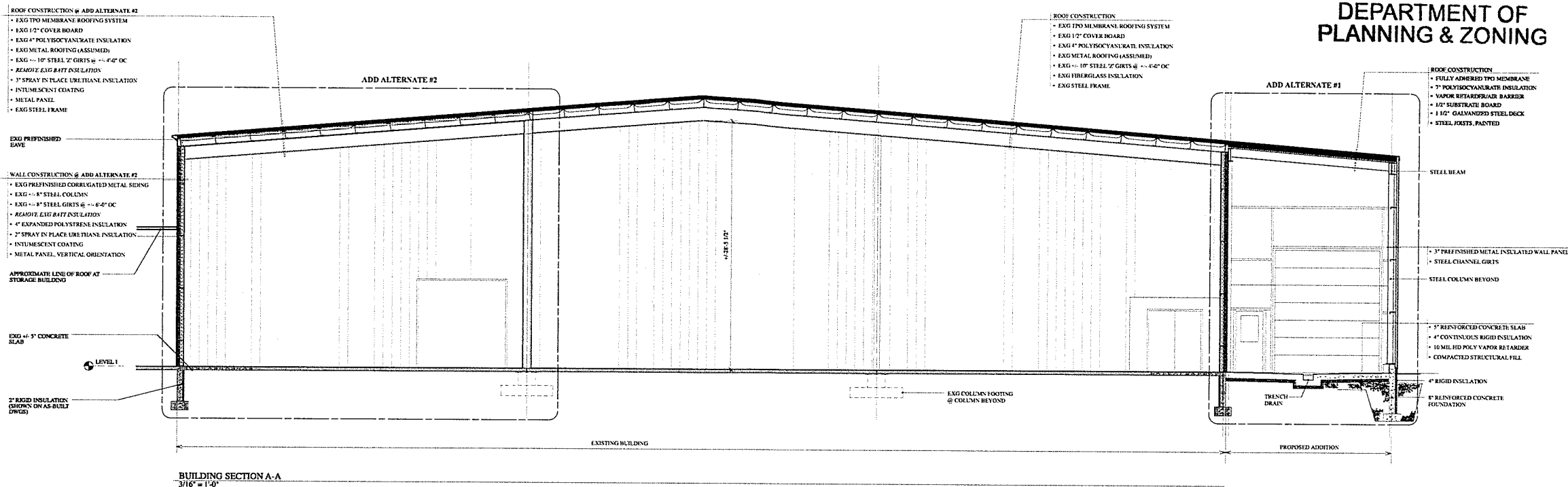
EXTERIOR
ELEVATIONS

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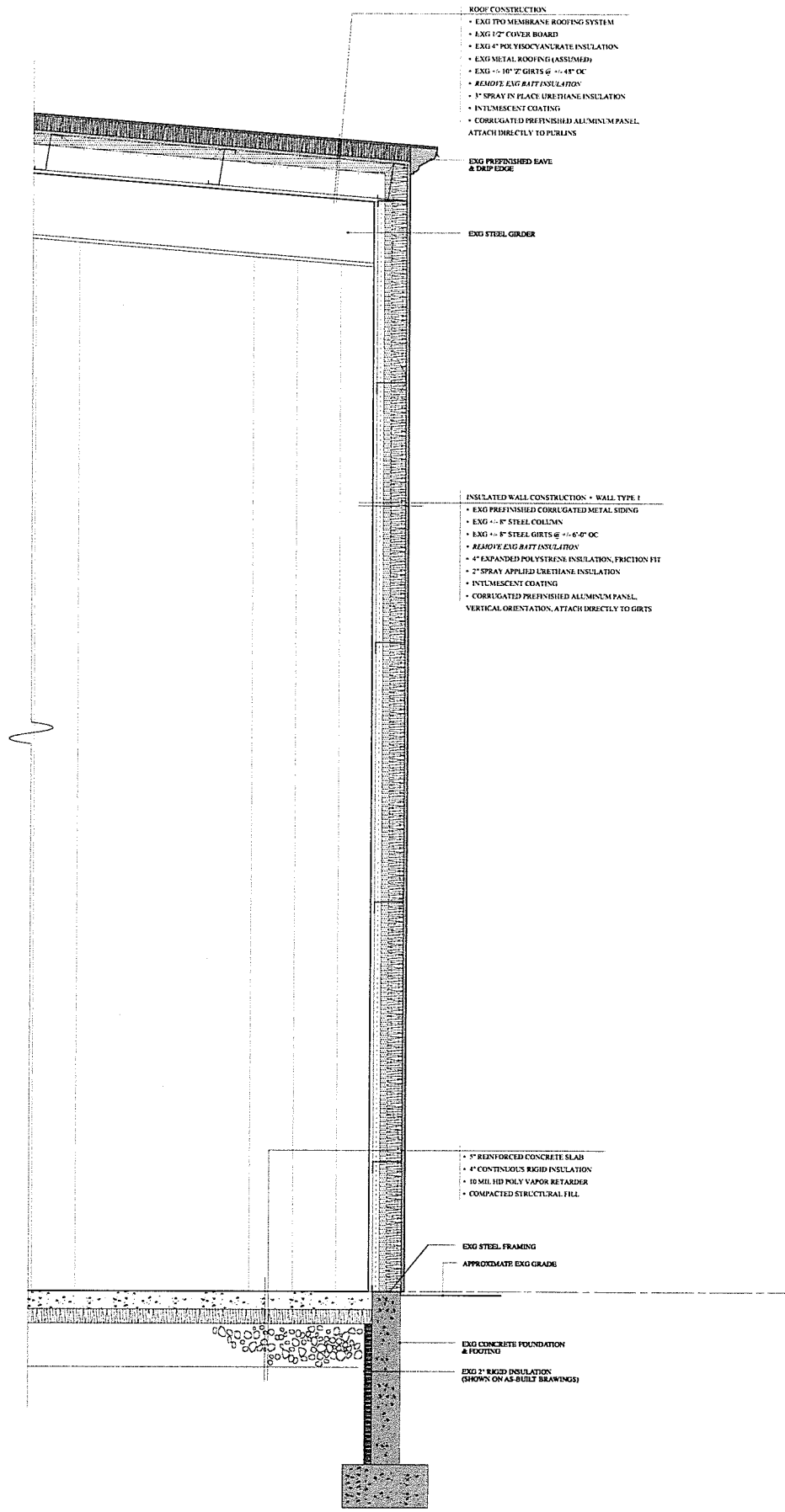
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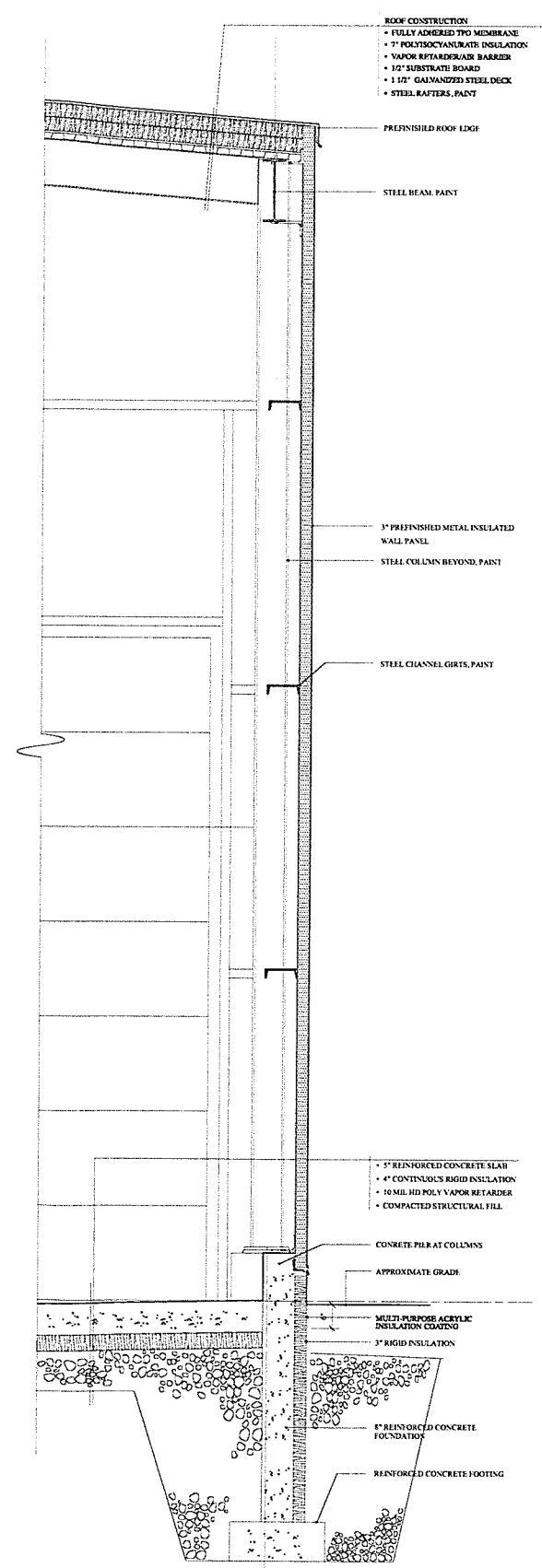
SCHEMATIC DESIGN

PHASE 1
•
BUILDING SECTIONS

SD-4.0



WALL SECTION 1
3/4" = 1'-0"



WALL SECTION 2 • ADD ALTERNATE 1
3/4" = 1'-0"

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CITIZEN CIDER
•
PRODUCTION
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•
BURLINGTON,
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DATE: AUGUST 22, 2017
SCALE: AS NOTED
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SCHEMATIC DESIGN
WALL SECTION 1

SD-5.0

NOTES:

EXISTING COVERAGE AREAS

EXG PARCEL AREA: 398,800 SF
EXG BUILDINGS, NO WORK: 63,300 SF
EXG CITIZEN CIDER BUILDING: 20,600 SF
EXG GRAVEL AT RR TRACK: 19,500 SF
EXG ASPHALT & GRAVEL SURFACES: 166,800 SF
TOTAL EXISTING SURFACES: 270,200 SF
68% CURRENT COVERAGE

80% MAXIMUM ALLOWABLE COVERAGE

PHASE 1 COVERAGE AREAS

8/22/2017

EXG PARCEL AREA: 398,800 SF
EXG BUILDINGS, NO WORK: 63,300 SF
EXG CITIZEN CIDER BUILDING: 20,600 SF
PROPOSED ADDITIONS: 1,500 SF
EXG GRAVEL AT RR TRACK: 19,500 SF
EXG AND PROPOSED ASPHALT & GRAVEL SURFACES: 165,300 SF

