

Burlington Design Advisory Board

645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DAB
Phone: (802) 865-7188

Matthew Bushey
Ron Wanamaker
Karyn Norwood
Emily Morse
Jay White.
Kathleen Ryan, Alt
Vacant, alternate.



DESIGN ADVISORY BOARD Tuesday September 28, 2021 3:00 PM

**Physical location: 645 Pine Street, Front Conference Room, Burlington VT 05401
And**

Zoom webinar.

**When: Sep 28, 2021 03:00 PM Eastern Time (US and Canada)
Topic: Design Advisory Board**

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/84428496279?pwd=cm9zUIR2MVhlYXI1NVZic3ROWk1VUT09>

Passcode: 193549

Or One tap mobile :

US: +13017158592,,84428496279#,,, *193549# or
+13126266799,,84428496279#,,, *193549#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 301 715 8592 or +1 312 626 6799 or +1 929 205 6099 or +1 253 215 8782 or +1
346 248 7799 or +1 669 900 6833

Webinar ID: 844 2849 6279

Passcode: 193549

International numbers available: <https://us02web.zoom.us/j/84428496279?pwd=cm9zUIR2MVhlYXI1NVZic3ROWk1VUT09>

Agenda

Session I – 3:00 PM – 3:30 PM

- I. Zoning Permit 21-640, 483 Manhattan Drive (RM, Ward 2C) Matt Brouilliard**
Demolish existing single family home and build duplex. (Ryan Morrison,
Project Manager)

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Non-Discrimination

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483 Manhattan Drive - Brouillard Multi-Family

BURLINGTON VERMONT

JRMA design studio - architecture - development - planning

AUGUST 2021

PERMIT DRAWINGS



project

483 MANHATTAN
BURLINGTON, VER

owner

MR. MATT BROUILLARD

architect

JRMA design s
architecture - development - pla

contractor

engineer

notes

revisions

04/15 CONCEPT PLANS

08/04 PERMIT DRAWINGS (P

name

AERIAL LOCAT
MAP

sheet

AA



project

483 MANHATTAN
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revisions

001	CONCEPT PLANS
002	SELECTED FOR PERMIT
003	PERMIT DRAWINGS

name

PERSPECTIVE

sheet

A104

project

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04/15	CONCEPT PLANS
06/10	ISSUED FOR PERMIT
08/04	PERMIT DRAWINGS (R

name

ZONING ANALYSIS

sheet

AZ 100

ZONING CALCULATIONS

ZONING	RM (MEDIUM DENSITY RESIDENTIAL)
ARTICLE 4.3.5	40% LOT COVERAGE ALLOWED
FRONT SETBACK	AVERAGE 2 ADJACENT LOTS + / - 5'-0"

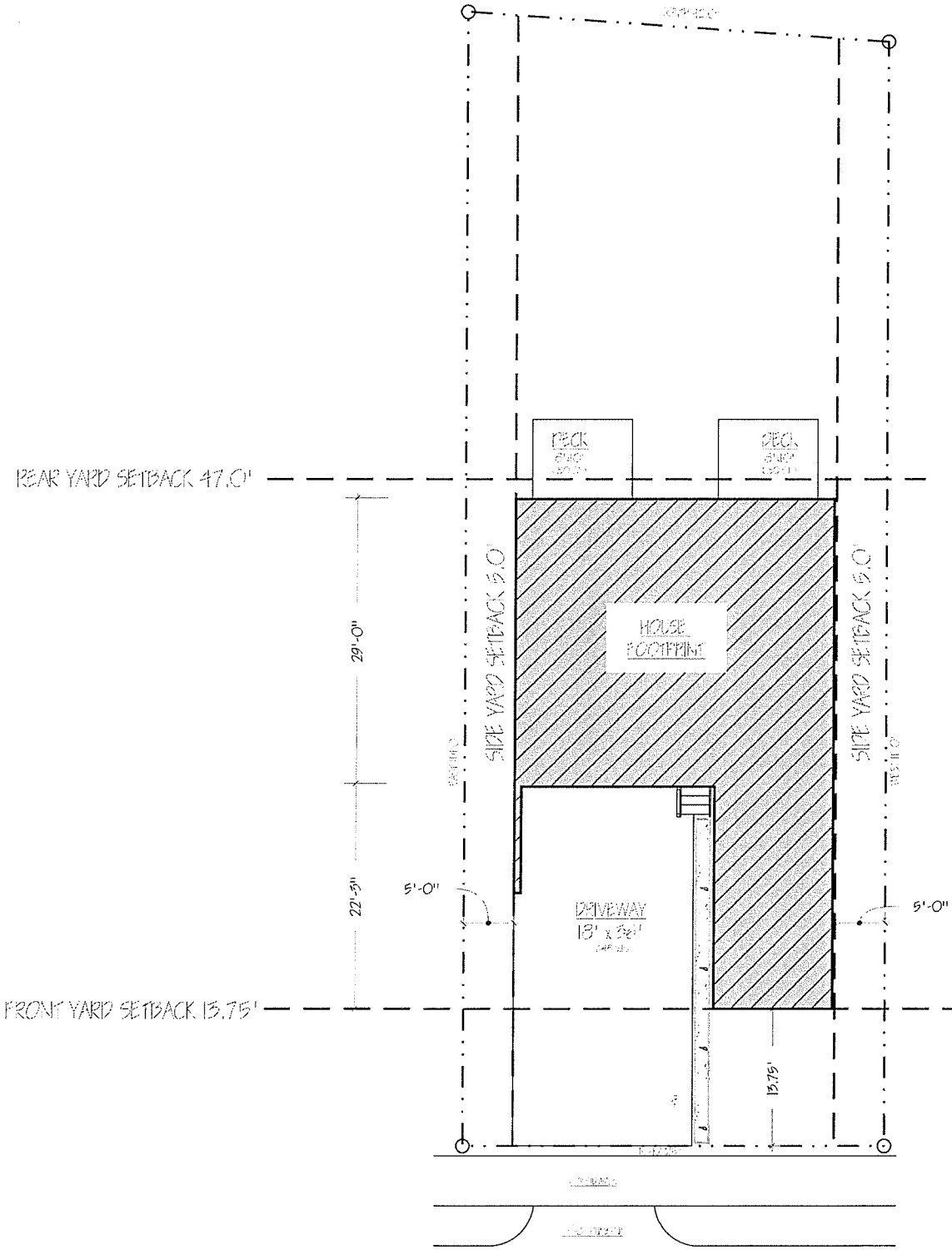
LOT SIZE
42.0' x 112.4'
4,721 SQ.FT

HOUSE FOOTPRINT	1195 SQ.FT	
DRIVEWAY	648 SQ.FT	(18' x 36')

TOTAL	1843 SQ.FT
LOT COVERAGE	1843 / 4721 = 39% LOT COVERAGE

DECK	160 SQ.FT	2x	(8' x 10')
WALK-WAY	72 SQ.FT		(2' x 36')

TOTAL	2075 SQ.FT
	2075 / 4721 = 43% LOT COVERAGE



01 | AZ 100 - ZONING ANALYSIS
1/16" = 1'-0

project

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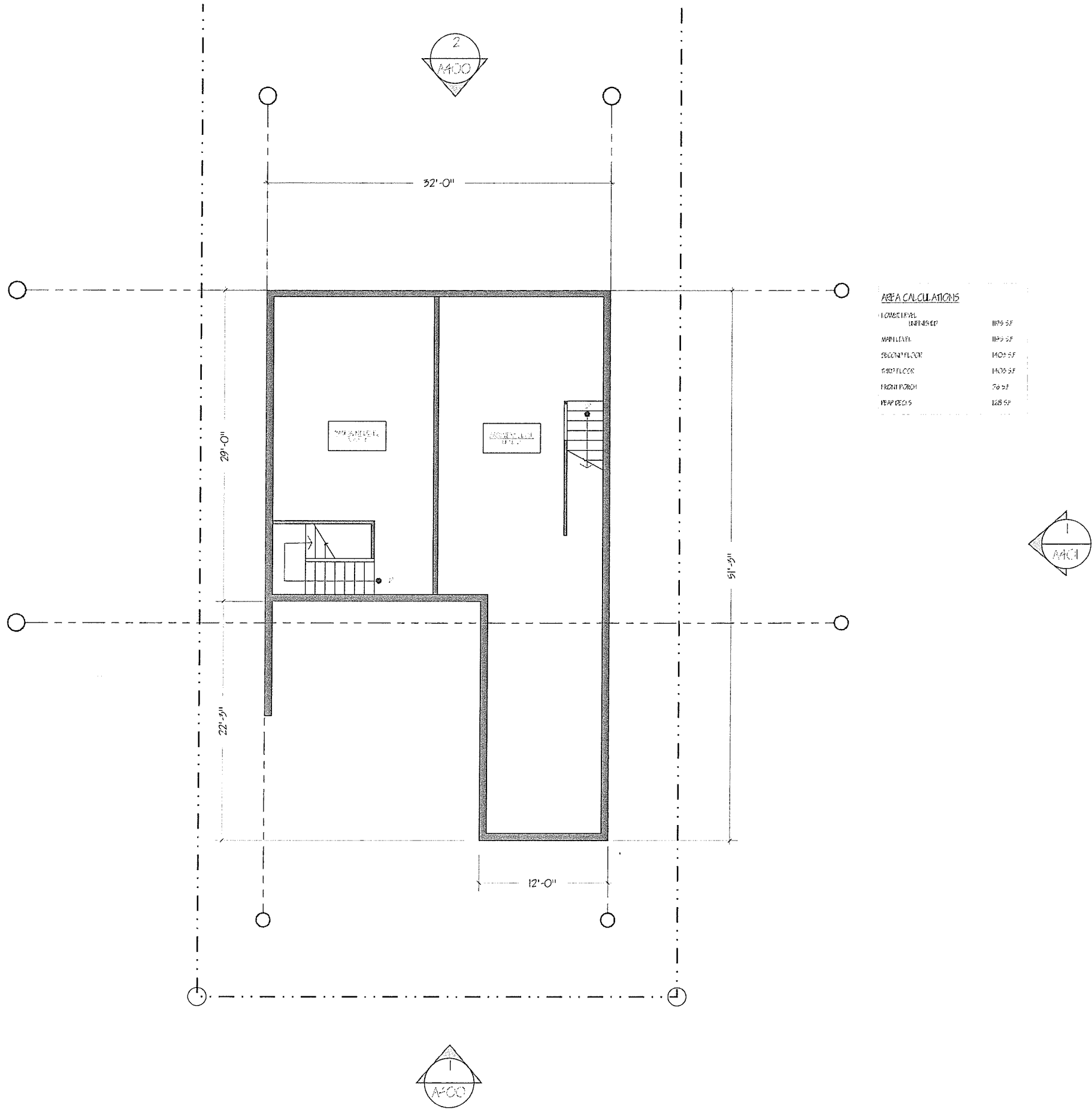
04/15	CONCEPT PLANS
06/10	ISSUED FOR PERMIT
08/04	PERMIT DRAWINGS (P

name

FOUNDATION P

sheet

A200



01 | 200 - FOUNDATION LEVEL
3/32" = 1'-0

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06/10	ISSUED FOR PERMIT
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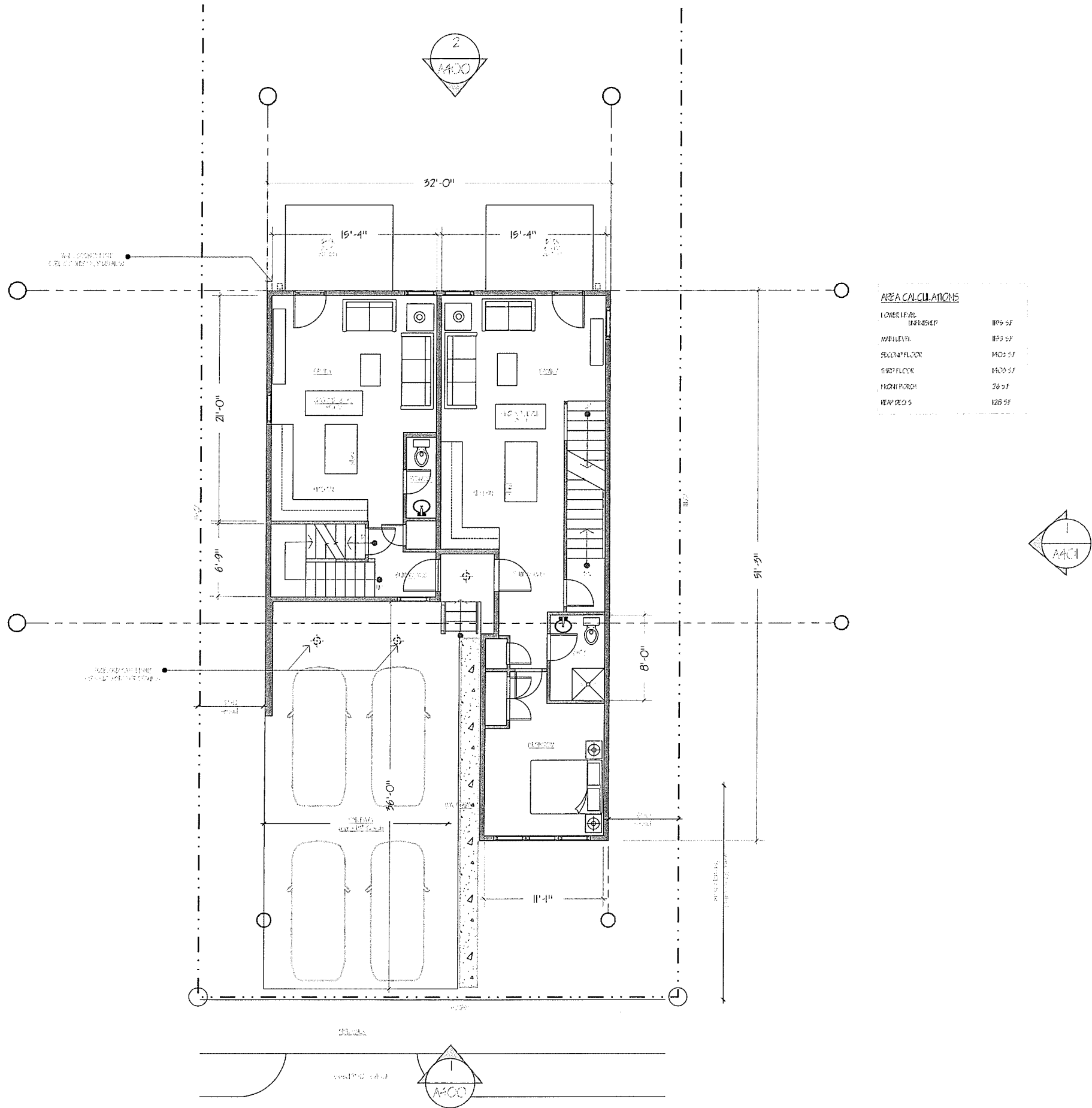
name