TOTAL EXISTING SURFACES: 270,200 SF
68% CURRENT COVERAGE

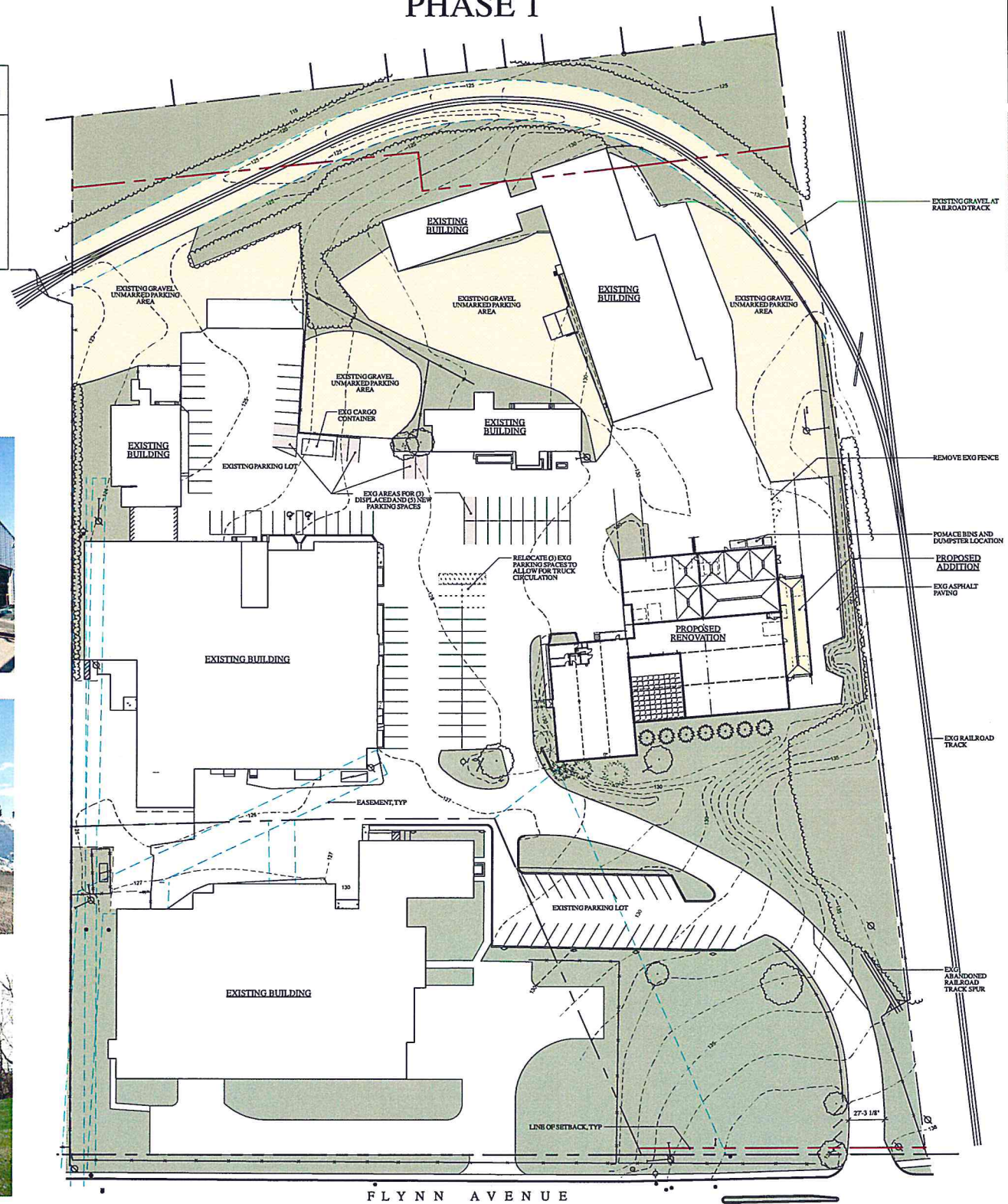
80% MAXIMUM ALLOWABLE COVERAGE

ZONING REQUIREMENTS:

DISTRICT	DENSITY/INTENSITY	LOT COVERAGE	BUILDING HEIGHT	FRONT SETBACK	SIDE SETBACK	REAR SETBACK
LIGHT MANUFACTURING:	MAX: FAR 2	MAX: 80%	MAX: 45'	MIN: 5'	MIN: 0'	MIN: 10%
WAREHOUSE PARKING REQUIREMENT: 0.35/ 1,000 SF (ADD 2 SPACES FOR 1,500 SF ADDITION)						



PHASE 1



PHASE 1 • SITE PLAN

1" = 40'

LEGEND

—	PROPERTY LINE	•	MANHOLE
---	EDGE OF GRAVEL SURFACE	•	CATCH BASIN
---	FENCE	•	LIGHT POLE
---	CHSE/TV	•	IRON ROD OR ANGLE IRON
---	UTILITY LINE (BURIED)	•	UTILITY POLE
---	CONTOUR (EXISTING)	•	GUY ANCHOR
---	WOODS BRUSH	•	HYDRANT
---	CONTOUR (PROPOSED)	•	GATE VALVE
---	DITCH OR SWALE	•	CURS STOP VALVE
---	RAILROAD TRACKS	•	BOLLARD
		•	SPOT ELEVATION

FAR CALCULATION:

GREENHOUSE BUILDING:	8,300 SF
BOOKSIA BUILDING:	18,480 SF
VT HARDWARE BUILDING:	46,850 SF
CITIZEN CIDER BUILDING:	22,021 SF (INCLUDING 1,500 SF ADDITION)
TOTAL:	95,651 SF APPROX. ABOVE GROUND FLOOR AREA
PARCEL AREA:	515,600 SF
FAR:	0.19

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SAS PROJECT NO. 0707

PROJECT

CITIZEN CIDER
•
PRODUCTION
FACILITY
•
BURLINGTON,
VERMONT

DATE: AUGUST 22, 2017
SCALE: AS NOTED
CHECKED: BA
DRAWN BY: JM

REVISIONS

SCHEMATIC DESIGN

PHASE 1
SITE PLAN

L-1.0

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Meagan Tuttle, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, CFM, Associate Planner
Anita Wade, Zoning Clerk
Layne Darfler, Planning Technician



TO: Development Review Board
FROM: Scott Gustin
DATE: September 19, 2017
RE: 17-1150CA; 3163 North Avenue

=====

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: RL-W Ward: 7N

Owner/Applicant: John Shappy

Request: Concrete pad and deck within lakeshore and wetland buffer

Applicable Regulations:

Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines)

Background Information:

The applicant is seeking approval for an existing concrete pad and deck along the lakeshore. The pad is used for parking an RV for seasonal use of the site by the property owner. This application comes as a result of Code Enforcement action citing the lack of permit for these site improvements.

The Conservation Board reviewed this application at their August 7, 2017 meeting and recommended approval as is. The Board considered impacts to the lakeshore buffer and wetland buffer affecting this parcel and determined little in the way of impacts. The applicant has also reviewed the proposal with the State Wetlands Office.

Note that zoning amendment ZA-17-12, Technical Corrections, eliminates the need for conditional use review of applications involving natural resource overlays. Therefore, only certificate of appropriateness review pertains to this application.

There is no previous zoning permit action for this property.

Recommendation: Consent approval as per, and subject to, the following findings and conditions.

I. Findings

Article 4: Maps & Districts

Sec. 4.4.5, Residential Districts:

(a) Purpose

(2) Residential Low Density – Waterfront (RL-W)

The Residential Low Density –Waterfront (RL-W) district is intended primarily for low-density residential development in the form of single detached dwellings and duplexes with consideration given to design review. The district is typically characterized by a compact and cohesive residential development pattern reflective of the respective neighborhood’s development history. The use of the property, for seasonal lakeshore access, is effectively accessory to the property owner’s nearby single family dwelling. **(Affirmative finding)**

(b) Dimensional Standards and Density

Lot coverage amounts to 10.1%, well below the 35% maximum permissible.

The concrete pad is 55’ from the 100’ elevation along the lakeshore. The site plan notes 35’ to the “lake” but does not specify exactly where that is. The 75’ lakeshore setback under this criterion stems from the 100’ elevation. The site plan needs to be revised accordingly. The 55’ setback is acceptable under Sec. 4.4.5 (d) 1 B (ii) which allows averaging the waterfront setback of existing principal structures within 150’ of the subject property. In this case, the existing primary structure to the north is also setback 55’ from the 100’ elevation. At 10% of the lot width, a ~3’ side yard setback applies. The structures are set back 6’ or more from the nearest side property line. The front yard setback is based on the average of neighboring properties +/- 5.’ In this case, there is just one neighboring property with a building on it. That building is setback 21’ from the front property line. The pad included in this application is set back 35’ from the front property line. Insofar as no building is included in this proposal, and the pad is set behind the front yard setback so as to avoid conflicts with front yard parking restrictions, its location is acceptable.

No height information has been provided as to the deck; however, it appears to be about 5’ tall and is well under the 15’ accessory structure height limit. **(Affirmative finding as conditioned)**

(c) Permitted and Conditional Uses

As noted before, the concrete pad and deck are effectively accessory to the property owner’s nearby residence. **(Affirmative finding)**

(d) District Specific Regulations

See Sec. 4.4.5 (b) above.

Sec. 4.5.4, Natural Resource Protection Overlay District

(c) District Specific Regulations: Riparian and Littoral Conservation Zone

This application entails no tree clearing or new stormwater discharges. The Conservation Board reviewed this application August 7, 2017 and recommended approval as is. **(Affirmative finding)**

(d) District Specific Regulations: Wetland Conservation Zone

This application pertains to site improvements within the city’s 100’ wide wetland buffer zone. The minimal site improvements are located within existing cleared lawn area. The Conservation Board found wetland impacts to be minimal and recommended approval of the application as is. **(Affirmative finding)**

Sec. 4.5.6, Mouth of the River Overlay District

While the subject property is included within this overlay district, none of the provisions pertain to the application. **(Not applicable)**

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

See Article 4 above.

Sec. 5.2.4, Buildable Area Calculation

Not applicable to the subject property.

Sec. 5.2.5, Setbacks

See Article 4 above.

Sec. 5.2.6, Building Height Limits

See Article 4 above.

Sec. 5.2.7, Density and Intensity of Development Calculations

See Article 4 above.

Sec. 5.5.1, Nuisance Regulations

Nothing in the proposal appears to constitute a nuisance under this criterion. **(Affirmative finding)**

Sec. 5.5.2, Outdoor Lighting

(Not applicable)

Sec. 5.5.3, Stormwater and Erosion Control

(Not applicable)

Article 6: Development Review Standards:

Part 1, Land Division Design Standards

Sec. 6.1.2, Review Standards

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

Most of the criteria under this section do not pertain to the permit request. The site improvements are minimal, involve no buildings, and serve to provide seasonal lakeshore access to the property owner. As noted in Article 4 above, the site improvements are dimensionally compliant. The most significant considerations as to natural resource impacts have been considered by the Conservation Board and have been found to be acceptable. No earthwork, new construction, or utility work is included in this application. **(Affirmative finding)**

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(Not applicable)

II. Conditions of Approval

1. **Prior to release of the zoning permit**, a revised site plan depicting the setback to the 100' lakeshore elevation shall be provided, subject to staff review and approval.
2. Standard Conditions 1-15.