GROUND FLOOR

sheet

A20

01 | 201 - GROUND FLOOR PLAN
3/32" = 1'-0



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08/04	PERMIT DRAWINGS (R

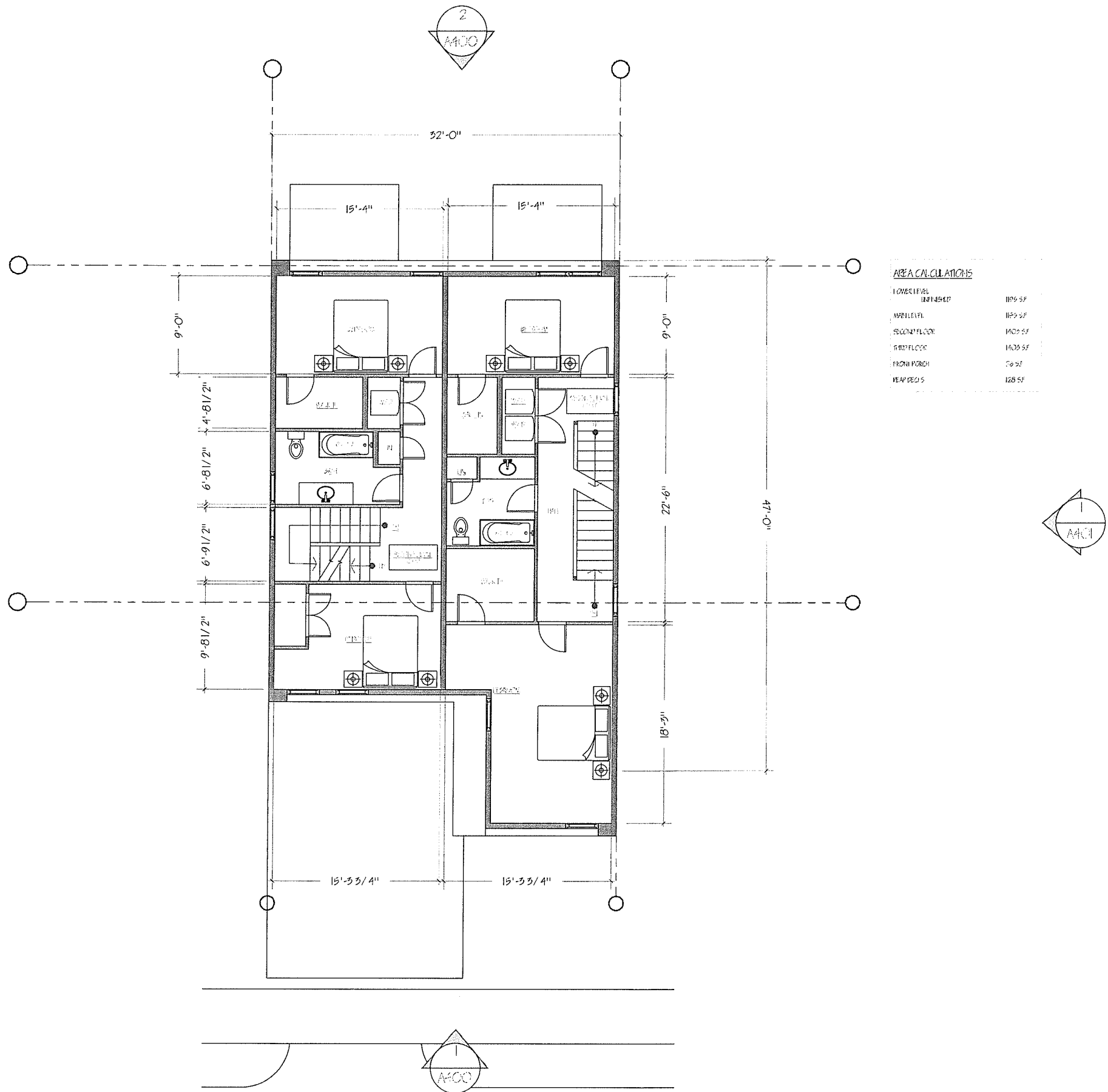
name

SECOND FLOOR

sheet

A202

01| 202 - SECOND FLOOR PLAN
3/32" = 1'-0



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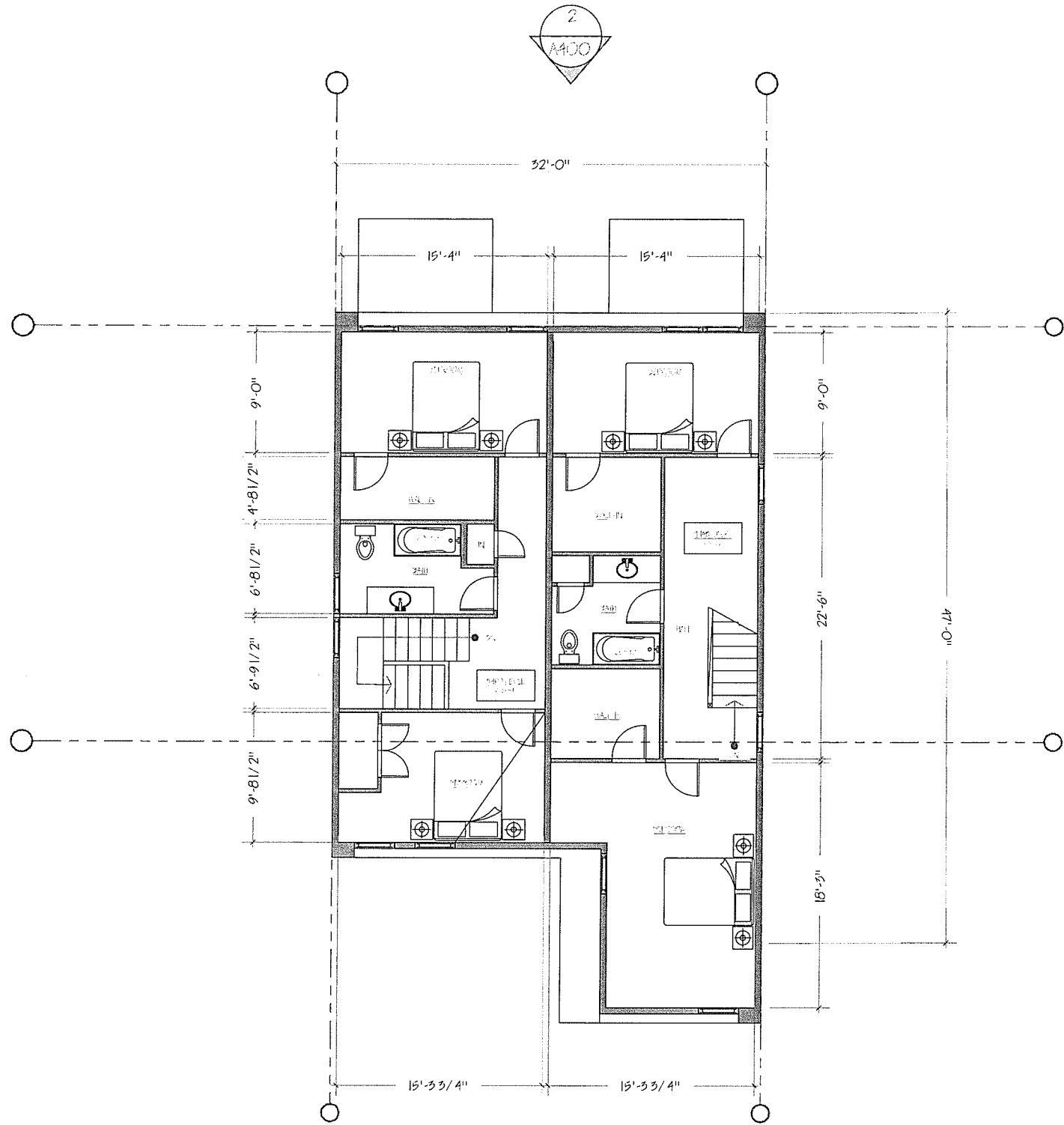
04/15	CONCEPT PLANS
06/10	ISSUED FOR PERMIT
08/04	PERMIT DRAWINGS (R