Department of Planning and Zoning

149 Church Street, City Hall
Burlington, VT 05401-8415
Phone: (802) 865-7188
Fax: (802) 865-7195

www.burlingtonvt.gov/pz

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Zoning Permit Application

DEPARTMENT OF
PLANNING & ZONING

Use this form for ALL zoning permit applications. See the relevant checklist for specific requirements.

PROJECT LOCATION ADDRESS: #2 North 3163 North Ave

PROPERTY

OWNER*: JOHN & ELIZABETH SHAPPEY

*If condominium unit, written approval from the Association is also required

APPLICANT: JOHN A SHAPPEY

POSTAL ADDRESS: 3163 NO AVE

CITY, ST, ZIP: BURL VT 05400

DAY PHONE: 802 658-3775

EMAIL: NONE

SIGNATURE: John & Elizabeth Shappey

I am the owner. In addition, I duly authorize the applicant (if noted) to act on my behalf for all matters pertaining to this zoning permit application.

POSTAL ADDRESS: 41 NO CODE

CITY, ST, ZIP: BURL VT 054

DAY PHONE: 802 658-3775

EMAIL: NONE

SIGNATURE: John A Shappey

Description of Proposed Project: CAMP SITE

Existing Use of Property: ☐ Single Family ☐ Multi Family: # Units ☒ Other: CAMP SITE

Proposed Use of Property: ☐ Single Family ☐ Multi Family: # Units ☒ Other: CAMP SITE

• Does your project involve new construction, addition, alteration, renovation, or repair to a structure that is heated or cooled? Yes ☐ No ☒

(If yes, the Vermont Residential Building Energy Standards (VRBES) apply. Visit the P&Z Office, Public Service Board or PSB website for details.)

• Will 400 sq ft or more of land be disturbed, exposed and/or developed? Yes ☐ No ☒

(If yes, you will need to submit the 'Erosion Prevention and Sediment Control Plan' questionnaire, with a site plan)

• For Single Family & Duplex, will total impervious area be 2500 sq ft or more? Yes ☐ No ☒

(If yes, you will need to submit the 'Stormwater Management Plan' questionnaire, with a site plan)

• Are you proposing any work within, below, or above the public right of way? Yes ☐ No ☒

(If yes, you will need to receive prior approval from the Department of Public Works)

• Are you proposing any onsite food or beverage production/manufacturing? Yes ☐ No ☒

(If yes, you will need to consult with Water Resources Division at the Department of Public Works: 863-4501)

Estimated Construction Cost (value)*: \$ 0

(*Estimated cost a typical contractor would charge for all materials and labor, regardless of who physically completes the work)

Within 30 days of submission, the permit application will be reviewed for completeness, and, if complete, will be processed administratively or referred to a board for review. All permit approvals or denials are subject to an appeal period (15 days for administrative permit; 30 days for board permit). A building (and/or electrical, mechanical, plumbing, curb cut) permit will also be required. Contact the Department of Public Works at 802-863-9094 to inquire. Please ask for assistance if you have any questions about filling out this form. Call the Planning and Zoning at 802-865-7188, or visit the office in the lower level of City Hall, 149 Church Street.

Office Use Only: Zone: RLW Eligible for Design Review? Y Age of House Lot Size 420

Type: SN AW FC BA COA 1 ✓ COA 2 COA 3 CU MA VR HO SP DT MF

Check No. 3431 Amount Paid 80.00 Zoning Permit # 17-11500

+ 150.00



Vermont Department of Environmental Conservation
Watershed Management Division
111 West Street
Essex Junction, VT 05452

Agency of Natural

[phone] 802-49

July 18, 2017

John Shappy
41 North Cove Road
Burlington, VT 05408

RECEIVED

JUL 31 2017

DEPARTMENT OF
PLANNING & ZONING

re: 3173 North Avenue Parcel, Burlington; Wetlands project 2017-291

Dear Mr. Shappy,

Thank you for meeting with me on July 11, 2017 at your lakefront property located on at 3173 North Avenue. There is an existing concrete pad and motor home on the property, and mapped Class II (jurisdictional) wetlands on the adjacent property south. Class II wetlands are protected under the Vermont Wetland Rules, along with its associated 50-foot buffer zones. It was confirmed at the site visit that the wetlands are greater than 50 feet away from the concrete pad and parked motor home, and outside of state wetland jurisdiction.

Please give me a call at 802-490-6202 if you have any questions.

Sincerely,

A handwritten signature in cursive script, appearing to read "Tina Heath".

Tina Heath
District Wetland Ecologist



RECEIVED
MAY 16 2017

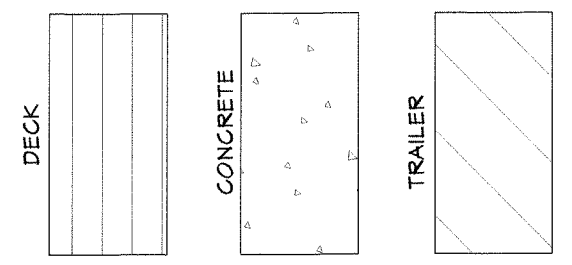
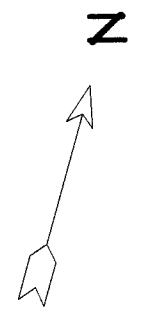
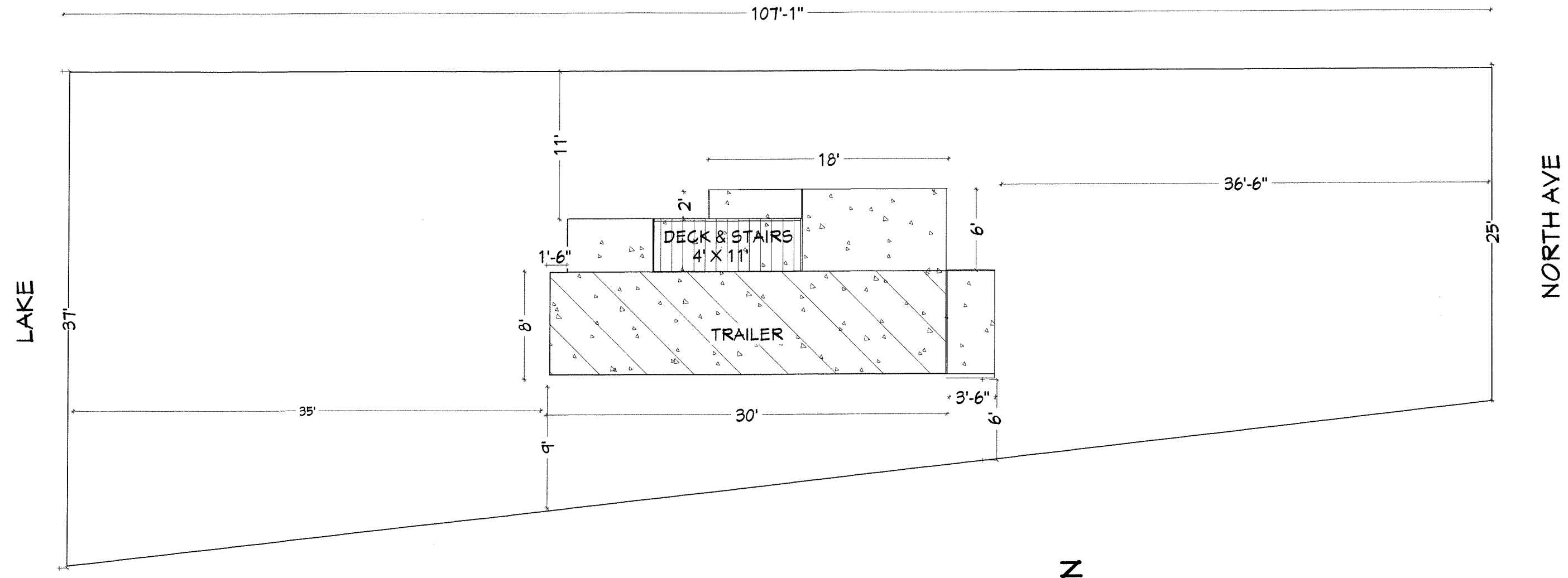
DEPARTMENT OF
PLANNING & ZONING

JUL 31 2017
DEPARTMENT OF
PLANNING & ZONING

PROJECT:
PLOT PLAN
3163 NORTH AV
BURLINGTON, V

CLIENT:
JOHN SHAPPY

DRAWINGS PROVIDED BY:



3163 North Avenue





Memorandum

To: Mark Naud, CSC Project Consultant

Date: September 13, 2017

Cc: Kirsten Merriman Shapiro, CEDO

Project #: 57990.00

From: David Saladino, PE

Re: DRAFT Burlington Community Sailing Center Parking Assessment

This memorandum has been prepared in response to a request from City of Burlington Planning Department staff to provide additional supporting information related to the Burlington Community Sailing Center's (CSC's) parking waiver request, as well as details related to auto and bus drop-off plans. Specifically, this memorandum addresses the following three items requested in an August 21, 2017 memorandum from Scott Gustin:

1. A forward-looking parking management plan to demonstrate that the 9 proposed spaces are justified for continuing use of the sailing center in the future.
2. The parking management plan relies on safe drop-off. Show a safe and efficient drop-off area on the proposed site plan.
3. Demonstrate how school buses picking up and dropping off students will circulate through the site.

Forward-Looking Parking Management Plan

The first item requested by Planning Department staff involves laying out a *forward-looking parking management plan to demonstrate that the 9 proposed spaces are justified for continuing use of the sailing center in the future.*

For over 20 years, the CSC has functioned successfully with direct access to only 18 shared public parking spaces adjacent to the fishing pier. This limited, first-come, first-served approach to the provision of parking has "trained" CSC employees and patrons to find other ways to get to the Center, including carpooling, walking, cycling, or riding a bus. Maintaining a relatively small supply of on-site parking will likely be the strongest driver for reducing overall parking demand.

Overbuilding parking can often lead to an increase in parking demand – as well as related adverse impacts including increased stormwater run-off, decreased green space, and increased property and resource impacts. Given the CSC's sensitive location on the waterfront, the presence of nearly 100 public parking spaces along Lake Street Extension, the relative ease of accessing the site by foot or on bike, and a reluctance to overbuild parking based on approximate zoning calculations, the CSC has requested an 81% parking waiver to provide 9 spaces on site. Additionally, the new CSC facility has a smaller boat storage yard than the current CSC facility uses.

Strategies that the CSC will use to reduce or manage the demand for parking into the future include the following:

- As part of their Sustainable Campus Initiative, the CSC will continue to educate and strongly encourage employees and patrons to use alternative transportation modes (i.e. carpool, walk, bike, bus).
- The CSC will explore becoming a member of the Chittenden Area Transportation Management Association (CATMA) and designating a staff person to serve as an on-site Employee Transportation Coordinator to leverage the benefits of CATMA membership for employees and patrons.

40 IDX Drive
Building 100, Suite 200
South Burlington, VT 05403-7771
P 802.497.6100

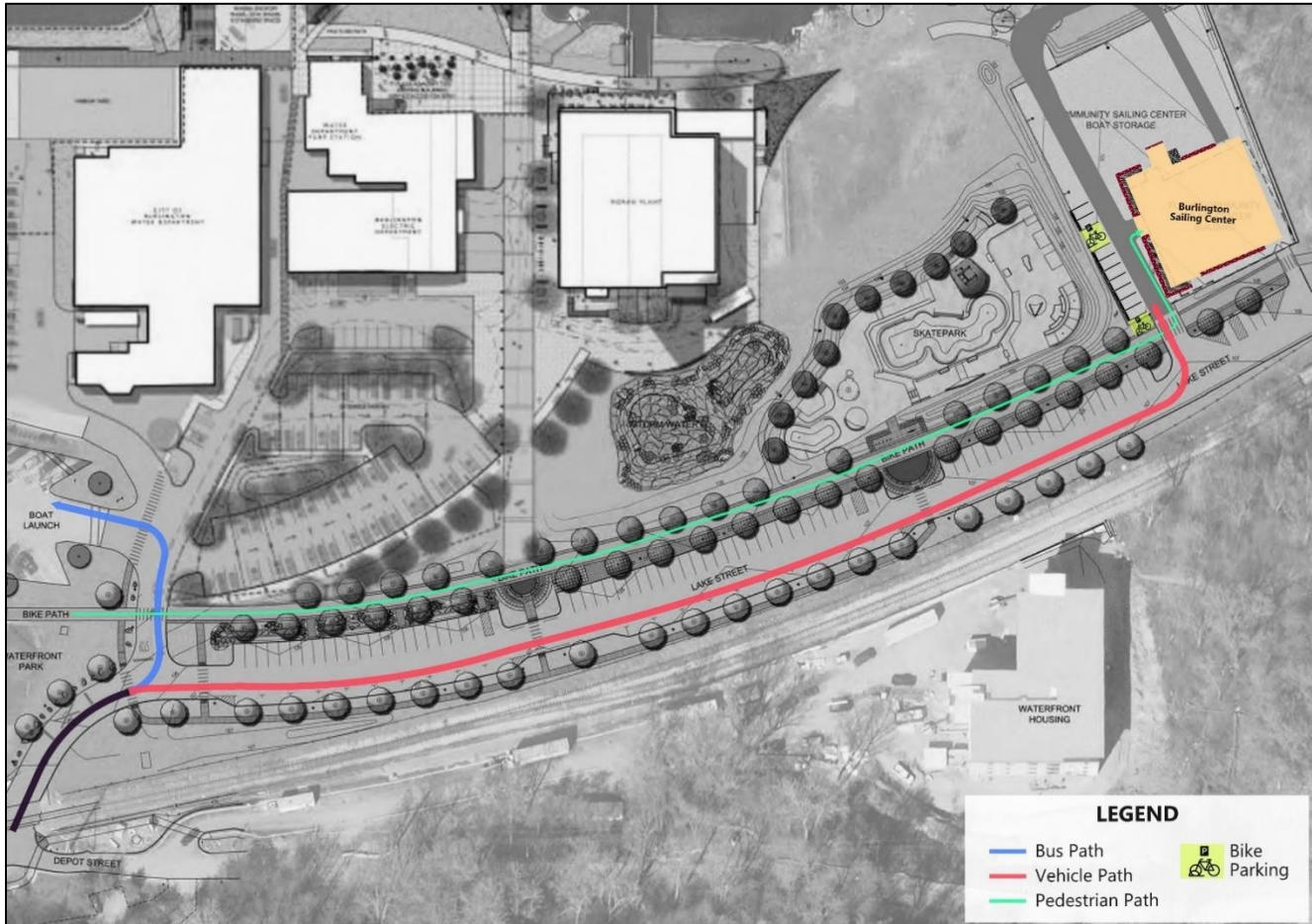
- The CSC will allocate one or two "carpool only" spaces on-site to incentivize carpooling by employees and patrons. The CSC should observe utilization and adjust the number of carpool spaces up or down accordingly to optimize use.
- The CSC will provide bicycle parking to accommodate approximately 20 bicycles on site. This exceeds the amount of short-term bicycle parking called for in Table 8.2.5-1 in the *Comprehensive Development Ordinance*.
- The CSC may direct staff to park off-site if needed to accommodate patron parking on-site.

Safe & Efficient Vehicular Drop-Off Plan

The second item requested by Planning Department staff is for the CSC to *show a safe and efficient drop-off area on the proposed site plan*.

Figure 1 below shows the proposed CSC (at right) in context with the skate park, Moran Plant, and adjacent uses. The red line in Figure 1 shows the typical arrival path for an automobile drop-off trip. The intent is for a portion of the drop-off and pick-up trips to pull into one of the 9 on-site spaces, discharge or pick up their passenger(s), and then exit along the same route used to enter. The remaining drop-off and pick-up trips would be accommodated within the head-in public parking located immediately adjacent to the CSC on Lake Street Extension. This arrangement is similar to the shared public/private vehicle accommodations provided during drop-off and pick-up at both Edmunds and Champlain Elementary Schools (both of which abut much busier streets). The drive aisle proposed within the CSC site adjacent to the head-in parking spaces is 20 feet wide, which is more than sufficient to accommodate a pull-in and back-out maneuver by a passenger vehicle.

Figure 1: School Bus (Blue) and Auto (Red) Access and Drop-off Routes



Bus Drop-Off and Circulation Plan

The third item requested by Planning Department staff is for the CSC to *demonstrate how school buses picking up and dropping off students will circulate through the site.*

Figure 1 shows the school bus drop-off and pick-up route as a blue line. As is currently the practice today, the school buses drop-off and pick-up students in the boat launch parking area where the students are met by a CSC staff member and escorted to the CSC. Unlike current conditions, where staff walk children along the road between the BED and Water Department buildings, the location of the new site will allow the CSC staff to use marked crosswalks and the bike path to more safely get children between their buses and the CSC.

The CSC anticipates at most two school buses servicing the Center on a given day, with a maximum of four buses per week and a total of 8-10 buses per season, which runs from May 1 to June 15 and from Labor Day to October 15. Historically, all of the students from Burlington schools (which represents about $\frac{3}{4}$ of the educational program) have walked, biked or were carpooled to the CSC.

July 13, 2017

Scott Gustin, AICP, CFM
Principal Planner & Asst. Administrative Officer
Dept. of Planning & Zoning
149 Church Street
Burlington, VT 05401

Re: Zoning permit amendment - Lake Champlain Community Sailing Center parking requirement waiver request – 10-1005CA/MA & 10-115CA (475 & 0 Lake Street); and referencing 17-0755CA/CU; 235 PENNY LANE (DW-PT, Ward 3C) City of Burlington (Burlington Harbor Marina); and Staff comments Sec. 8.1.15, Waivers from Parking Requirements / Parking Management Plans

Dear Scott,

Please accept this letter as notice and request of the Lake Champlain Community Sailing Center (CSC) responding to the above referenced zoning permits and amendments.

The CSC is requesting an 83% waiver for parking requirements for the Community Sailing Center facilities on the waterfront at the Tuesday 8/1/17 DRB meeting. As you know the CSC's parking initially was provided for by the approved parking in the Waterfront Access North (WAN) Project. With the revised WAN project and the approved construction of the new CSC facilities, and with the proposed revised parking lot provided in this application, the CSC hereby requests a parking variance of 83% from 52 to 9 spaces from the previously approved parking in conjunction with the present proposed parking plan for WAN completion and the marina development.

Since 1994, the only parking available to the CSC are 18 parking spaces (not including handicapped spaces) on a first-come/first-serve basis at the Fishing Pier. Our experience has been that we generally use less than 50% of these spaces. We have operated in the current configuration without any designated parking while growing our services to 6,000 people annually. We have shared utilization of this space with other users including, visitors to the fishing pier, BED and DPW staff and truck traffic. While there have been times that this area has been congested and challenging, we have not had direct complaints or demands for designated parking. We therefore believe this waiver request is reasonable.

We have been successful in this regard for a number of reasons that support the variance request:

1. The CSC has promoted alternative transportation for its staff and users for over a decade. During that time, the majority of the year-round (6-8) and seasonal staff (30-40) walk or bike to the waterfront. The CSC also allows staff to telecommute as appropriate.
2. As part of our Sustainable Campus Initiative, the CSC will educate and advocate for all of our customers and users to utilize alternative transportation (pedestrian, public transit, cycling, etc.) to access the

**78 Landon Road South Hero VT 05486
m ~ 802.363.3310
mnaudlaw@gmail.com**

new facilities. Public transit is available nearby at the top of Depot Street and at the foot of College Street at ECHO.

3. A key component of our programming is providing access for rentals and storage so that people do not car-top or trailer their vessels down to launch facilities along the waterfront, and can minimize their car trips with limited and increasingly expensive parking around the City.
4. The education and summer camp programs are comprised by over half our users. Essentially all of those visits are provided by carpool, van service, bus, bike or pedestrian modes of transportation.
5. The CSC supports using Transportation Demand Management strategies as part of our environmental mission and would participate in a Transportation Management Association should one be advanced by either the BBA or the City.
6. With the new bike path improvements, we are already seeing increased utilization of the path by cyclers and pedestrians, and with secure bike parking as part of the WAN, skatepark and CSC improvements, we will see more utilization and less automobile trips and less need for automobile parking adjacent to the CSC. There are 96 spaces created with Lake Street extension, including the 4 handicapped spaces directly east of the new facility and directly in front of the accessible entry to the new building.
7. With the revised site plan attached, we are providing sufficient space for 9 onsite spaces at the building entry. In addition, we will have bike racks directly in front of the entry on top of the pump station location.