name

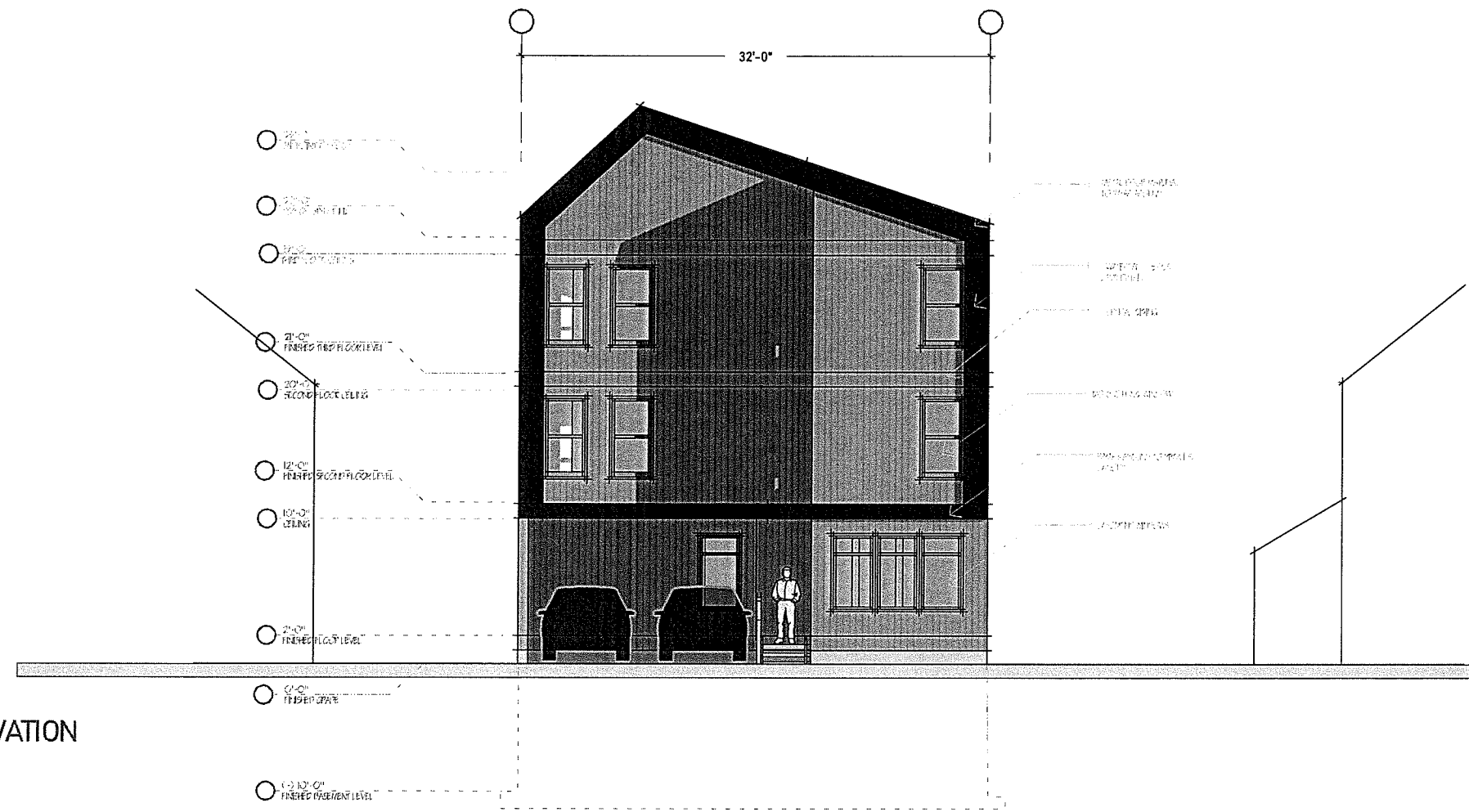
THIRD FLOOR P

sheet

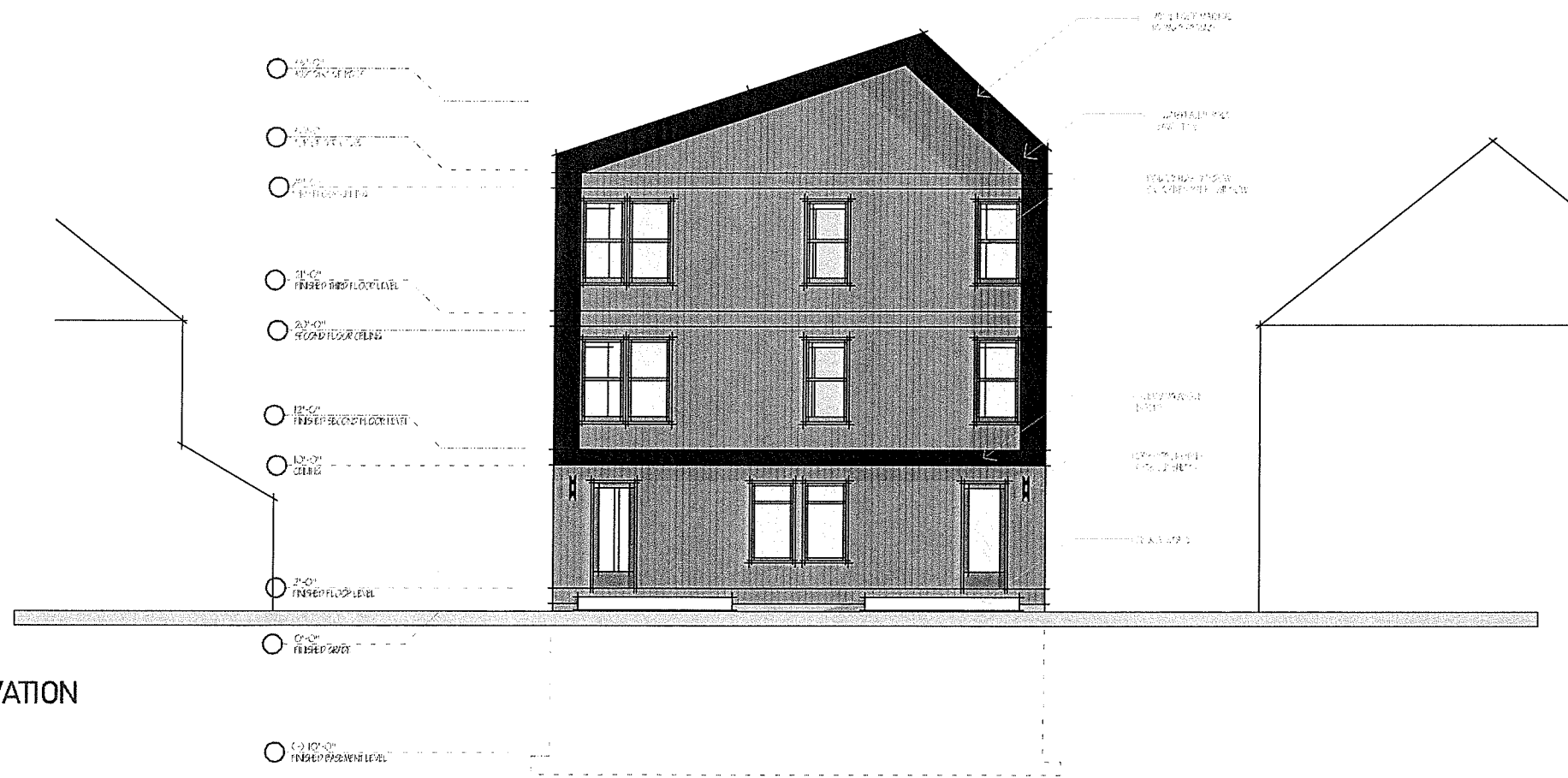
A203



01 | 203 - THIRD FLOOR PLAN
3/32" = 1'-0



01 | 400 - FRONT ELEVATION
3/32" = 1'-0



02 | 400 - REAR ELEVATION
3/32" = 1'-0

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08/04	PERMIT DRAWINGS (R

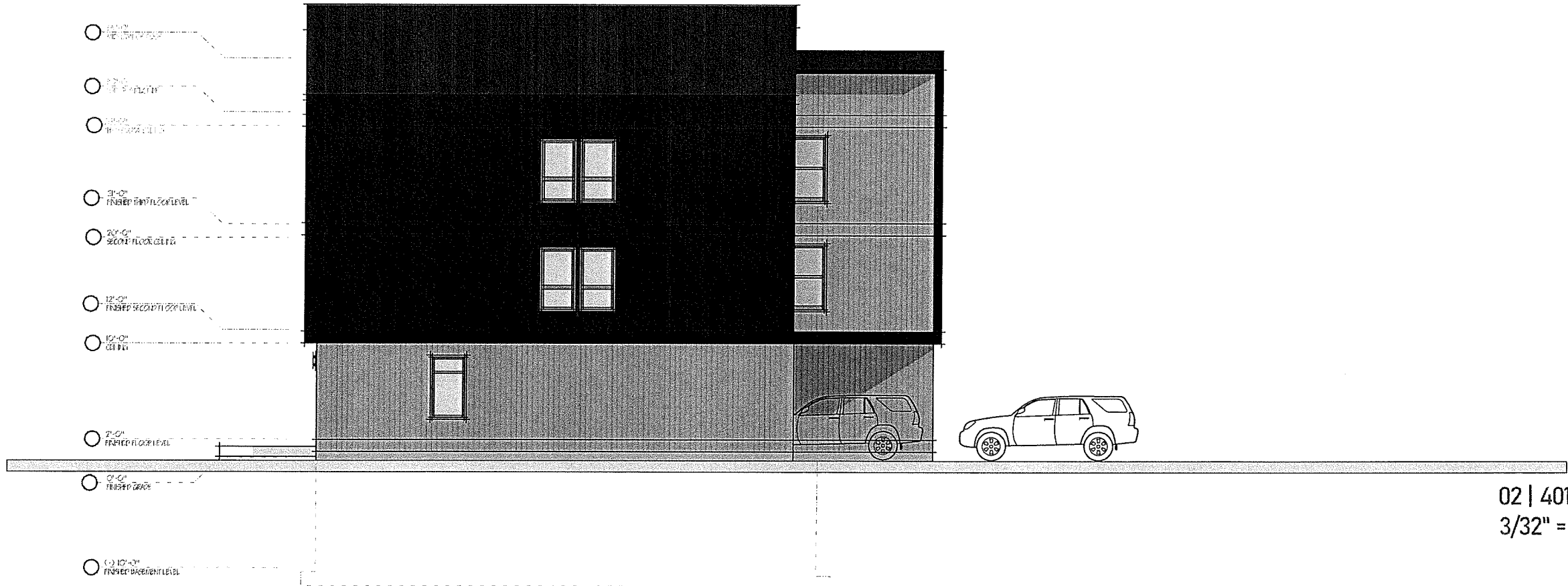
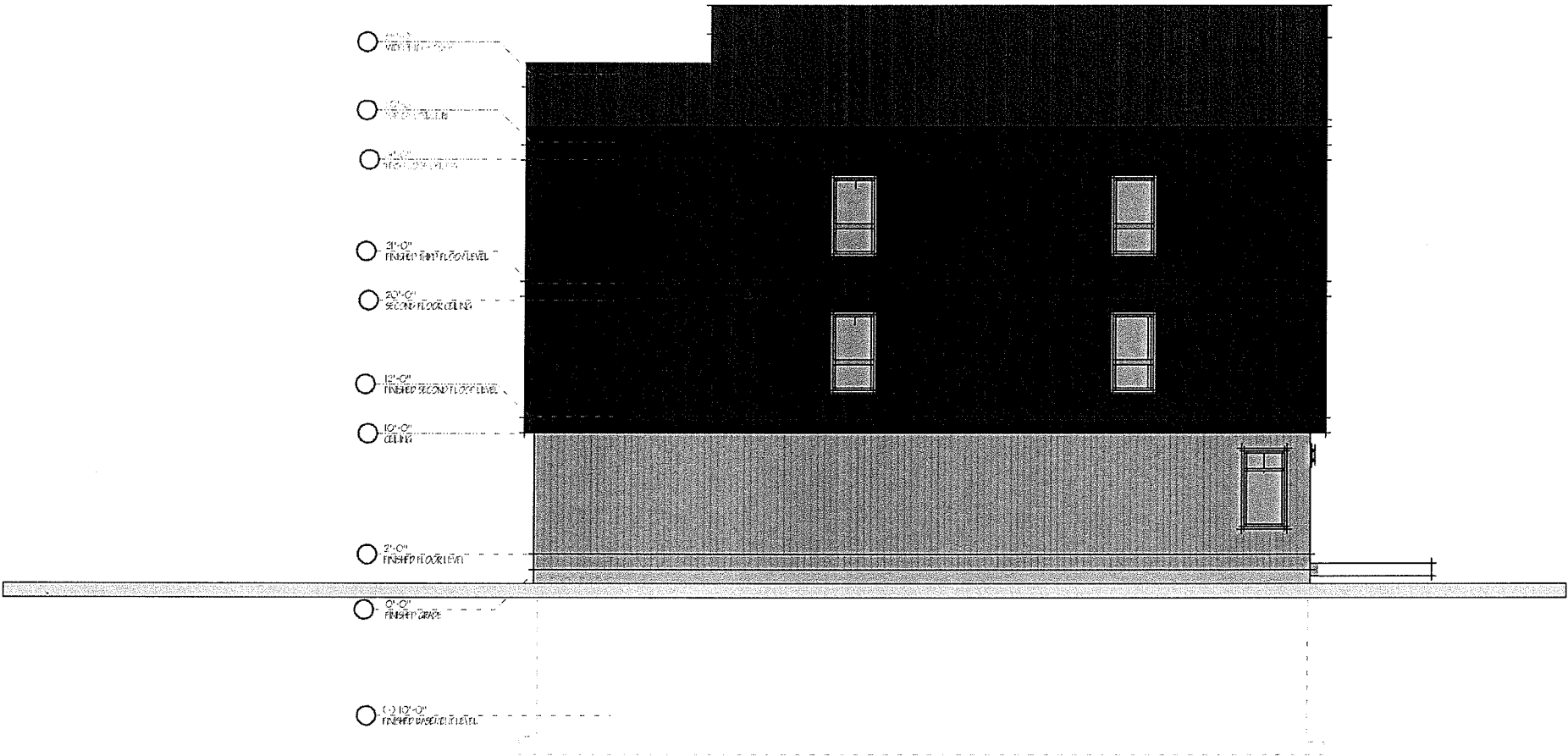
name

ELEVATIONS

sheet

A400

01 | 401 - SIDE ELEVATION
3/32" = 1'-0



02 | 401 - SIDE ELEVATION
3/32" = 1'-0

project

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ELEVATIONS

sheet

A40

FRONT (RECESSED LIGHTS)



588590-BLK

OUTDOOR LIGHTING

Davis I-Light Indoor/Outdoor Wall Light

Matte Black Finish

SPECIFICATIONS

MOUNTING:	Wall Mount
SLOPED CEILING ADAPTABLE:	No
LAMP TYPE I:	Incandescent
BULB INCLUDED:	No
WATTS PER BULB:	60W or LED equivalent
TOTAL VATTAGE:	60W or LED equivalent
DIMMABLE:	No
MATERIAL CONSTRUCTION:	Steel/Aluminum
ASSEMBLED DIMENSIONS	14\"/>

LED BRIGHTNESS (LUMENS):	N/A
LED COLOR CORRELATED TEMPERATURE (CCT):	N/A
LED COLOR RENDERING INDEX (CRI):	N/A
LED EFFICACY:	N/A
LED AVERAGE RATED LIFE:	N/A

ENERGY EFFICIENT:	No
LIGHTING AMPS:	0.5
VOLTAGE:	120V

BACKPLATE DIMENSIONS:	14\"/>
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WARRANTY:	10-Year limited warranty
UL/ETL CERTIFICATION:	UL
WET/DRY/DAMP LISTING:	Wet
ADA COMPLIANT:	Yes
ENERGY STAR CERTIFIED:	No







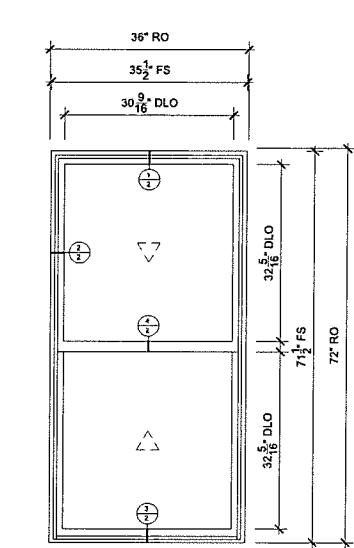


TYPE
ORDER CODE
APPROVALS

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12/1/20

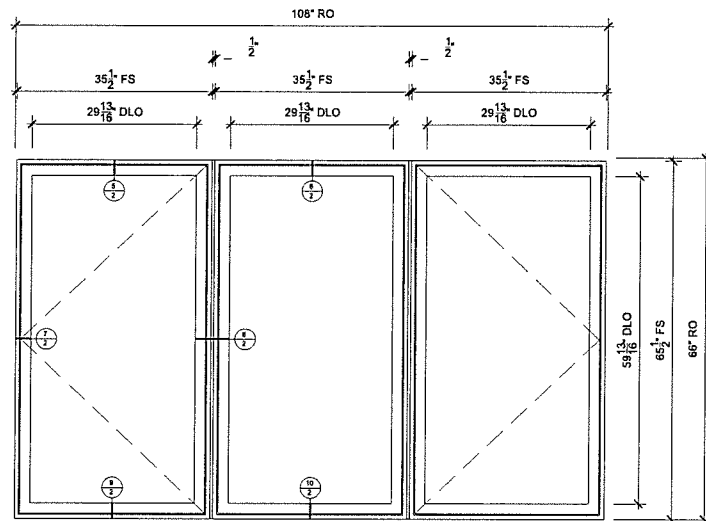


FRONT ELEVATION - DH
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Mark Unit: Front Elevation - DH
Product Line: Essential
Unit Description: Double Hung
Rough Opening: 36" X 72"
Frame Size: 35 1/2" X 71 1/2"
Sash Opening: 36" X 72"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: Sash Lock
Hardware Color: Matte Black, Ebony
Jamb Depth: 2" Base Frame

FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.

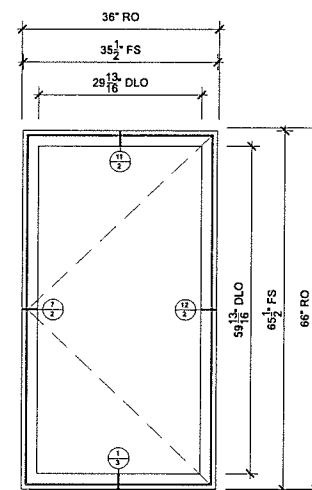


FRONT ELEVATION - 3-WIDE CA
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Mark Unit: Front Elevation - 3-Wide CA
Product Line: Essential
Unit Description: Essential Assembly
Rough Opening: 108" X 66"
Frame Size: 107 1/2" X 65 1/2"
Sash Opening: 108" X 66"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: [A1/A3] Folding Handle, Sash Limiter : None,
[A2] None
Hardware Color: [A1/A3] Matte Black,
[A2] None
Jamb Depth: 2" Base Frame

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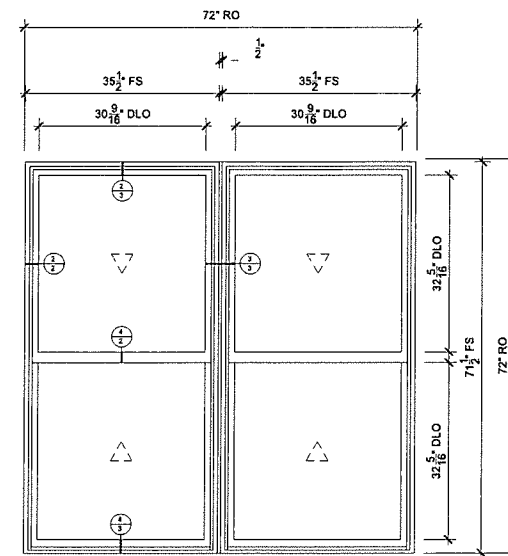


FRONT ELEVATION - CASEMENT
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Mark Unit: Front Elevation - Casement
Product Line: Essential
Unit Description: Casement
Rough Opening: 36" X 66"
Frame Size: 35 1/2" X 65 1/2"
Sash Opening: 36" X 66"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: Folding Handle, Sash Limiter : None
Hardware Color: Matte Black
Jamb Depth: 2" Base Frame