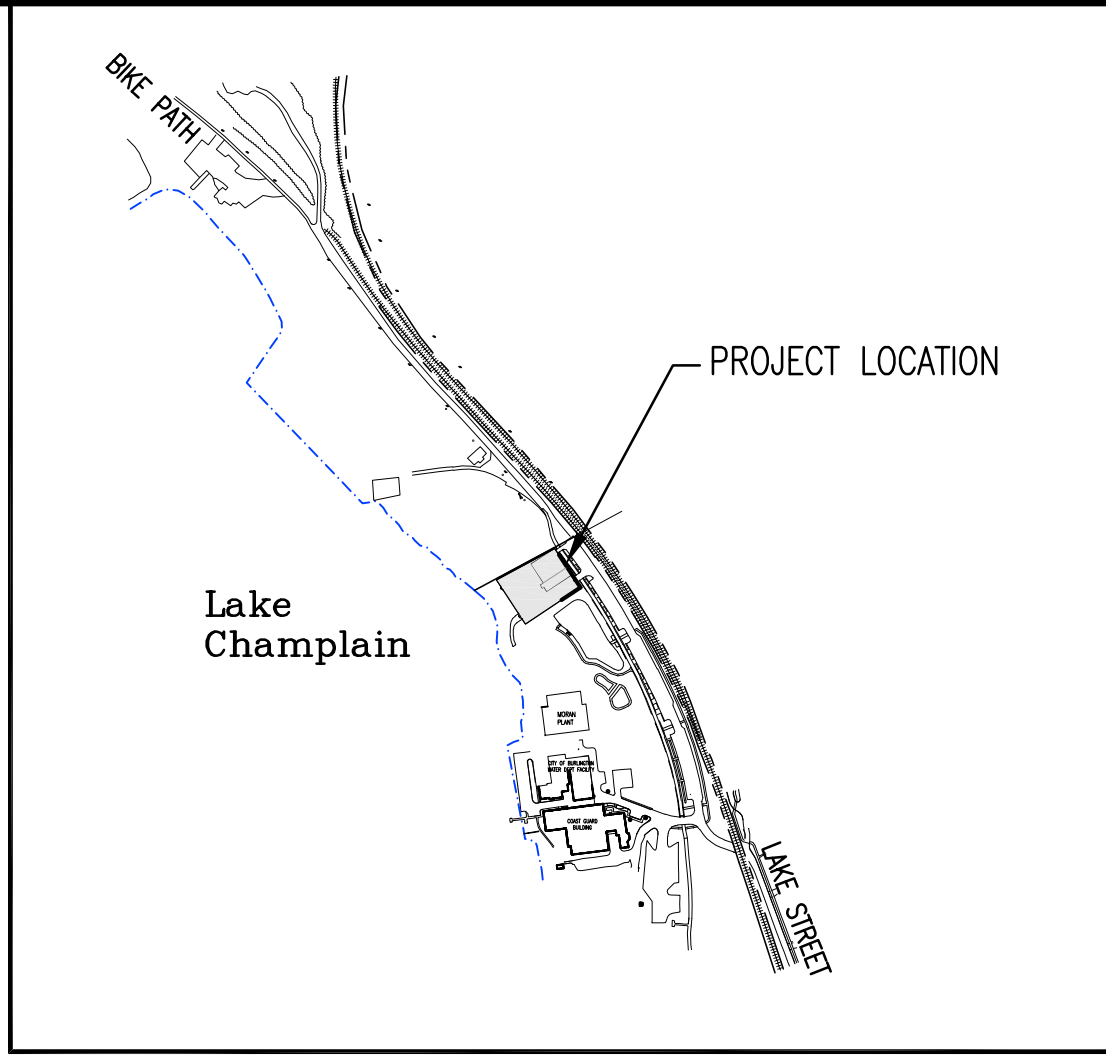
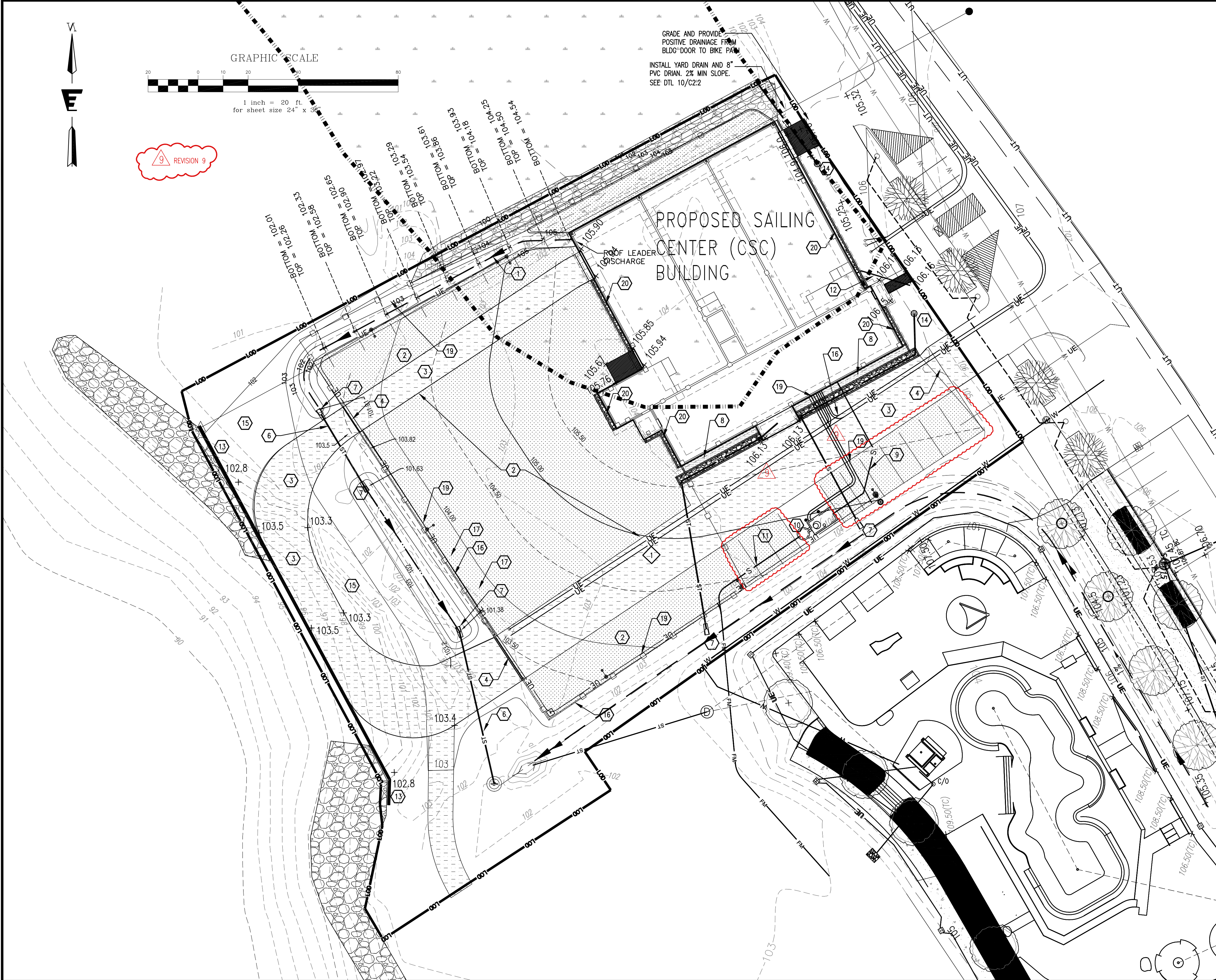
Our experience during this recent period of growth, particularly with recent and pending improvements to the waterfront with bike path, WAN, and pending completion of the new CSC facility suggest that the 9 spaces internally allocated for the CSC at the new facility will satisfy any necessary parking requirements for the CSC. Moreover, with the parking plan requirements in the BHM and "East Lot" approval, we will be working with the City, DPW, Parks, and BHM to assess and report on any parking related issues over the next three years. While we are comfortable that our waiver request comports with our needs, we are prepared to work with the City, a co-applicant to this request, to make necessary accommodations via the east lot or elsewhere if needed. We would prefer not to advance a permit request that oversubscribes to unnecessary parking. If that experience suggests the 9 onsite spaces are insufficient, the CSC will work with DPW and BHM for designation of spaces as previously allocated in the East Lot of WAN.

I will be attending the Zoning hearing and can provide any additional comments at the hearing as may be requested. I may have a revised site plan with better labeling of key transportation attributes before the hearing.

Respectfully submitted,



Mark Naud
Project Consultant
Community Sailing Center



LOCATION MAP
NOT TO SCALE

EXISTING CONDITIONS NOTES

EXISTING (2) 4" SCH80 PVC CONDUIT. *

PROPOSED SITE AND UTILITY NOTES

- 1 WATER QUALITY SWALE. REFER TO DETAILS 1,2/C2.2
 - 2 STABILIZED TURF PARKING SURFACE. REFER TO DETAIL 2/C2.0
 - 3 GRAVEL DRIVE AISLE SURFACE. REFER TO DETAIL 1/C2.0
 - 4 SLIDING GATE
 - 5 PRECAST SEGMENTAL BLOCK WALL (NOT USED)
 - 6 12" HDPE. REFER TO DETAIL 5/C2.2
 - 7 FLARED END SECTION. REFER TO DETAIL 3/C2.2
 - 8 DRIP STRIP & PLANTING BED. REFER TO DETAIL 4/C2.2
 - 9 6" PVC BUILDING SEWER, MINIMUM 2% SLOPE TO PUMP STATION. REFER TO DETAIL SHEET C2.3
 - 10 PUMP STATION AND VALVE VAULT. REFER TO DETAIL SHEET C2.3
 - 11 2" PVC FORCEMAIN. CONNECT TO EXISTING*
 - 12 EXTEND 4" C900 PVC WATER SERVICE INTO NEW CSC BUILDING
 - 13 NEW SHEET PILE WALL WITH RAILING. REFER TO DETAIL 6/C2.0
 - 14 YARD DRAIN. REFER TO DETAIL 10/C2.0
 - 15 TOPSOIL, SEED, AND MULCH (ALL DISTURBED AREAS NOT OTHERWISE INDICATED), PER DETAIL 10/C2.0
 - 16 INTERCEPT EXISTING CONDUIT AND CONNECT TO/FROM BUILDING
 - 17 EXTEND EXISTING CONDUIT AND CAP.
 - 18 3" PVC VENT, SLOPED AT 2% TOWARD PUMP STATION, (NOT USED)
 - 19 NEW ELECTRICAL CONDUIT FOR SITE LIGHTING
 - 20 STONE PERIMETER BAND AT FOUNDATION (S/C2.0)
- * IN SOME CASES, 'EXISTING' REFERS TO ITEMS INSTALLED AS PART OF THE WATERFRONT ACCESS NORTH PROJECT.

LEGEND

NEW	
	CONTOUR
	SWALE
	SANITARY SEWER LINE
	STORM LINE
	WATER LINE
	UNDERGROUND ELECTRIC
	LIGHTING CONDUIT
	FLARED END SECTION
	CATCH BASIN
	STORM MANHOLE
	GATE VALVE
	HYDRANT
	WATER SHUT OFF

Stamp

Rev.	No.	Description
3		REVISED FOR C. O. 10/08/15
4		REVISED FOR CONSTRUCTION 4-15-16
5		REVISED CONSTRUCTION DRAWING 4-29-16
6		SCALE CORRECTION 5-25-16
7		SWALE INVERT ADJUSTMENT 9-20-16
8		SITE PLAN UPDATE 06/13/17
9		ADDED PARKING AT SOUTH ENTRY DRIVE 7-10-17

ENGINEERING VENTURES INC

208 Flynn Avenue, Suite 2A Burlington, VT 05401
Tel: 802.863.6225 • Fax: 802.863.6306
85 Mechanic Street, Suite 350A, Lebanon, NH 03766
Tel: 603.442.5333 • Fax: 603.442.5331
www.engineeringventuresinc.com

Client:

Lake Champlain
Community Sailing Center
Burlington, VT
802-864-2499

Sheet Title:

Site Plan

Project Title:

Community Sailing Center
Burlington, Vermont

Designed By:

PB

Checked By:

PB

Drawn By:

WC

Scale:

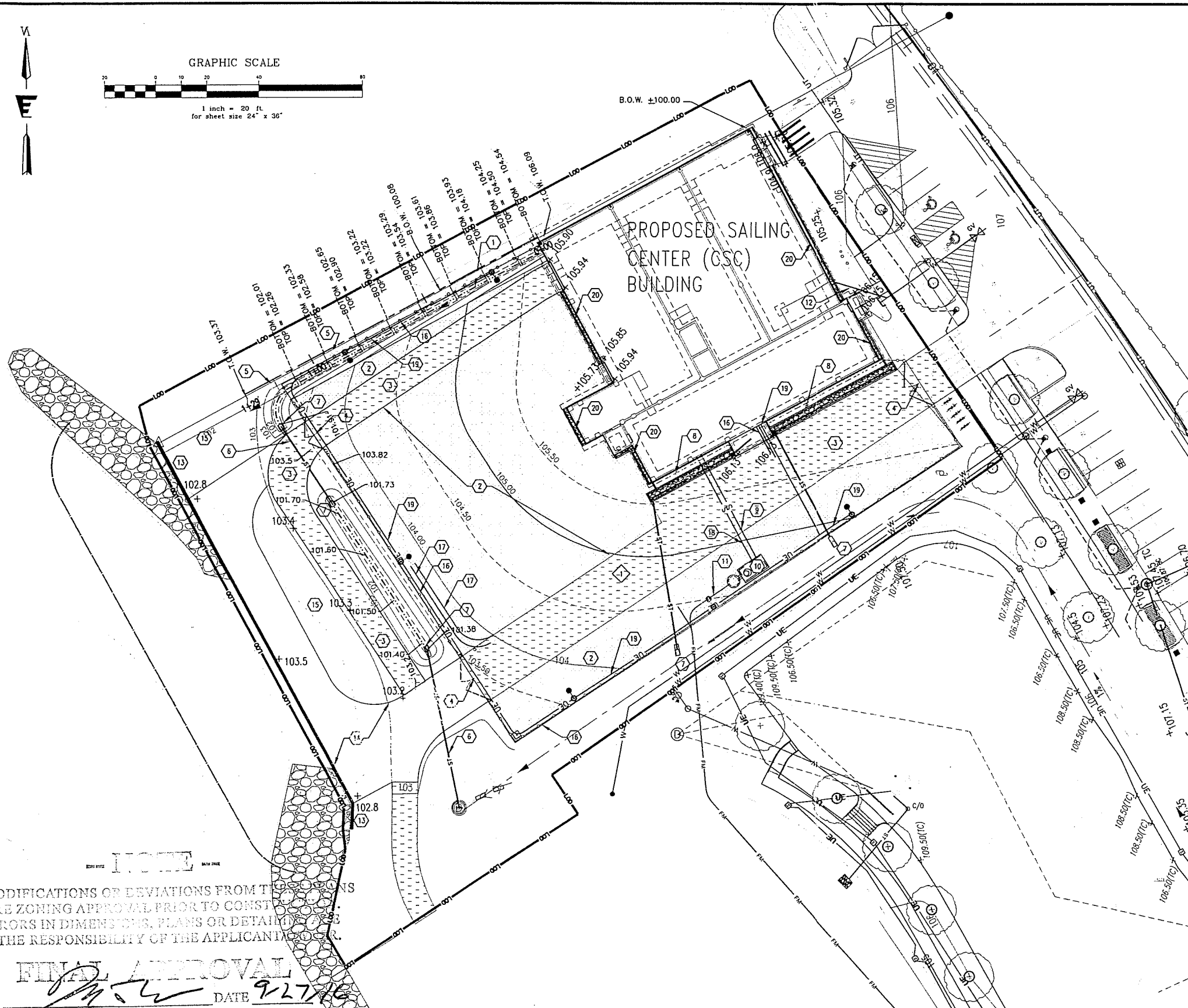
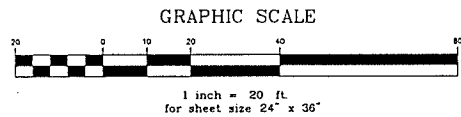
As Noted

Date:

April 2015

C1.1

EV#13376



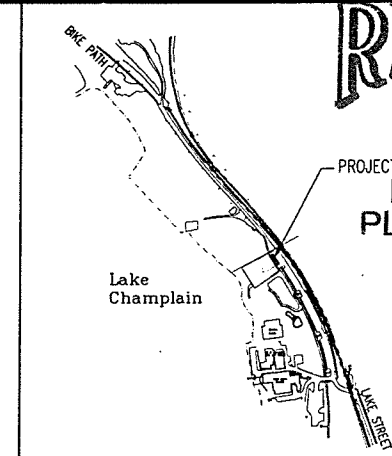
NOTE
ANY MODIFICATIONS OR DEVIATIONS FROM THE PLANS
REQUIRE ZONING APPROVAL PRIOR TO CONSTRUCTION.
ALL ERRORS IN DIMENSIONS, PLANS OR DETAILS ARE
FULLY THE RESPONSIBILITY OF THE APPLICANT/OWNER.

FINAL APPROVAL

SIGNED *[Signature]* DATE 9/27/16

PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

For entire 11-pg. plan set



LOCATION MAP
NOT TO SCALE

EXISTING CONDITIONS NOTES

- EXISTING (2) 4" SCH80 PVC CONDUIT.

PROPOSED SITE AND UTILITY NOTES

- 1 WATER QUALITY SWALE. REFER TO DETAILS 1/2/C2.2
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 - 4 SLIDING GATE
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 - 8 DRIP STRIP & PLANTING BED. REFER TO DETAIL 4/C2.29
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 - 20 STONE PER METER BAND AT FOUNDATION (9/C2.0)
- * IN SOME CASES, "EXISTING" REFERS TO ITEMS INSTALLED AS PART OF THE WATERFRONT ACCESS NORTH PROJECT.

LEGEND

	NEW
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STORM LINE	ST
WATER LINE	W
UNDERGROUND ELECTRIC	UE
LIGHTING CONDUIT	
FLARED END SECTION	□
CATCH BASIN	
STORM MANHOLE	
GATE VALVE	
HYDRANT	
WATER SHUT OFF	

RECEIVED
SEP 14 2016
Stamp

DEPARTMENT OF
PLANNING & ZONING

Rev. No.	Description
1	Water/Waste Water Permit - 07/24/15
2	Building Label Added, Water Line Note Revised - 08/18/15
3	REVISED FOR C.O. 10/06/15
4	REVISED FOR CONSTRUCTION 4-15-16
5	REVISED CONSTRUCTION DRAWING 4-29-16
6	SCALE CORRECTION 5-25-16

ENGINEERING
VENTURES PC
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Tel: 802.882.6225 • Fax: 802.883.8306
85 Main St., Burlington, VT 05401
Tel: 802.442.3338 • Fax: 802.442.3331
www.engineeringventures.com

Client:
Lake Champlain
Community Sailing Center
Burlington, VT
802-864-2499

Sheet Title:
Site Plan
Project Title:
Community Sailing Center

Designed By: PE
Checked By: PE
Drawn By: WC
Scale: As Noted
Date: April 2015

C1.1

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

*David White, AICP, Director
Meagan Tuttle, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, CFM, Associate Planner
Anita Wade, Zoning Clerk
Layne Darfler, Planning Technician*



TO: Development Review Board
FROM: Scott Gustin
DATE: September 19, 2017
RE: 17-1103AP; 383 College Street

=====

This pending appeal is expected to be resolved prior to the September 19, 2017 Development Review Board hearing. A zoning permit application has been filed and is pending site plan revisions prior to administrative action.

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
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Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, CFM, Associate Planner
Anita Wade, Zoning Clerk
Layne Darfler, Planning Technician



TO: Development Review Board
FROM: Scott Gustin
DATE: September 19, 2017
RE: 18-0035CA; 505 Lake Street

=====

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: DW-PT Ward: 3C

Owner/Applicant: City of Burlington / Community Sailing Center

Request: Provision of 9 onsite parking spaces and request for parking waiver.

Applicable Regulations:

Article 8 (Parking)

Background Information:

The applicant is seeking approval to provide 9 onsite parking spaces and to obtain a parking waiver for the remainder of the required parking spaces. Very little about the site will actually change. Some of the approved boat storage area will be used instead for onsite vehicle parking. This proposal includes no change to site or building layout, materials, or dimensions. It includes only the delineation of onsite parking and a parking waiver request.

As originally approved, the new Community Sailing Center facility was to use parking spaces in a new 69-space parking lot just east of the Moran building. That new parking lot (now 68 spaces) has been incorporated into the recently approved marina project and no longer includes provision for Community Sailing Center parking. The Sailing Center now proposes to include parking within its new facility and to request a waiver for the balance of required parking.

The Development Review Board initially considered this application August 1, 2017. Upon deliberation, the Board decided to continue review subject to additional information to address the following:

1. A forward-looking parking management plan to demonstrate that the 9 proposed spaces are justified for continuing use the sailing center in the future.
2. The parking management plan relies on safe drop-off. Show a safe and efficient drop-off area on the proposed site plan.
3. Demonstrate how school buses picking up and dropping off students will circulate through the site.

The applicant has submitted a supplemental parking management plan to address these items.

Zoning Permit History:

- 9/14/16, Approval to adjust location of building with related site changes
- 8/17/10, Approval to construct Community Sailing Center (associated with Moran permit)

Recommendation: **Certificate of Appropriateness approval** as per, and subject to, the following findings and conditions.

I. Findings

Article 8: Parking

Sec. 8.1.8, Minimum Off-Street Parking Requirements

The sailing center is located in the Downtown Parking District. The sailing center largely functions as a boat storage yard with associated administrative space. The parking requirement associated with the zoning permit issued for the new facility reflects this function: 1 space per 1,000 sf boat storage and 2 spaces per 1,000 sf associated administrative space. In this case, the original parking requirement totaled 49 spaces (+3 within the Moran – not built) for 35,100 sf boat storage and 6,750 sf administrative space.

The new sailing center is under construction as permitted. As noted previously, the new building and site remain unchanged from the original approval except that 1,620 sf of boat storage area will be used instead for 9 onsite parking spaces. This adjustment results in a slightly lessened parking requirement of 33 parking spaces for boat storage and 47 parking spaces total, including the 14 parking spaces for administrative space.