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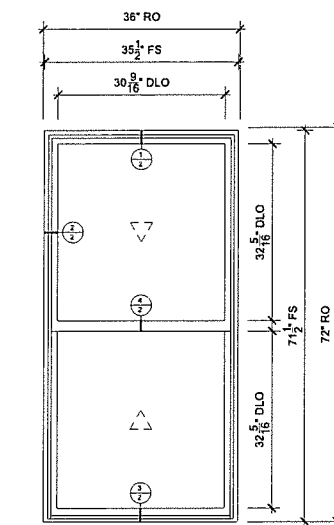


REAR ELEVATION - 2-WIDE DH
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Mark Unit: Rear Elevation - 2-Wide DH
Product Line: Essential
Unit Description: Essential Assembly
Rough Opening: 72" X 72"
Frame Size: 71 1/2" X 71 1/2"
Sash Opening: 72" X 72"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: Sash Lock
Hardware Color: Matte Black, Ebony
Jamb Depth: 2" Base Frame

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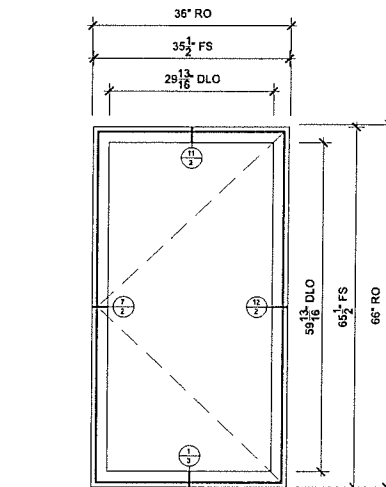


REAR ELEVATION - DH
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Mark Unit: Rear Elevation - DH
Product Line: Essential
Unit Description: Double Hung
Rough Opening: 36" X 72"
Frame Size: 35 1/2" X 71 1/2"
Sash Opening: 36" X 72"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: Sash Lock
Hardware Color: Matte Black, Ebony
Jamb Depth: 2" Base Frame

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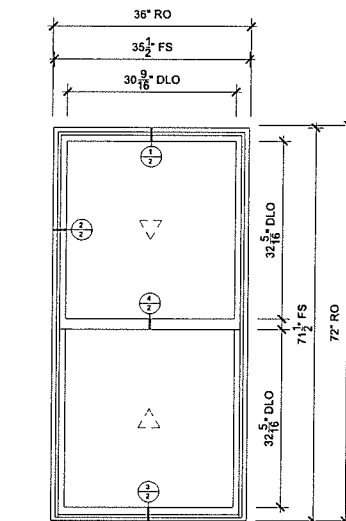


SIDE ELEVATION 01- CASEMENT
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Mark Unit: Side Elevation 01- Casement
Product Line: Essential
Unit Description: Casement
Rough Opening: 36" X 66"
Frame Size: 35 1/2" X 65 1/2"
Sash Opening: 36" X 66"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: Folding Handle, Sash Limiter : None
Hardware Color: Matte Black
Jamb Depth: 2" Base Frame

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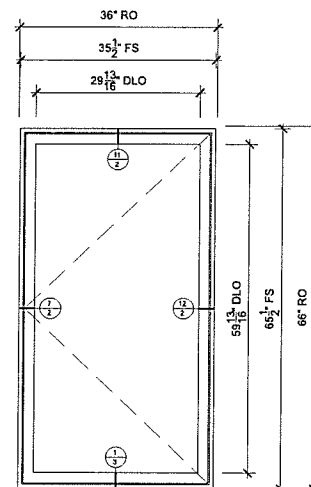


SIDE ELEVATION 02- DH
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Mark Unit: Side Elevation 02- DH
Product Line: Essential
Unit Description: Double Hung
Rough Opening: 36" X 72"
Frame Size: 35 1/2" X 71 1/2"
Sash Opening: 36" X 72"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: Sash Lock
Hardware Color: Matte Black, Ebony
Jamb Depth: 2" Base Frame

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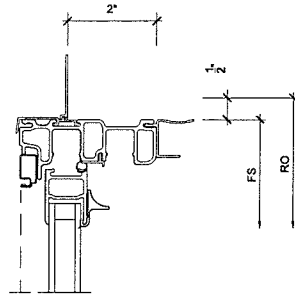


SIDE ELEVATION 02- CASEMENT
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

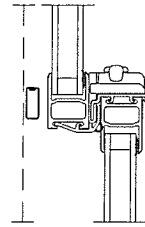
Mark Unit: Side Elevation 02- Casement
Product Line: Essential
Unit Description: Casement
Rough Opening: 36" X 66"
Frame Size: 35 1/2" X 65 1/2"
Sash Opening: 36" X 66"
Exterior Finish: Ebony
Interior Finish: Ebony
Glass Information: IG, Low E2 w/Argon, Stainless
Hardware Type: Folding Handle, Sash Limiter : None
Hardware Color: Matte Black
Jamb Depth: 2" Base Frame

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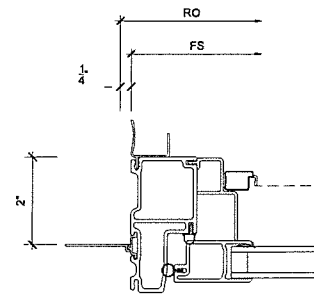
1
2 Head

SCALE: 6" = 1'-0"



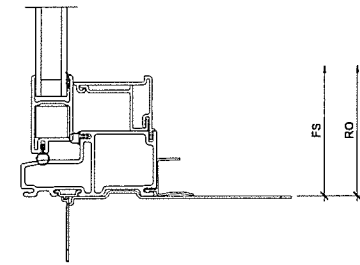
4
2 Check Rail

SCALE: 6" = 1'-0"



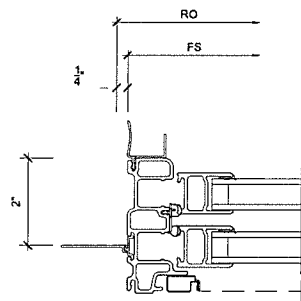
7
2 Jamb

SCALE: 6" = 1'-0"



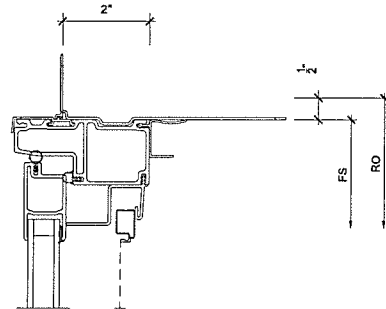
10
2 Sill

SCALE: 6" = 1'-0"



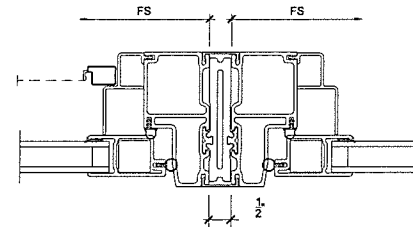
2
2 Jamb

SCALE: 6" = 1'-0"



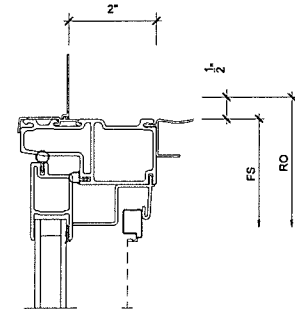
5
2 Head

SCALE: 6" = 1'-0"



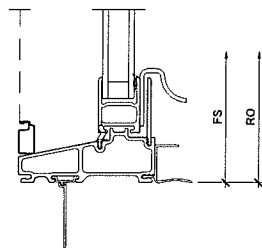
8
2 Vertical Mullion

SCALE: 6" = 1'-0"

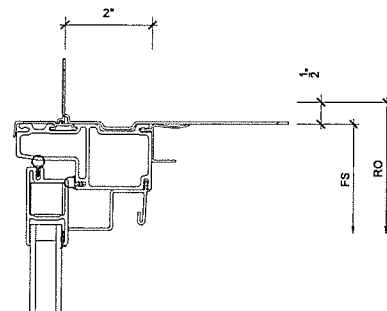


11
2 Head

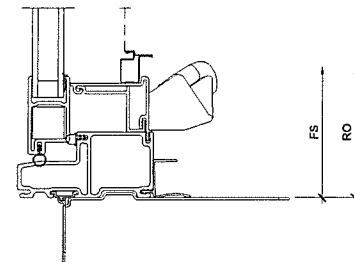
SCALE: 6" = 1'-0"



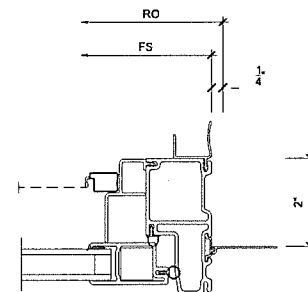
3
2 Sill



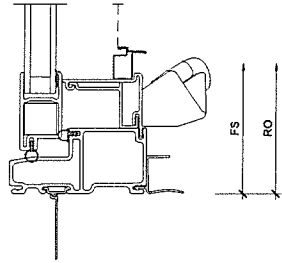
6
2 Head



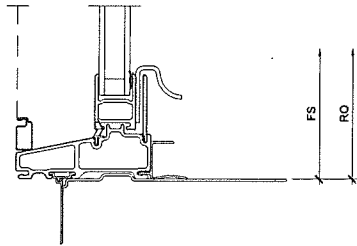
9
2 Sill



12
2 Jamb



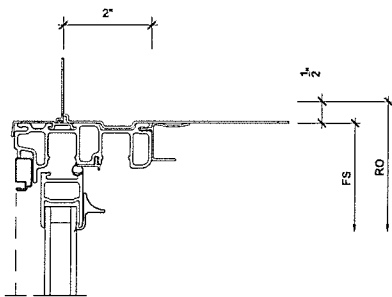
1
3 Sill SCALE: 6" = 1'-0"



4
3 Sill SCALE: 6" = 1'-0"

7
3 NOT USED SCALE: 6" = 1'-0"

10
3 NOT USED SCALE: 6" = 1'-0"

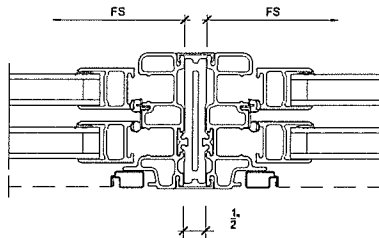


2
3 Head SCALE: 6" = 1'-0"

5
3 NOT USED SCALE: 6" = 1'-0"

8
3 NOT USED SCALE: 6" = 1'-0"

11
3 NOT USED SCALE: 6" = 1'-0"



3
3 Vertical Mullion

6
3 NOT USED

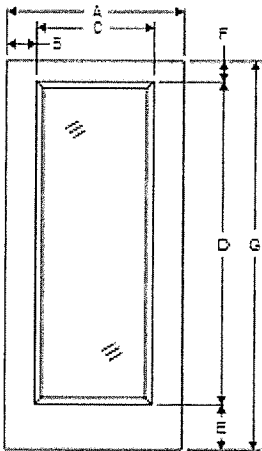
9
3 NOT USED

12
3 NOT USED

THERMA-TRU

DOORS

6/8 Fiber-Classic/
Smooth-Star/ Steel



Full Lite Flush

Daylight Opening:
1454 13" x 63" (819 sq.in.)
1654 14-31/32" x 62-31/32" (941 sq.in.)
2054 18-29/32" x 62-29/32" (1189 sq.in.)
2254 20-15/16" x 62-15/16" (1317 sq.in.)

Notes:
For Optional Grille Locations, See Arch 1.
Impact Options Available.
Noise Reduction Options Available.

Available In:
Fiber-Classic Oak
Fiber-Classic Mahogany
Smooth-Star
Profiles
Traditions

Fiber-Classic/
Smooth-Star/
Steel Panel
Dimensions

Fiber-Classic and Smooth-Star										
Width	Glass	A	B	C	D	E (6/8)	E (6/8)	E (7/0)	F (6/8, 6/8)	F (7/0)
2/0Δ	1454	24"	4-1/8"	15-3/4"	65-3/4"	6-23/32"	9-9/32"	-	4-7/32"	-
2/4□	1654	28"	5-1/32"	17-31/32"	65-31/32"	6-5/8"	9-3/16"	-	4-1/8"	-
2/6*	2054	30"	4-1/16"	21-29/32"	65-29/32"	6-21/32"	9-7/32"	-	4-5/32"	-
2/8N	2054	32"	5-1/16"	21-29/32"	65-29/32"	6-21/32"	9-7/32"	-	4-5/32"	-
2/8	2254	32"	4-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"
2/10	2254	34"	5-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"
3/0	2254	38"	6-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"
3/6†	2254	42"	9-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"

ΔOnly available in 6/8 Smooth-Star.
*Not available in 7/0 Smooth-Star.
†Only available in 6/8 and 5/8.
ΔOnly available in 6/8.

Profiles and Traditions										
Width	Glass	A	B	C	D	E (6/8)	E (6/8)	E (7/0)	F (6/8 & 6/8)	F (7/0)
2/0□	1454	23-31/32"	4-1/8"	15-3/4"	65-3/4"	6-13/16"	9-3/8"	-	4-1/8"	-
2/0□	1454 Impact	23-31/32"	4-1/16"	15-7/8"	65-7/8"	6-3/4"	9-5/16"	-	4-3/32"	-
2/4□	1654	27-31/32"	5"	17-31/32"	65-31/32"	6-5/8"	9-3/16"	-	4-1/8"	-
2/6N	1654	29-31/32"	6"	17-31/32"	65-31/32"	6-5/8"	9-3/16"	-	4-1/8"	-
2/8	2054	29-31/32"	4-1/32"	21-29/32"	65-29/32"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7"
2/8N	2054	31-31/32"	5-1/32"	21-29/32"	65-29/32"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7"
2/8	2254	31-31/32"	4-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"
2/10	2254	33-31/32"	5-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"
3/0	2254	35-31/32"	6-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"
3/6*	2254	41-31/32"	9-1/16"	23-7/8"	65-7/8"	6-21/32"	9-7/32"	10-11/32"	4-5/32"	7-1/32"

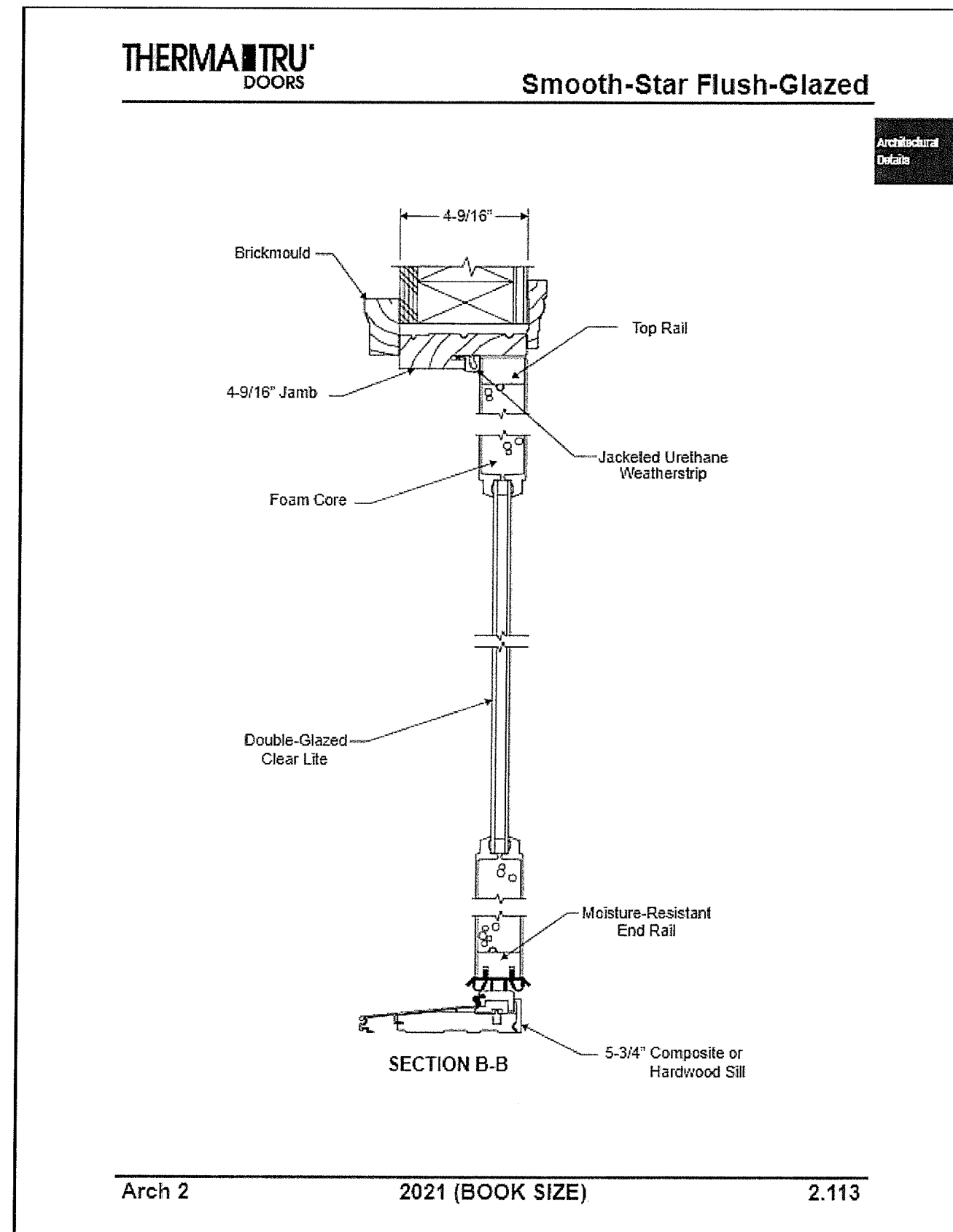
*Only available in Profiles.
□Only available in 5/8 and 6/8.

Fiber-Classic and Smooth-Star	
Height	G
6/8□	76-11/16"
6/8	75-1/4"
7/0	83-1/4"

□Not available in Fiber-Classic Mahogany.

Profiles and Traditions	
Height	G
6/8□	76-11/16"
6/8	79-1/4"
7/0*	83-1/4"

□Only available in Traditions.
*Only available in Profiles.
□Only available in 2/4 and 2/10.

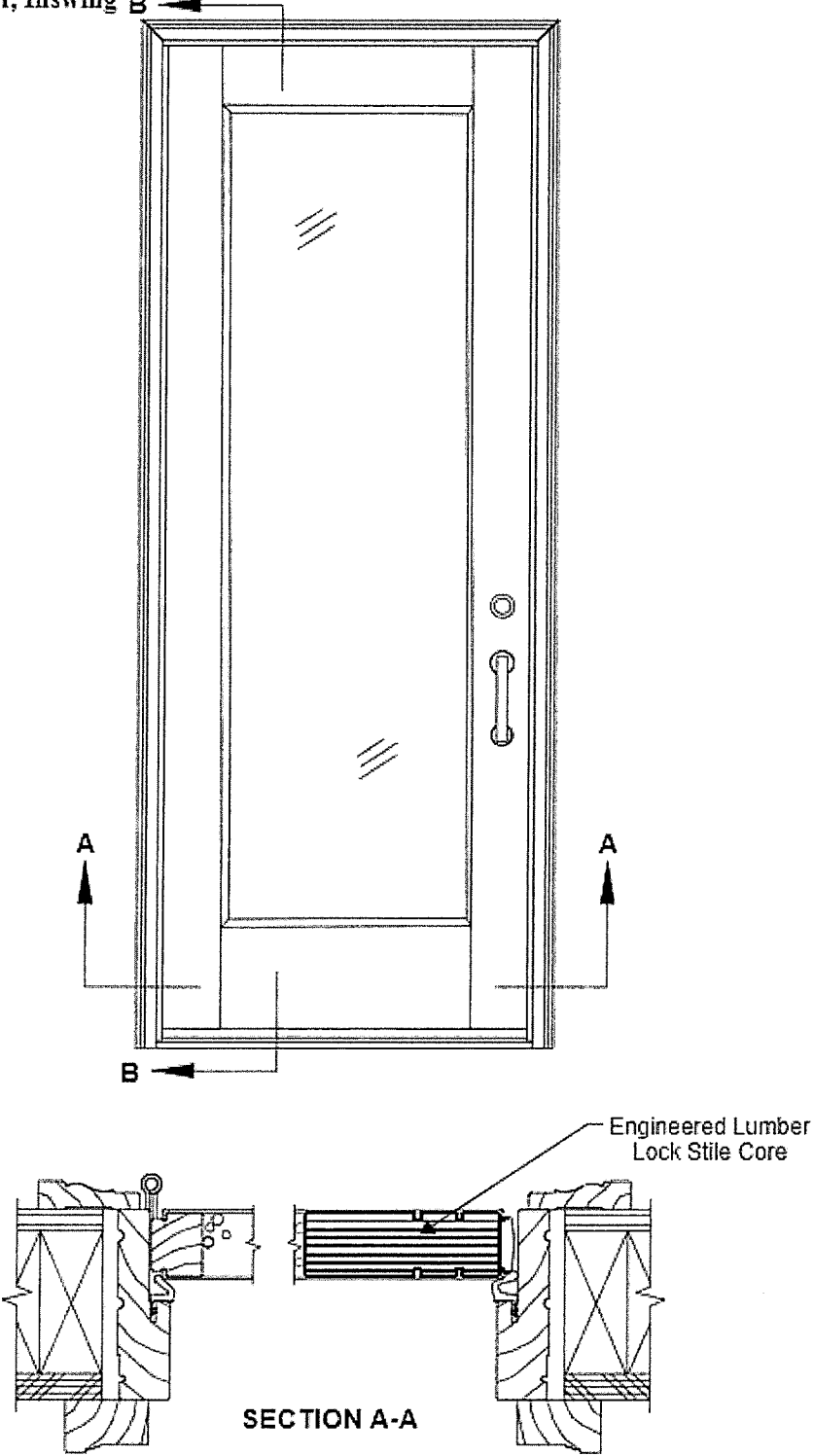


Smooth-Star Flush-Glazed

THERMA TRU
DOORS

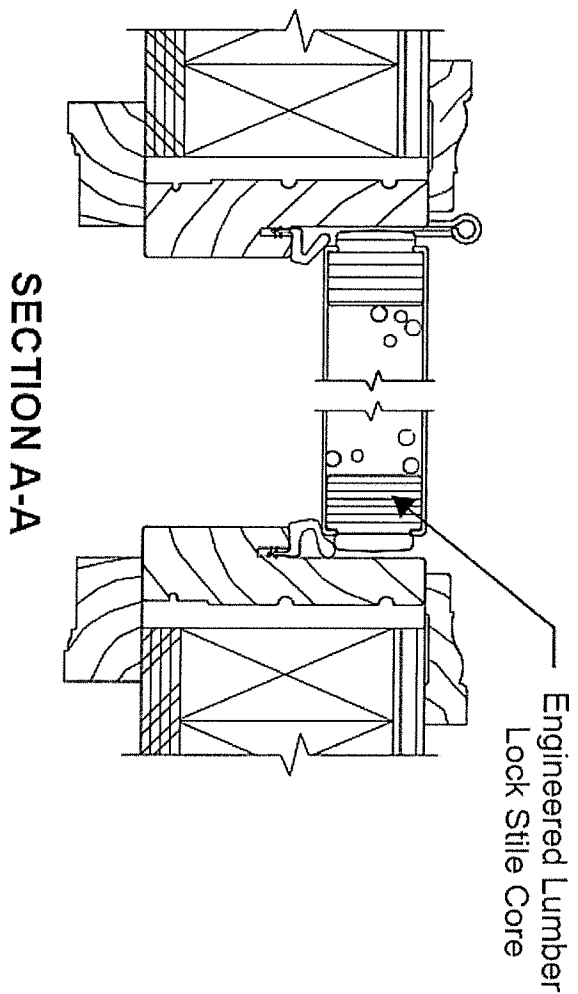
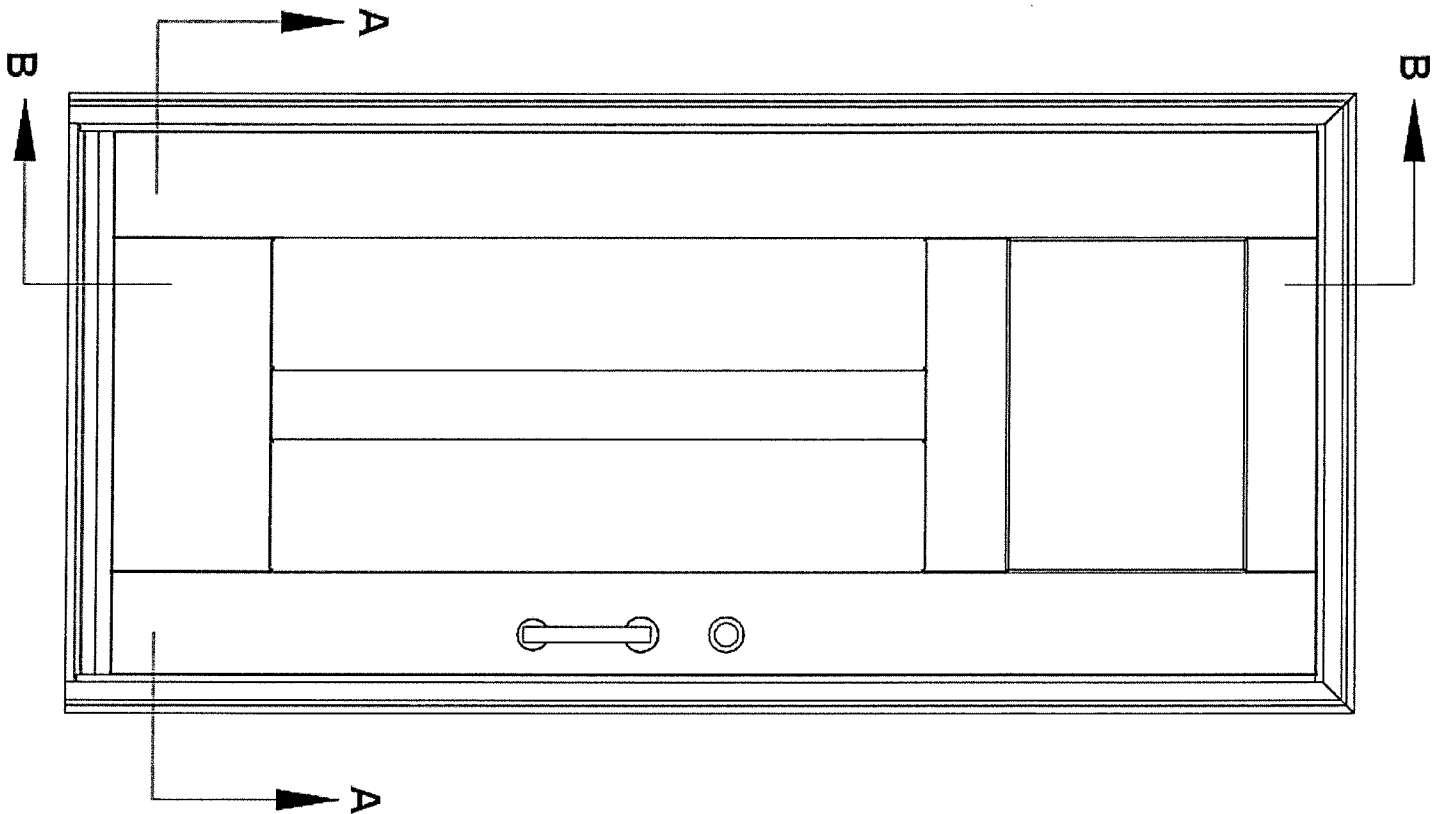
Architectural
Details