As 9 onsite spaces are proposed, and 47 are required, the applicant is seeking approval of a parking waiver per Sec. 8.1.15 below. **(Affirmative finding)**

Sec. 8.1.9, Maximum Parking Spaces

This section limits surface parking to 125% of the Neighborhood Parking District minimum parking requirement. As noted above, the minimum standard parking requirement will not be met. A parking waiver is requested. The proposed parking is nowhere near the maximum limitation. **(Affirmative finding)**

Sec. 8.1.10, Off-Street Loading Requirements

Loading and un-loading area is available in the boat yard. **(Affirmative finding)**

Sec. 8.1.11, Parking Dimensional Requirements

Proposed parking spaces are dimensionally compliant at 9' X 20.' The spaces will be accessed by the permitted driveway into the site. No indication of striping is included on the site plan. Given the parking surface (stabilized turf), striping is not required; however, anchored curb stops must be provided for each of the 9 spaces. **(Affirmative finding as conditioned)**

Sec. 8.1.12, Limitations, Location, Use of Facilities

(a) Offsite parking facilities

(Not applicable)

(b) Downtown street level setback

As noted above, there is no change to the site plan except that prior boat storage area will be used for vehicle parking. The area noted for parking on the site plan is set back from the front property line as required. **(Affirmative finding)**

(c) *Front yard parking restricted*
(Not applicable)

(d) *Shared parking in the Neighborhood Parking Districts*
(Not applicable)

(e) *Single story structures in Shared Use Districts*
(Not applicable)

(f) *Joint use of facilities*
This criterion enables the joint use of parking facilities by multiple entities. In this case, the proposed parking will serve only the sailing center. **(Affirmative finding)**

(g) *Availability of facilities*
None of the proposed parking will be used for the storage or display of vehicles or materials by offsite users. Parking will be for visitors to the sailing center only.
(Affirmative finding)

(h) *Compact car parking*
(Not applicable)

Sec. 8.1.13, Parking for Disabled Persons

None of the proposed parking spaces are noted as handicap accessible. It is unclear whether any of them need to be. In any event, ADA compliance is administered via the city's building permit process. **(Affirmative finding as conditioned)**

Sec. 8.1.14, Stacked and Tandem Parking Restrictions **(Not applicable)**

Sec. 8.1.15, Waivers from Parking Requirements / Parking Management Plans

The Community Sailing Center requires 47 parking spaces as noted above, and 9 will be provided. Nonresidential uses may receive parking waivers of up to 90% dependent on provision of an effective and acceptable parking management plan and demonstration of an actual parking demand that is less than the standard specified in Sec. 8.1.8.

While a new facility for the sailing center is under construction, the entity has been around since the early 1990's. The zoning permit for the original facility at Moran was issued in 1993 and included use of 50 shared parking spaces (shared among the Water and Electric Department buildings, park space, fishing pier, and the sailing center). No specific allocation of parking spaces is evident. In practice, the sailing center used the 18-space lot just west of the BED building. Of those 18 spaces, the sailing center used up to 9. The sailing center has consistently utilized minimal onsite parking. This demonstrated history of minimal parking use is the basis for the requested parking waiver.

The supplemental parking management plan articulates methods to be employed in order to limit onsite parking demand. These measures include promoting use of alternative transportation as part of the Sailing Center's sustainable campus initiative, allocation of carpool-only parking spaces, and provision of onsite bike parking facilities in excess of that required by the zoning code. The parking management plan contemplates membership in CATMA. The plan also notes that some staff parking may occur offsite if needed. Seemingly, membership in CATMA would go a long way towards ensuring that the proposed parking management plan is effectively and consistently implemented. If, indeed, offsite parking is needed on a regular basis, an amended parking management plan will be required.

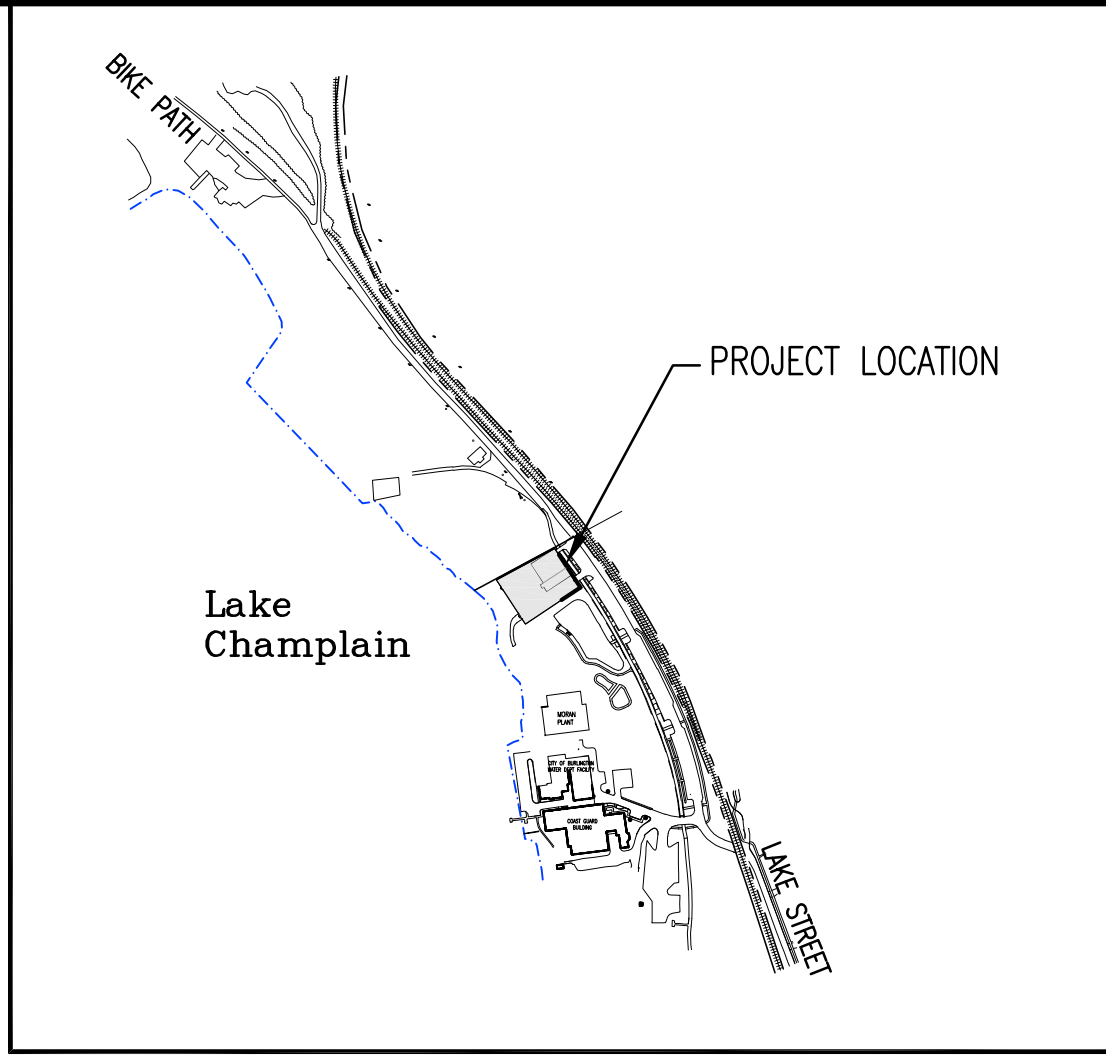
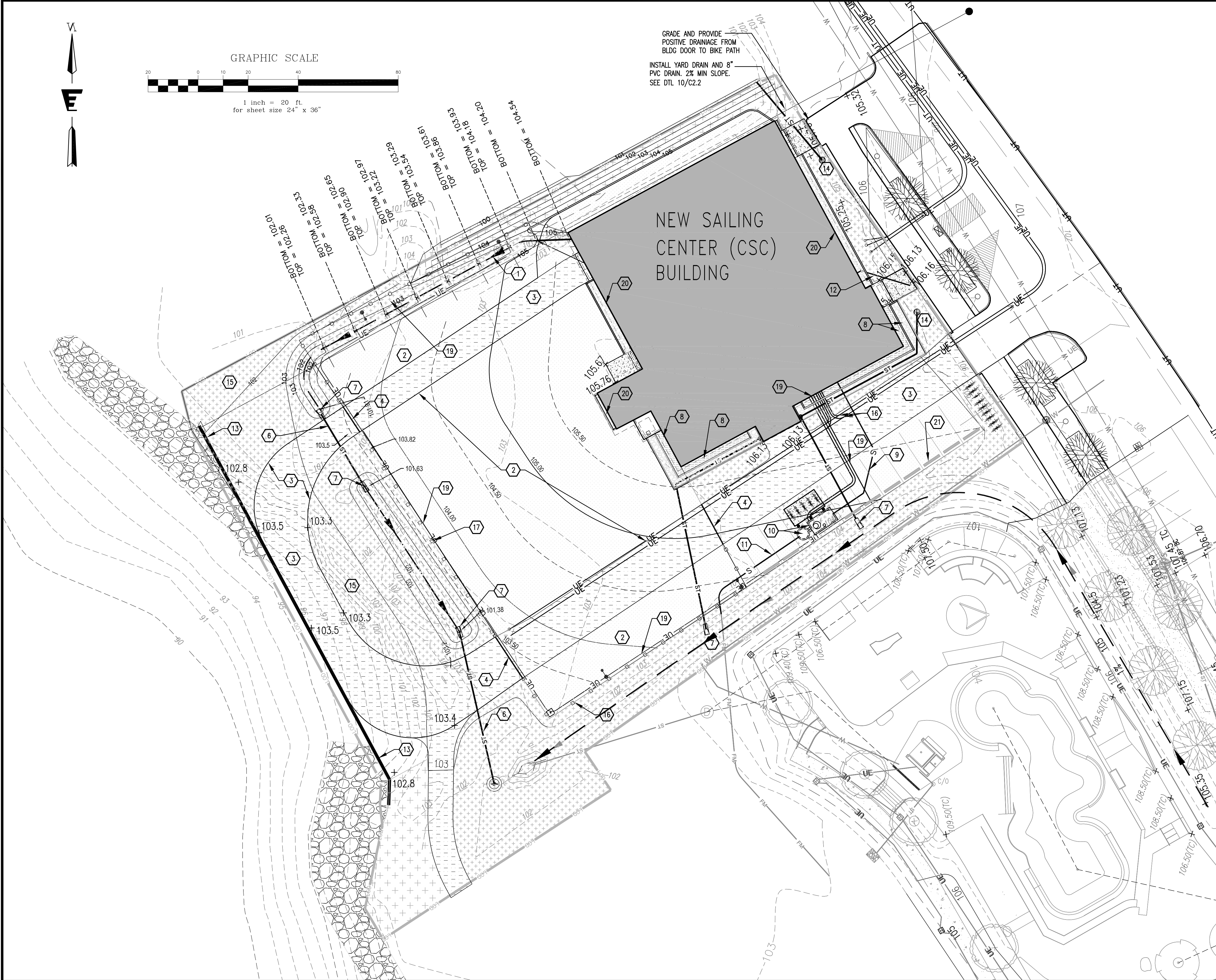
Pick-up and drop-off (rather than lengthy use of parking) also serves to limit onsite parking demand. As requested by the DRB, the supplemental parking management plan articulates how pick-up and drop-off will work. The plan notes that one of the onsite parking spaces will be used for pick-up and drop-off and will utilize the driveway for access. Seemingly, this arrangement could be improved by signage noting that 1 or 2 of the spaces are to be used for pick-up and drop-off parking only during peak hours. The plan also notes the nearby availability of on-street parking that may be used for pick-up and drop-off.

Bus service to the Sailing Center also contributes to lessened onsite parking demand. Bus service is associated with school use and is limited to May 1 – June 15 and Labor Day – October 15. Within that period, up to 4 busses may serve the Sailing Center, but no more than 10 total are anticipated in a given season. The supplemental parking management plan notes bus service to the nearby boat launch. Children are greeted by Sailing Center staff and escorted to the Sailing Center via the reconstructed recreation path.

In light of the sailing center's history of minimal parking use and the proposed parking management measures, the requested parking waiver may reasonably be granted. The applicants should be prepared to report back to the Planning & Zoning Department each year for 3 years as to the actual onsite parking demand. As noted above, an amended parking management plan will be required if supplemental offsite parking is needed. **(Affirmative finding as conditioned)**

II. Conditions of Approval

1. **Prior to release of the zoning permit**, a revised site plan depicting anchored curb stops for each of the 9 onsite parking spaces as well as signage for pick-up/drop-off spot(s) shall be submitted, subject to staff review and approval.
2. For the parking waiver, the applicants shall to report back to the Planning & Zoning Department each year for 3 years from the date of this approval as to the actual onsite parking demand. An amended parking management plan will be required if supplemental offsite parking is needed.
3. It is the applicant's responsibility to comply with all applicable ADA requirements.
4. Standard Conditions 1-15.



LOCATION MAP
NOT TO SCALE

EXISTING CONDITIONS NOTES

- EXISTING (2) 4" SCH80 PVC CONDUIT. *

PROPOSED SITE AND UTILITY NOTES

- WATER QUALITY SWALE. REFER TO DETAILS 1,2/C2.2
- STABILIZED TURF PARKING SURFACE. REFER TO DETAIL 2/C2.0
- GRAVEL DRIVE AISLE SURFACE. REFER TO DETAIL 1/C2.0
- SLIDING GATE
- PRECAST SEGMENTAL BLOCK WALL (NOT USED)
- 12" HDPE. REFER TO DETAIL 5/C2.2
- FLARED END SECTION. REFER TO DETAIL 3/C2.2
- DRIP STRIP & PLANTING BED. REFER TO DETAIL 4/C2.2
- 6" PVC BUILDING SEWER, MINIMUM 2% SLOPE TO PUMP STATION. REFER TO DETAIL SHEET C2.3
- PUMP STATION AND VALVE VAULT. REFER TO DETAIL SHEET C2.3
- 2" PVC FOREMAIN. CONNECT TO EXISTING*
- EXTEND 4" C900 PVC WATER SERVICE INTO NEW CSC BUILDING
- NEW SHEET PILE WALL WITH RAILING. REFER TO DETAIL 6/C2.0
- YARD DRAIN. REFER TO DETAIL 10/C2.0
- TOPSOIL, SEED, AND MULCH (ALL DISTURBED AREAS NOT OTHERWISE INDICATED), PER DETAIL 10/C2.0
- INTERCEPT EXISTING CONDUIT AND CONNECT TO/FROM BUILDING
- NEW FENCE
- 3" PVC VENT, SLOPED AT 2% TOWARD PUMP STATION, (NOT USED)
- NEW ELECTRICAL CONDUIT FOR SITE LIGHTING
- STONE PERIMETER BAND AT FOUNDATION (S/C2.0)
- PLASTIC WHEEL STOPS

* IN SOME CASES, 'EXISTING' REFERS TO ITEMS INSTALLED AS PART OF THE WATERFRONT ACCESS NORTH PROJECT.

LEGEND

NEW	
	CONTOUR
	SWALE
	SANITARY SEWER LINE
	STORM LINE
	WATER LINE
	UNDERGROUND ELECTRIC
	LIGHTING CONDUIT
	FLARED END SECTION
	CATCH BASIN
	STORM MANHOLE
	GATE VALVE
	HYDRANT
	WATER SHUT OFF

Stamp

Rev. No.	Description
5	REVISED CONSTRUCTION DRAWING 4-29-16
6	SCALE CORRECTION 5-25-16
7	SWALE INVERT ADJUSTMENT 9-20-16
8	SITE PLAN UPDATE 06/13/17
9	ADDED PARKING AT SOUTH ENTRY DRIVE 7-10-17
10	MAJOR REVISIONS TO YARD AREA SOUTH OF BUILDING
11	DRAWING CLEANUP / FINAL SITE PLAN 9-8-17

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Client:

Lake Champlain
Community Sailing Center
Burlington, VT
802-864-2499

Sheet Title:

Final Site Plan

Project Title:

Community Sailing Center
Burlington, Vermont

Designed By:

PB

Checked By:

PB

Drawn By:

WC

Scale:

As Noted

Date:

April 2015

C1.1

EV#13376

Burlington Development Review Board

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Alexandra Zipparo
Samantha Tilton
Jim Drummond, (Alternate)
Robert Purvee, (Alternate)



BURLINGTON DEVELOPMENT REVIEW BOARD Tuesday September 19th, 2017, 5:00 PM Contois Auditorium, City Hall, 149 Church St, Burlington, VT Minutes

Board Members Present: Brad Rabinowitz, Geoff Hand, Alexandra Zipparo, Samantha Tilton, Robert Purvee(Alt)

Board Members Absent: Austin Hart, A.J. LaRosa, Jim Drummond (Alt), Israel Smith

Staff Present: Scott Gustin, Mary O'Neil, Layne Darfler

I. Agenda

No Changes

II. Communications

None

III. Minutes

Minutes from September 5th, 2017 will be considered at next deliberative

IV. Consent

1. 18-0143CA/CU; 201 Prospect Parkway (RL, Ward 6S) Stephen Richards

Convert rear addition of garage to accessory dwelling unit.

(Project Manager: Mary O'Neil)

B.Rabinowitz- Does the applicant have any questions or concerns about conditions or staff findings as presented?

None

B.Rabinowitz- Do any Board member object to this project remaining consent or have any further questions? Are there any members of the public that wish to comment or have questions regarding the project?

None

G.Hand- Motion to approve and adopt staff findings and recommendations

A.Zipparo- Second the motion

4-0-0

2. 17-1150CA/CU; 3163 North Avenue (RL-W, Ward 7N) Elizabeth and John Allen Shappy

Construct concrete pad and deck.

(Project Manager: Scott Gustin)

Brabinowitz: Applicant not present, are there any objections from the Board to this project remaining consent or have any further questions? Are there any members of the public that wish to comment or have questions regarding the project?

None

A.Zipparo- Motion to approve and adopt staff findings and recommendations

G.Hand- Seconds the motion

4-0-0

3. 18-0210CA; 180 Flynn Avenue (ELM, Ward 5S) L.J.C. INC

Interior renovations and addition to existing warehouse building, including improvements to an existing loading dock.

(Project Manager: Mary O'Neil)

A.Zipparo- Recused;

B.Rabinowitz- Does the applicant have any questions or concerns about conditions or staff findings as presented?

B.Alvarez- None, would like to note that the existing square footage in staff findings are incorrect and have been addressed with M.O'Neil.

M.O'Neil- Staff error has been corrected, noted that the parking requirement would be less than stated in staff report and the parking under the requirement is already existing. The total square footage of the building is much smaller than noted in staff findings.

B.Rabinowitz- That will be corrected on the actual permit?

Confirmed

B.Rabinowitz- Do any Board member object to this project remaining consent or have any further questions? Are there any members of the public that wish to comment or have questions regarding the project?

None

G.Hand- Motion to approve and adopt staff findings and recommendations

S.Tilton- Seconds the motion

4-0-0

V. Public Hearing

1. 17-1103AP; 383 College Street (RH, Ward 8E) Astra Burlington LLC

Appeal of a zoning violation #334211 for conversion of a multi-use 5 office and 12 residential unit structure to a 14 residential unit building with commercial use, exterior signs and site plan alterations.

(Project Manager: Jeanne Francis)

G.Hand- Recused

S.Gustin- 383 College Street Zoning Permit was issued today. Permit brings total unit count down to 12 as currently recognized and addresses the site changes.

J.Francis- City has hesitation with dismissal of appeal, what if the applicants don't enact the permit?

S.Gustin- One of the remedies of the Notice of Violation was to get a permit and they have done that

J.Francis- If they don't enact the permit then there is still an active violation

S.Gustin- We would reissue the Notice of Violation if that happens

G.Hand- If one of the remedies is to obtain the permit what would typically happen?

J.Francis- We would withdraw the Notice of Violation

B.Rabinowitz- The permit is covering existing conditions?

S.Gustin- The changes are to remove the unpermitted units

G.Hand- Suggest continuance but the City could withdraw the Notice of Violation

J.Francis- Or the appellant could withdraw the appeal

G.Hand- Motion to table this review until October 17th, 2017 DRB meeting

S.Tilton- Seconds the motion

4-0-0

VI. Certificate of Appropriateness

1. **18-0035CA; 505 Lake Street (UR, Ward 3C) Community Sailing Center/City of Burlington**
Provision of 9 onsite parking spaces and request for parking waiver.
(Project Manager: Scott Gustin)

G.Hand- Recused

B.Rabinowitz- Continuance to discuss provision for 9 onsite parking spaces and related parking waiver. Does the applicant have any questions or comments?

M.Naud- Responded to request for additional information for reopening the review. Responded as well as possible. Noted part of the revised site plan and request to put parking on the site. Removing fence between Skate Park and the Sailing Center.

B.Rabinowitz- Question regarding final site plan, the heavy lines indicate what?

M.Naud- Heavy lines indicate bike path and bike parking, bollards will be installed for biker safety.

B.Rabinowitz- Question regarding parking management plan; it documents what you've done and how it works but the verb tense should project the future expectations, not what has been done in the past. Would like to see a statement saying these practices would be continued.

M.Naud- As part of the initiative statement it states the continuance of the existing practices as well as alternative modes of transportation encouraged. Part of the challenge is that they are constrained on the current site, so revisions of the site plan are to address that constraint and push right up to the Urban Reserve district. Move anticipates a future need to potentially expand.

K.Shapiro- The third page from VHB shows a nice image of the traffic patterns, building locations and the Urban Reserve District.

B.Rabinowitz- Does the Board have any further questions?

A.Zlpparo- To confirm, the busses going down the parking area where currently there is the red vehicle path shown on the site plan?

M.Naud- Correct, they expect busses to do as done in the past where they pull into the fishing access ramp and then kids will walk down via the bike trail to the Sailing Center.

B.Rabinowitz- Are there any members of the public that wish to comment or have questions regarding the project?

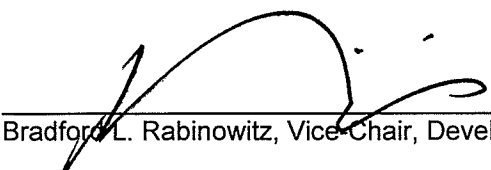
None

B.Rabinowitz- Closed the Public Hearing

VII. Other Business

VIII. Adjournment

The meeting adjourned at 5:39 PM


Bradford L. Rabinowitz, Vice-Chair, Development Review Board

10/3/17
Date


L. Darlier, Planning Technician

10/03/2017
Date

Participation in the DRB proceeding is a prerequisite to the right to take any subsequent appeal. Please note that ANYTHING submitted to the Planning and Zoning office is considered public and cannot be kept confidential. This may not be the final order in which items will be heard. Please view final Agenda, at www.burlingtonvt.gov/pz/drb/agendas or the office notice board, one week before the hearing for the order in which items will be heard.