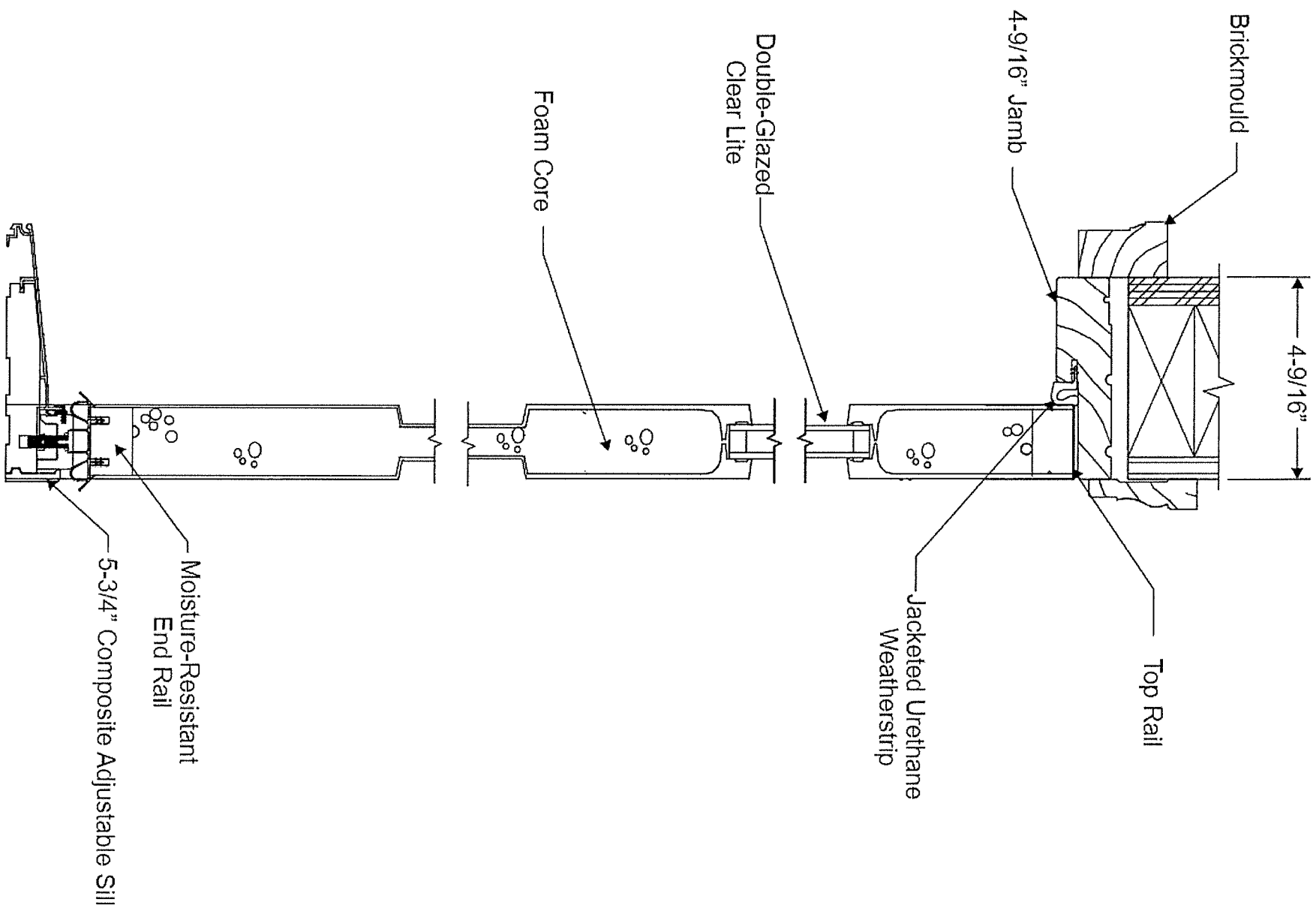
8/0 Single Door, Inswing B



Smooth-Star Shaker Flush-Glazed

6/8 Single Door, Inswing

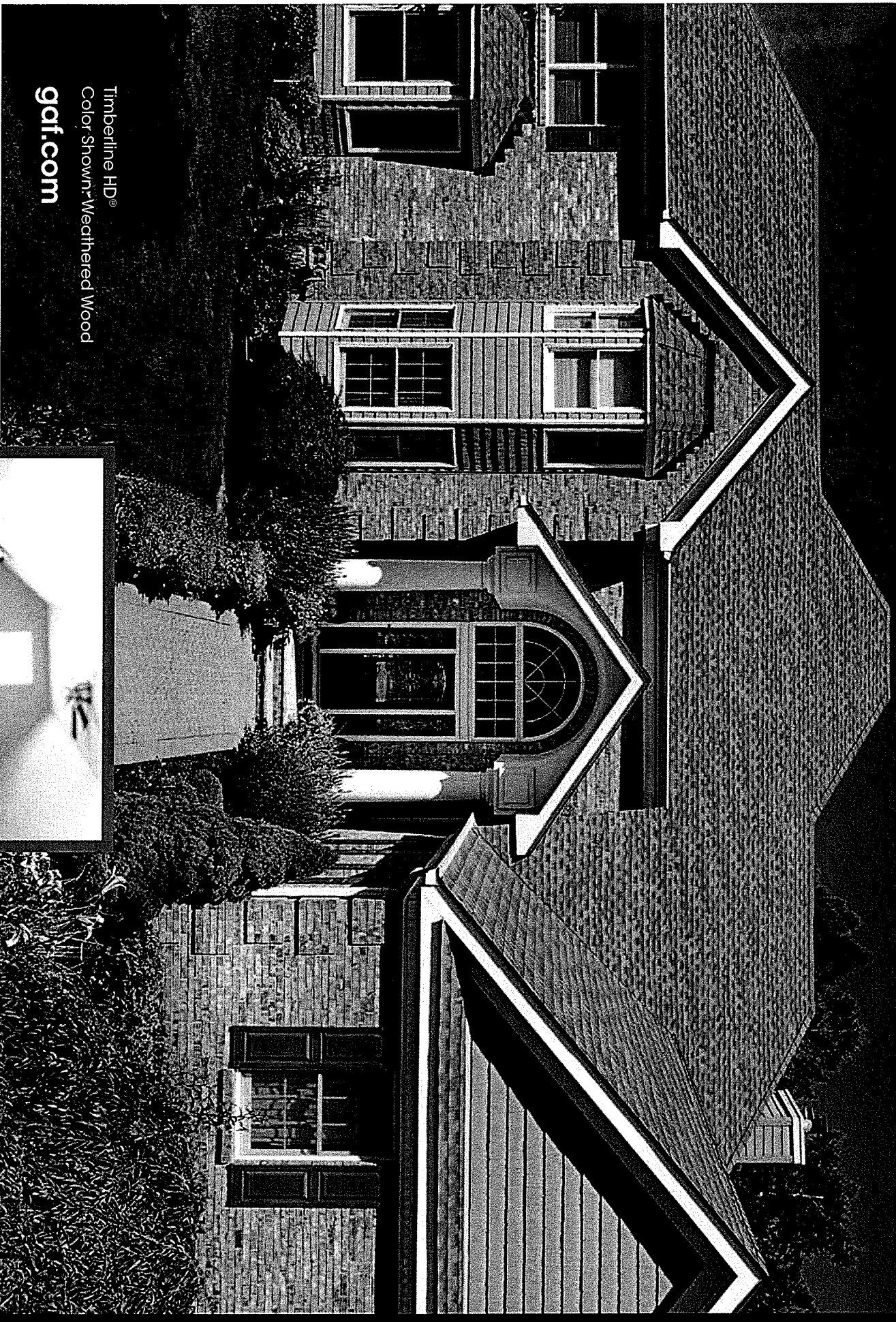




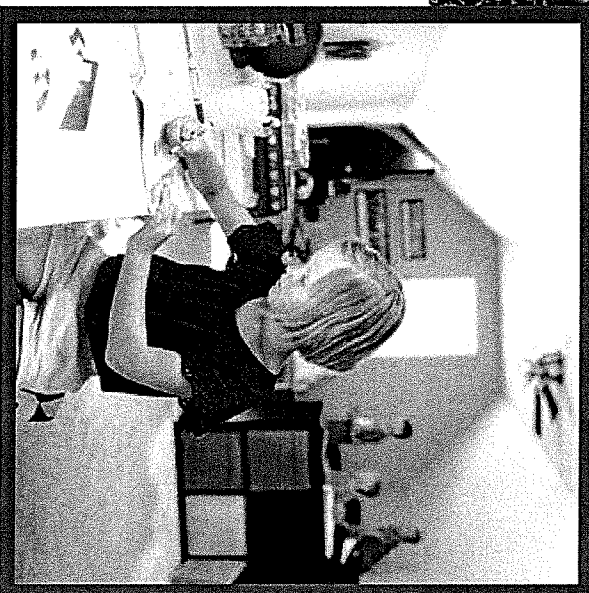


Residential Roofing Guide

The one-stop guide from North America's largest roofing manufacturer



Timberline HD®
Color Shown: Weathered Wood
gaf.com



Choose from hundreds of colors, styles, and essential accessories, and rest assured your new GAF roof has been engineered to provide unrivaled durability.

We protect what matters most™



Board and Batten

Vinyl Siding

General Description: CertainTeed Board and Batten Siding provides the rustic look of alternating wide and narrow cedar board vertical siding, but does not require the upkeep common to wood. Board and Batten siding is appropriate for use in new construction for single family homes, multi-housing projects and light commercial developments. Board and Batten is also an ideal product for remodeling.

Styles:

Profile	Finish	Panel Projection	Wall Thickness (Nominal)	Lock Design	Colors	Accessory Pocket	Length
Single 8" Vertical	Rough Cedar	1/2"	.048"	DuraLock™ post-formed positive lock	10	1/2"	10' and 126"
Single 7" Vertical	Rough Cedar	1/2"	.052"	DuraLock™ post-formed positive lock	22	1/2"	10'

Colors: Board and Batten siding profiles are available in a wide selection of colors. All colors are Spectrophotometer controlled and utilize exclusive PermaColor™ color science.

Colonial White (01)	Savannah Wicker (59)	Natural Clay (60)	Flagstone (97)*	Mountain Cedar (17)*
Desert Tan (07)^	Sterling Gray (33)	Autumn Red (23)*	Forest (47)*	Pacific Blue (27)*
Herringbone (04)	Castle Stone (37)*	Brownstone (40)*	Hearthstone (19)*	Sable Brown (29)*
Light Maple (55)^	Cypress (42)	Charcoal Gray (46)*	Melrose (39)*	Slate (44)*
Sandstone Beige (15)^	Granite Gray (34)*	Espresso (43)*	Midnight Blue (45)*	Spruce (16)*

**Only Available in the S7 Profile*
^Only available in the S8 Profile

Accessories: CertainTeed manufactures a wide range of siding accessories that are compatible with Board and Batten siding styles and colors. Accessory products include installation components, soffit, window and door trim, corner lineals, corner systems and decorative moldings.

Composition: Board and Batten siding is produced using PVC resin.

Technical Data: Board and Batten siding is in compliance with ASTM specification for Rigid Polyvinyl Chloride (PVC) Siding D3679, and the requirements of the 2015, 2018 and 2021 International Residential Code and International Building Code, the 2020 Florida Residential Code and Florida Building Code, and the 2019 California Residential Code and California Building Code. Board and Batten siding meets or exceeds the properties noted in Table 1.

Table 1

ASTM E 84	Meets Class A flame spread requirements as tested according to ASTM E84.	
ASTM D 635	Material is self-extinguishing with no measurable extent of burn when tested in accordance with this specification.	
NFPA 268	Radiant Heat Test - Ignition Resistance of Exterior Walls - Conclusion that CertainTeed met the conditions for allowable use as specified in section 1406 of the International Building Code.	

Important Fire Safety Information: When rigid vinyl siding is exposed to significant heat or flame, the vinyl will soften, sag, melt or burn, and may thereby expose material underneath. Care must be exercised when selecting underlayment materials because many underlayment materials are made from organic materials that are combustible. You should ascertain the fire properties of underlayment materials prior to installation. All materials should be installed in

accordance with local, state and federal Building Code and fire regulations.

Wind Load Testing: CertainTeed Board and Batten Vertical siding has been tested per ASTM D 5206 standard test method for wind load resistance to withstand negative wind load pressures and their mph equivalents as shown in the chart below. All products exceed industry standards for wind load performance. Check with your local building inspector for wind load requirements in your area for the type of structure you are building.

Table 2

Product	Fastener Spacing	2015/2018 IBC/IRC			2021 IBC/IRC		
		Standard Design Pressure Rating	Maximum Windspeed (mph)		Standard Design Pressure Rating	Maximum Windspeed (mph)	
			ASD	ULT		ASD	ULT
Single 8" Vertical	Nails 12" o.c.	98.7	203	261	64.4	164	211
Single 7" Vertical	Nails 12" o.c.	111.1	215	277	73.3	175	225

* Windload calculations based on ASTM D7793, ASCE 7-10, 30ft High, Exposure B

Documents: CertainTeed Vinyl Siding meets the requirements of one or more of the following specifications. Texas Department of Insurance Product Evaluation EC-11
Conforms to ASTM Specification D3679
ICC-ES Evaluation Report ESR-1066
Florida BCIS Approval FL1573
Florida BCIS Approval FL12483
For specific product evaluation/approval information, call 800-233-8990.

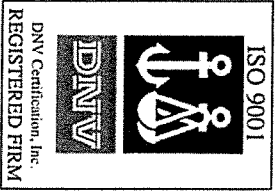
Installation: Prior to commencing work, verify governing dimensions of building, examine, clean and repair, if necessary, any adjoining work on which the siding is in any way dependent for its proper installation. Sheathing materials must have an acceptable working surface. Siding, soffit and accessories shall be installed in accordance with the latest editions of CertainTeed installation manuals on siding and soffit. Installation manuals are available from CertainTeed and its distributors.

Warranty: CertainTeed supports Board and Batten siding products with a Lifetime Limited Warranty including PermaColor Lifetime Fade Protection to the original homeowner. The warranty is transferable if the home is sold.

Technical Services: CertainTeed maintains an Architectural Services staff to assist building professionals with questions regarding CertainTeed siding products. Call 800-233-8990 for samples and answers to technical or installation questions.

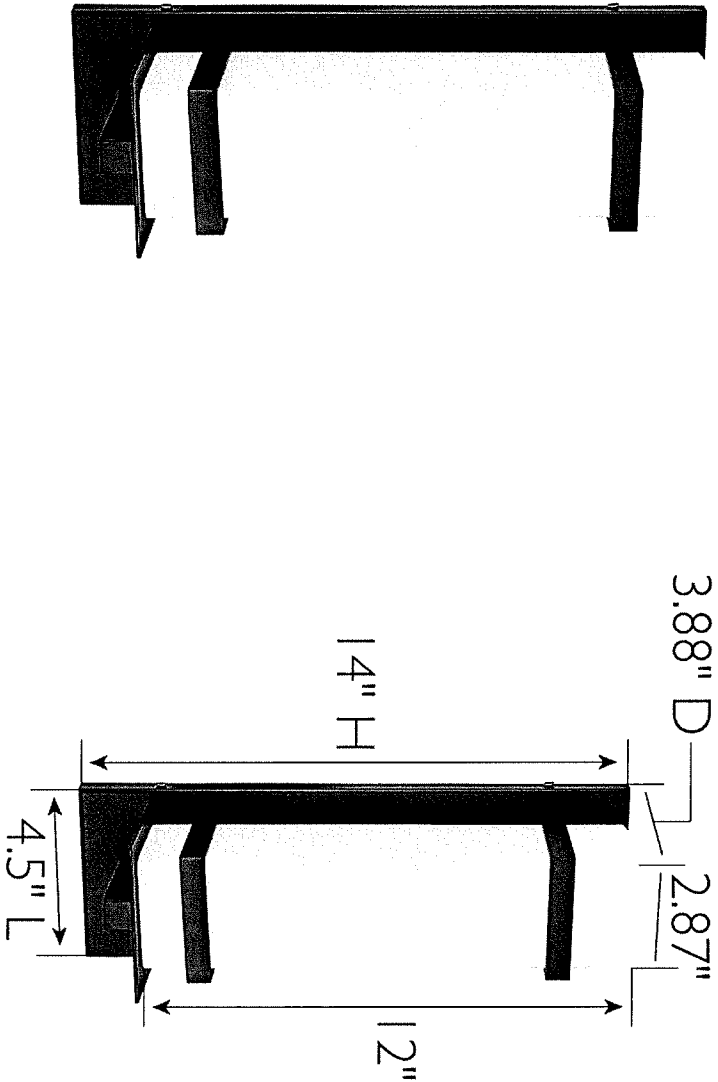
Sample Short Form Specification: Siding as shown on drawings or specified herein shall be Board and Batten Vinyl Siding as manufactured by CertainTeed LLC, Malvern, PA. The siding shall have a .052" nominal thickness for Single 7" profile and .048" for Single 8" profiles. Installation shall be in accordance with manufacturer's instructions.

Three-part Format Specifications: Long form specifications in three-part format are available from CertainTeed by calling our Architectural Services Staff at 800-233-8990. These specifications are also available on our website at www.certainteed.com.



CertainTeed LLC
20 Moores Road
Malvern, PA 19355
certainteed.com
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Davis I-Light Indoor/Outdoor Wall Light
Matte Black Finish

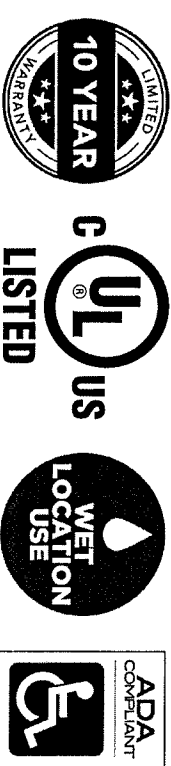


SPECIFICATIONS

MOUNTING:	Wall Mount	LED BRIGHTNESS (LUMENS):	N/A
SLOPED CEILING ADAPTABLE:	No	LED COLOR CORRELATED TEMPERATURE (CCT):	N/A
LAMP TYPE I:	Incandescent	LED COLOR RENDERING INDEX (CRI):	N/A
BULB INCLUDED:	No	LED EFFICACY:	N/A
WATTS PER BULB:	60W or LED equivalent	LED AVERAGE RATED LIFE:	N/A
TOTAL WATTAGE:	60W or LED equivalent	ENERGY EFFICIENT:	No
DIMMABLE:	No	LIGHTING AMPS:	0.5
MATERIAL CONSTRUCTION:	Steel/Aluminum	VOLTAGE:	120V
ASSEMBLED DIMENSIONS:	14" H x 4.5" L x 3.88" D		
WEIGHT:	3.36 lbs.		

BACKPLATE DIMENSIONS:	14" H x 4.5" W x 0.59" D
CANOPY/PLATE DIMENSIONS:	N/A
GLASS/SHADE DIMENSIONS:	12" H x 2.87" L x 2.87" D
GLASS/SHADE MATERIAL:	Glass
GLASS/SHADE TYPE:	Frosted
GLASS/SHADE COLOR:	White

WARRANTY:	10-Year limited warranty
UL/ETL CERTIFICATION:	UL
WET/DRY/DAMP LISTING:	Wet
ADA COMPLIANT:	Yes
ENERGY STAR CERTIFIED:	No



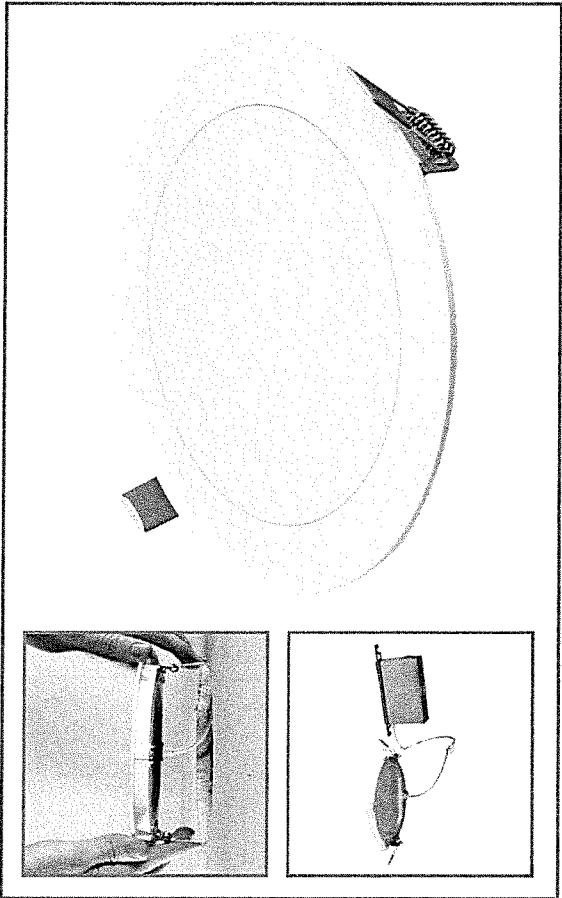
TYPE:

JOB:

ORDER CODE:

APPROVALS:

Project	Catalog #	Type
Prepared by	Notes	Date



HALO

HLBSL6

6-Inch LED Lens Downlight with Remote Driver / Junction Box

Typical Applications
Residential

Interactive Menu

- Order Information [page 2](#)
- Product Specifications [page 2](#)
- Photometric Data [page 3](#)
- Energy & Performance Data [page 3](#)
- Product Warranty
- Dimming Guide

Top Product Features

- Direct mount - does not require recessed housing or junction box
- Delivers up to 1,049 lumens
- Achieves L70 at 35,000 hours in IC and non-IC applications
- 2700, 3000, 3500, 4000 and 5000, 6000K field selectable CCT

Product Certification

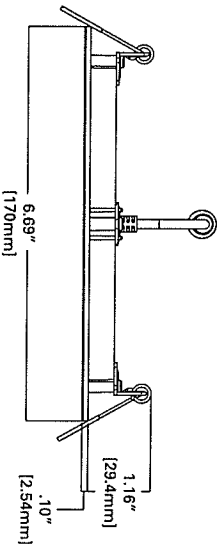
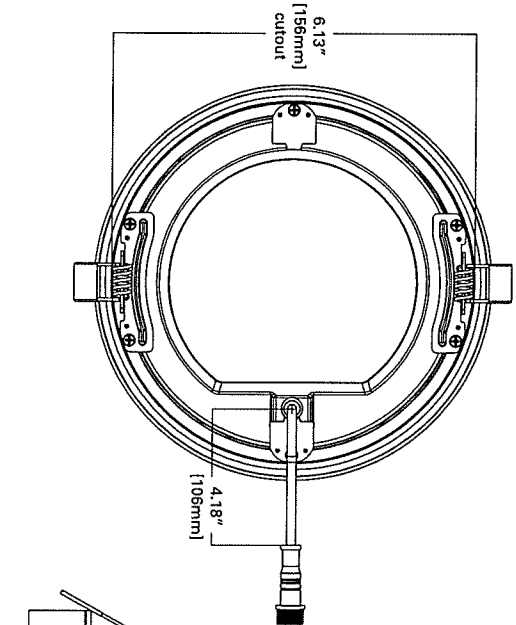


Refer to ENERGY STAR® Certified Products List.
Can be used to comply with California Title 24 High Efficacy requirements.
Certified to California Appliance Efficiency Database under JAB.

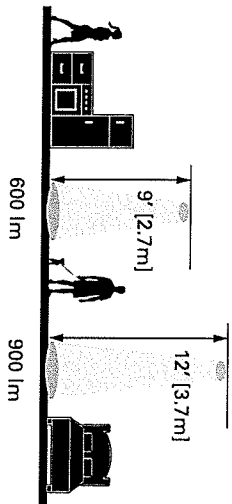
Product Features



Dimensional and Mounting Details



Scale



additional
product diagrams

Order Information

SAMPLE ORDER NUMBER: HLBSL6099FS351EMWR

Icon Key: A Configurable Product

Models	Lumens	CRI / CCT	Driver	Finish	Packaging
Models	Lumens	CRI / CCT	Driver	Finish	Packaging
HLBSL6 = 6-inch LED smooth lens downlight with plastic housing and remote driver / junction box	09 = 900 lumens (nominal)	9FS23 = 90 CRI minimum, field selectable 2700K, 3000K, 3500K CCT 9FS35 = 90 CRI minimum, field selectable 3000K, 4000K, 5000K CCT 9FS46 = 90 CRI minimum, field selectable 4000K, 5000K, 6000K CCT	1E = 120V 60Hz, LE & TE phase cut 10% dimming	MW = matte white flange	R = recyclable 4-color unit carton suitable for point of purchase merchandising display
Notes	Notes	Notes	Notes	Notes	Notes

Accessories

Accessories	Notes
HL6RSMF = 6" new construction mounting frame HLB6ROTMMW = 6" round oversized trim ring, 8.875" OD, matte white	
Extension Cable selectTable Driver/Jbox HLB06FSEC = 6 ft. extension cable HLB12FSEC = 12 ft. extension cable HLB20FSEC = 20 ft. extension cable	
Notes	

Product Specifications

Housing

- Plastic mounting frame with integral flange provides passive thermal cooling achieving L70 at 35,000 hours in IC and non-IC applications

Optics

- Precision acrylic light guide organizes source flux into wide distribution with 1.28 spacing criteria, useful for general area illumination

LED Array

- Plurality of mid power LED's provides a uniform source with high efficiency and long life
- Available in 90 CRI minimum, R9 greater than 50 provides high color rendering
- Field Selectable color temperature (3 colors)
 - 2700K, 3000K, 3500K
 - 3000K, 4000K, 5000K
 - 4000K, 5000K, 6000K
- Color accuracy of 4 step at the ends, 7 step in the middle
- Meets ENERGY STAR® color angular uniformity requirements, deviation is less than 0.006 u' v'

Remote Driver / Junction Box

- Die formed metal driver / junction box with captive hinged junction box cover
- Listed for (6) #12 AWG 90° C splice conductors, 2-in, 2-out plus (2) ground
- (4) ½" conduit pry-outs
- Accepts 14-2, 14-3, 12-2, 12-3 U.S. and 14-2, 14-3, 12-2 Canadian NM cable
- (3) wire nuts for quick and reliable mains voltage connections
- Integral mounting facilitates direct mounting to building structure or mounting frame

Driver

- 120V 60 Hz constant current driver provides noise free operation
- Continuous, flicker-free dimming from 100% to 10% with select leading or trailing edge 120V phase cut dimmers

Installation

- Can be installed in 3/8" to 5/8" thick ceilings
- Round ceiling cutout
- Heat treated springs hold fixture fitting securely in the ceiling eliminating light leaks
- Housing is less than ½" thick and can span a 2" nominal framing member
- Can be removed from below the ceiling for service or replacement

Compliance

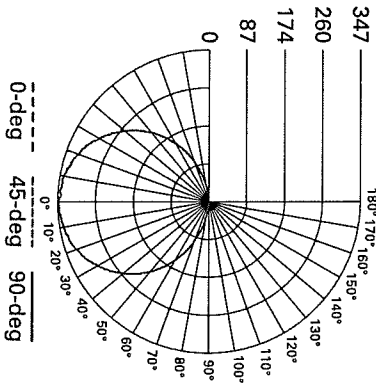
- cULus certified type IC suitable for direct contact with air permeable insulation
- Not recommended for use in direct contact with spray foam insulation, reference NEMA LSD57-2013
- Wet location listed and IP44 ingress protection
- Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions per FCC 47CFR Part 15 consumer limits
- Contains no mercury or lead and RoHS compliant
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11
- Can be used for State of California Title 24 high efficacy LED compliance under JA8, reference Modernized Appliance Efficiency Database System (MAEDBS) for 2019 JA8 High Efficacy Lighting
- ENERGY STAR® certified, reference "Certified Light Fixtures" database

Warranty

- Five year warranty standard.

Photometric Data

 View IES files



HLBSL6099FS351EMWR
Spacing criterion: (0-180) 1.28
(90-270) 1.24
(Diagonal) 1.38
Beam Angle: 112.9°
Field Angle: 161.5°
Lumens: 866
Input Watts: 12.9 W
Efficacy: 67.13 LPW
Test Report:
HLBSL6099FS351EMWRlies

Zonal lumen	Lumens	% Lumens
0-30	233.8	27
0-40	383.6	44.3
0-60	682.4	78.8
0-90	866.0	100



COLOR METRIC SUMMARY

HLBSL6099FS231EMW

2700K		3000K		3500K	
TM-30-15	Rf = 91.0	TM-30-15	Rf = 91.0	TM-30-15	Rf = 91.0
	Rg = 98.0		Rg = 99.0		Rg = 99.0
CRI/CIE	Ra = 93.1	CRI/CIE	Ra = 94.2	CRI/CIE	Ra = 93.6
	R9 = 60.1		R9 = 68.7		R9 = 69.3

HLBSL6099FS351EMW

3000K		4000K		5000K	
TM-30-15	Rf = 92.0	TM-30-15	Rf = 90.0	TM-30-15	Rf = 90.0
	Rg = 99.0		Rg = 98.0		Rg = 97.0
CRI/CIE	Ra = 94.4	CRI/CIE	Ra = 95.6	CRI/CIE	Ra = 94.4
	R9 = 72.4		R9 = 86.1		R9 = 80.6

HLBSL6099FS461EMW

4000K		5000K		6000K	
TM-30-15	Rf = 91.0	TM-30-15	Rf = 91.0	TM-30-15	Rf = 91.0
	Rg = 98.0		Rg = 99.0		Rg = 99.0
CRI/CIE	Ra = 94.0	CRI/CIE	Ra = 94.9	CRI/CIE	Ra = 95.1
	R9 = 78.1		R9 = 84.9		R9 = 84.4

Energy and Performance Data

	Lumens		Power (W)		LPW
HLBSL6099FS231EMW	2700K	940	12.6	74.6	
	3000K	1018	12.5	81.4	
	3500K	1005	12.5	80.4	
HLBSL6099FS351EMW	3000K	866	12.9	67.1	
	4000K	954	12.7	75.1	
	5000K	957	12.9	74.2	
HLBSL6099FS461EMW	4000K	991	12.5	79.3	
	5000K	1049	12.3	85.3	
	6000K	1015	12.5	81.2	

Note: Refer to IES files for more product data.

HLBSL6099FS231EMW

PRODUCT SPECIFICATIONS				
Lumens	954			
Watts	12.7			
Lumens Per Watt (Efficacy)	75.1			
Color Accuracy (CRI)	93			
Light Color (CCT)	3000K			
Correlated Color Temperature (CCT)				
warm white	3000K	soft white	4500K	bright white 6500K

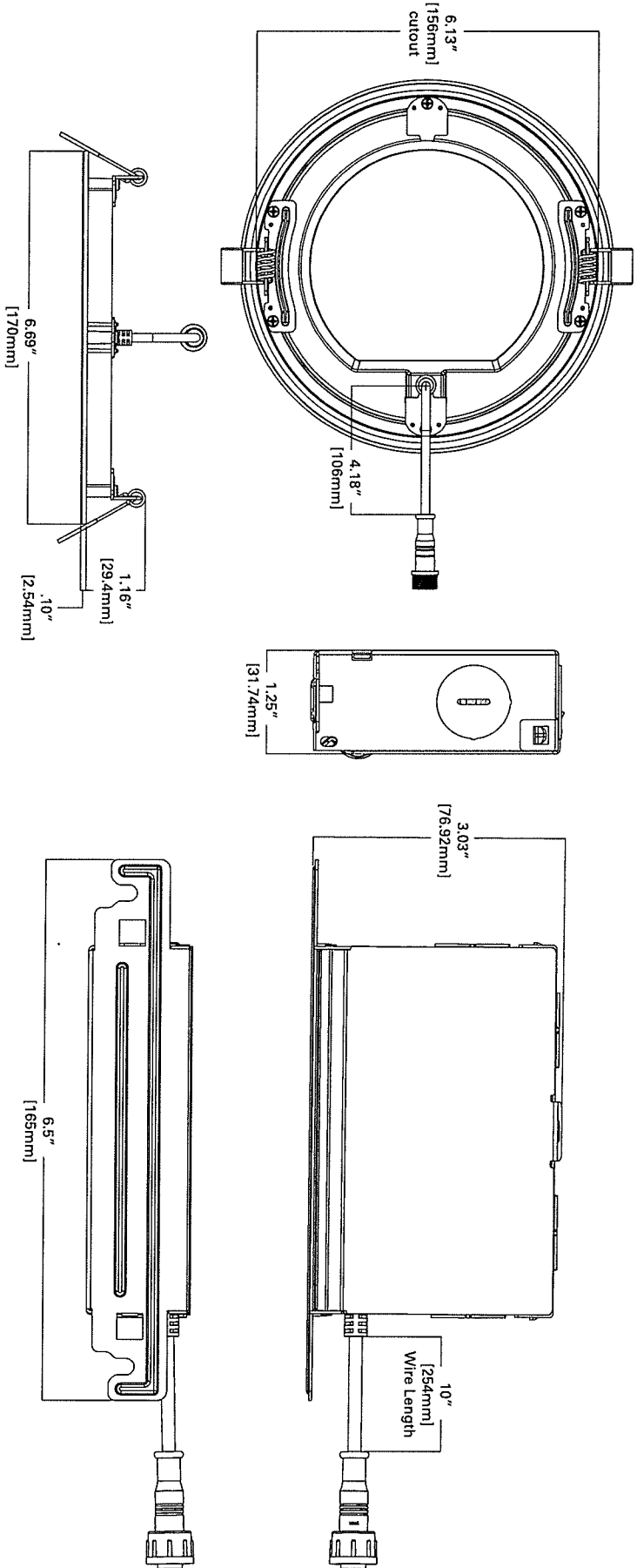
HLBSL6099FS351EMW

PRODUCT SPECIFICATIONS				
Lumens	940			
Watts	12.6			
Lumens Per Watt (Efficacy)	74.6			
Color Accuracy (CRI)	93			
Light Color (CCT)	3000K			
Correlated Color Temperature (CCT)				
warm white	soft white		bright white	
2700K	3000K	4500K	6500K	

HLBSL6099FS461EMW

PRODUCT SPECIFICATIONS				
Lumens	991			
Watts	12.5			
Lumens Per Watt (Efficacy)	79.3			
Color Accuracy (CRI)	93			
Light Color (CCT)	4000K			
Correlated Color Temperature (CCT)				
warm white	soft white		bright white	
2700K	3000K	4500K	6500K	

Dimensional Details



Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

*William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Vacant, Planning Technician
Vacant, Zoning Clerk
Theodore Miles, Zoning Specialist
Charlene Orton, DPI Administrator*



MEMORANDUM

To: The Design Advisory Board
From: Ryan Morrison, Associate Planner
RE: ZP-21-640; 483 Manhattan Drive
Date: September 28, 2021

File: ZP-21-640
Location: 483 Manhattan Drive
Zone: RM **Ward:** 2C
Parking District: Shared Use
Date application accepted: August 31, 2021
Applicant/ Owner: Matt Brouillard / MBVT, Inc.
Request: Demolish existing single family residence and construct a new duplex.

Overview: The applicant proposes to demolish an existing single family home at 483 Manhattan Drive, and replace it with a new, 3-story duplex. The existing home, ca. 1899, is not listed as a historic structure.

No previous zoning permits exist for the property.

Part 1: Land Division Design Standards

No land division is proposed. Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

There are no important natural features at this location.

(b) Topographical Alterations:

There are no topographical alterations proposed. The property is flat.

(c) Protection of Important Public Views:

Not applicable. There are no important public views on and around the property.

(d) Protection of Important Cultural Resources:

Not applicable. The existing home is not listed as historic.

(e) Supporting the Use of Renewable Energy Resources:

No part of the application will preclude the use of wind, water, solar, geothermal or other renewable energy resource.

(f) Brownfield Sites:

Not applicable. The property is not listed as a Brownfield Site.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

The applicant has submitted an Erosion Prevention and Sediment Control plan and a stormwater plan to the Stormwater Program Manager for review and approval. Approval will be required before the zoning permit is released.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

The shared front entry area will be entirely sheltered from the elements as it is tucked underneath the upper stories. Each unit's rear door accessing the decks will have approx. 1 ft of roof cover. Snow removal/storage is questionable and needs to be addressed.

(h) Building Location and Orientation:

Neighboring structures on this block of Manhattan Drive range between 1 and 3 stories, most with gable roofs. One 3-story building at the corner of Manhattan Drive and Intervale Avenue has hip roofing with dormers. Not every home here has clearly identifiable front entrances. The proposed duplex' front entrance isn't clearly identifiable either, with it being situated at the end of the driveway. Given this requirement, at least the westernmost unit should have its entrance at the front wall closest to the street. The floor plan shows a bedroom in this area. It should be noted that this unit identifies 5 bedrooms total, and while this number is technically allowable, the zoning ordinance restricts residents in any unit here to no more than 4 unrelated adults.

The proposed building will have a similar alignment to the street frontage with neighboring structures, as far as the front yard setback is concerned. In order to accommodate the 4-space parking requirement, and that the driveway be located to the side of the primary structure, the foremost area of the structure juts out in front of the main structural body to comply with front yard setbacks while accommodating the parking. The driveway here will be 18'x36'.

(i) Vehicular Access:

The proposal includes shifting/widening the curb cut along Manhattan Drive. The 18'x36' driveway will meet the 4 parking space requirement.

(j) Pedestrian Access:

The plan shows a narrow walkway between the sidewalk and the front entrance at the end of the driveway. This 2 ft wide (approx.) walkway will be of a different material (concrete) than the driveway (asphalt), thus making it discernible from the driveway. The Building Inspector enforces ADA accessibility, which kicks in at 2+ residential units. Given this, it is understood that the minimum width for ADA accessible walkways is 3 ft, meaning the walkway will likely have to be widened. Additionally, there may actually have to be a ramp, instead of steps, accessing the unit entrances.

(k) Accessibility for the Handicapped:

The building inspector has jurisdiction over ADA requirements. As mentioned in (j) above, the walkway may have to be widened, and the main entrance steps replaced with a ramp.

(l) Parking and Circulation:

The Share Parking District requires 2 parking spaces per unit within a duplex. The plan identifies 4 parking spaces within the 18'x36' driveway.

(m) Landscaping and Fences

The plans show no fencing or landscaping. At a minimum, landscaping will need to be installed at the front and sides of the new structure. The applicant should expect to prepare a landscaping plan prior to the upcoming Development Review Meeting.

(n) Public Plazas and Open Space:

There is no requirement within the ordinance to provide a public plaza. There will be, however, yard space in the backyard that can provide some outdoor enjoyment.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

Recessed downlights are proposed in the ceiling above the ground level parking spaces and at the shared entrance, and wall mounted light fixtures are proposed next to the rear, ground level doors. The accompanying manufacturer's spec sheets indicate that these light fixtures comply with the lighting standards of Sec. 5.5.2 CDO.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

The plans do not indicate the location of trash/recycling bins, but it is assumed they will be kept in the basement and taken to the street on collection days. The plans also lack information on utility connections, meter locations and outdoor mechanical units and need to. Utility meters and other mechanical units will need to be located in manner so as not to be seen from the street. The plans will need to be updated to include this information.

Part 3: Architectural Design Standards

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

The mass of the proposed building will exceed that of the immediate neighboring structures. It should be noted that there is a 3-story residential building two lots to the east, at the corner of Manhattan Drive and Intervale Avenue. So while it will be a full story taller than it's immediate neighbors, it won't be out of character with the massing, height and scale of the neighborhood.

2. Roofs and Rooflines.

Most structures along this section of Manhattan Drive have gabled roofs. The proposed structure will have a 'salt box' roof, which as viewed from the street will have a similar but slightly different gable appearance. Asphalt shingles will be used.

3. Building Openings

Building openings are strategically placed in each bedroom along the front and rear facades. Due to the floor plan of each floor, centrally located building openings in the upper stories appear to be difficult to include due to the separating wall between the two units. The rear façade has a consistent window and door pattern. The side facades have less openings but are not sporadically placed.

(b) Protection of Important Architectural Resources:

Not applicable. The existing single family home is not a historic resource.

(c) Protection of Important Public Views:

Not applicable. There are no important public views on and around the property.

(d) Provide an active and inviting street edge:

Building facades shall be varied along the street edge by the integration of architectural features, building materials, or physical step-backs of the façade along its length. ..This may be accomplished by incorporating fenestration patterns, bays, horizontal and vertical façade

articulations, the rhythm of openings and prominent architectural features such as porches, patios, bays, articulated bases, stepping back an elevation relative to surrounding structures, and other street level details. The use of traditional façade components such as parapet caps, cornices, storefronts, awnings, canopies, transoms, kick plates, and recessed entries are highly encouraged. In areas where high volumes of pedestrian traffic are desired, the use of architectural recesses and articulations at the street level are particularly important in order to facilitate the flow of pedestrian traffic.

As noted above, the front entrance to the westernmost unit should be relocated to the front wall. While the proposed front entrance is tucked back at the end of the driveway, the foremost building section and recessed front wall offer a varying frontage. The driveway/parking location doesn't aid in creating an inviting street edge; however given the lot width, this represents one, if not the only, option to provide vehicular access while being able to develop the duplex. Symmetrical placement of windows in the upper stories, albeit with significant blank wall space between, offers some visual relief. The two planes of the front façade, and the separation between the two units, may warrant this blank wall area. Ideally, there should still be more features to break up this blank wall space.

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

The proposal calls for vinyl board & batten siding and vinyl windows throughout. Doors will be wooden with lites. The elevation plans identify 'metal roof material' to wrap around the front and rear façade as trim and as a canopy. These materials are common in new construction and are durable.

(f) Reduce energy utilization:

All new construction is required to meet the Guidelines for Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.

(g) Make advertising features complementary to the site:

Not applicable. No signs are proposed.

(h) Integrate infrastructure into the building design:

See Section 6.2.2 (p), above.

(i) Make spaces secure and safe:

Spaces shall be designed to facilitate building evacuation, accessibility by fire, police or other emergency personnel and equipment, and, to the extent feasible, provide for adequate and secure

visibility for persons using and observing such spaces. Building entrances/entry points shall be visible and adequately lit.

New construction shall conform to all building and life safety code as defined by the building inspector and the fire marshal.

Items for the Board's consideration:

1. The lack of a clearly identifiable main entrance on the front wall does not conform to the requirement of Sec. 6.2.2 (h). The applicant should consider putting a front entrance to the westernmost unit, at the foremost wall, to comply with this requirement. This will likely result in the need to alter the floor plan of the ground level.
2. If a separate entrance and walkway to the westernmost unit is not added to the plan, consider widening the walkway to the entrance located at the end of the driveway. Also, a ramp may be needed to comply with ADA requirements.
3. Consideration for snow storage/removal.
4. All exterior mechanical units and utility meters need to be added to the plans.
5. A landscaping plan will be required.

Burlington Design Advisory Board

Department of Permitting and Inspections

645 Pine Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/DPI/Boards/Design-Advisory-Board/>

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*Matt Bushey, Chair
Ron Wanamaker
Emily Morse
Jay White, Alternate
Kathleen Ryan, Alternate*



DESIGN ADVISORY BOARD

Tuesday September 28, 2021

645 Pine Street and via Zoom

Present: Matt Bushey, Ron Wanamaker, Emily Morse, Jay White (alternate)

Absent: Kathleen Ryan (alternate.)

Staff present: Ryan Morrison

Agenda

Session I – 3:00 PM – 3:30 PM

- 1. ZP-21-640; 483 Manhattan Drive (RM, Ward 2C) MBVT, Inc. / Matt Brouillard**
Demolish existing single family home and build duplex. (Ryan Morrison, Project Manager)

Present: Matt Brouillard (applicant)

Motion by Matt Bushey: I move we recommend project approval as proposed and forward to the Development Review Board, with the following recommended revisions:

1. Widen the pedestrian walkway to approximately 4 ft, or to match the width of the entrance steps;
2. Consider a larger entry landing by extending it approximately 3 ft toward the street; and
3. Identify the trash/recycling area in the backyard and a walkway along the side of the duplex to the front of the property.

2nd: Emily Morse

Vote: 4-0-0.

Motion carries.

2. Adjournment

3:45 PM