

Burlington Development Review Board

149 Church Street, City Hall
Burlington, VT 05401

www.burlingtonvt.gov/PZ/DRB

Phone: (802) 865-7188

Fax: (802) 865-7195

Austin Hart, Chair
Michael Long
Jonathan Stevens
Brad Rabinowitz
Missa Aloisi
Israel Smith
A.J. LaRosa
Alexandra Zipparo (Alt.)
Jim Drummond (Alt.)



BURLINGTON DEVELOPMENT REVIEW BOARD

Wednesday November 5, 2014

PUBLIC HEARING NOTICE

The Burlington Development Review Board will hold a meeting on **Wednesday November 5, 2014** at **5:00 p.m. in Contois Auditorium, Second Floor, City Hall.**

- 1. 15-0480CU: 294-296 NORTH WINOOSKI AVENUE (NMU, Ward 2) Irene Hinsdale/ North End Studios**
Change of use of portion of building from lab and office space to classroom/meeting space.

Plans may be viewed in the Planning and Zoning Office, (City Hall, 149 Church Street, Burlington), between the hours of 8:00 a.m. and 4:30 p.m.

Participation in the DRB proceeding is a prerequisite to the right to take any subsequent appeal. Please note that ANYTHING submitted to the Planning and Zoning office is considered public and cannot be kept confidential.

This may not be the final order in which items will be heard. Please view final Agenda, at www.burlingtonvt.gov/pz/drbb/agendas or the office notice board, one week before the hearing for the order in which items will be heard.

The programs and services of the City of Burlington are accessible to people with disabilities. Individuals who require special arrangements to participate are encouraged to contact the Department of Planning & Zoning at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188 (TTY users: 865-7142).

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Ken Lerner, Assistant Director
Sandrine Thibault, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, Senior Planner
Mary O'Neil, AICP, Senior Planner
Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



TO: Development Review Board
FROM: Ken Lerner
DATE: October 21, 2014
RE: 15-0397CA, 1127 North Avenue

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. **THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.**

Zone: NAC Ward: 4

Owner/Representative: Hauke Building Supply/David Hauke

Request: Construct new single story building addition to existing hardware store for retail space.

Applicable Regulations:

Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines)

Background Information:

The applicant is seeking approval to construct a new single story building addition to existing hardware store for retail space within the Ethan Allen Shopping Center. While the proposal is minor in scope, it is 4,320 sf and, therefore, requires Development Review Board approval. A significant renovation and expansion of this shopping center occurred in 2000-2 and was approved under COA 00-031 as amended.

Recommendation: Consent approval as per, and subject to, the following findings and conditions:

I. Findings

Article 4: Maps & Districts

Sec. 4.4.2, Neighborhood Mixed Use Districts

(a) Purpose

(1) Neighborhood Activity Center (NAC)

The subject property is located in the NAC zone which is intended as intended to provide convenient neighborhood and city wide-oriented goods and services and employment opportunities within walking or biking distance of many of the city's residential areas. The existing building and use will remain unchanged. **(Affirmative finding)**

(b) Dimensional Standards & Density

Building FAR will increase slightly with the addition. With only one story buildings that do not cover the entire lot the FAR remains below 1.0 and well below the 2.0 FAR limit in this zone.

Lot coverage will increase from 78.9% to 79.8% based on the site plan provided and stamped by the project engineer. This is below the maximum allowable 80% coverage.

The property has two front yards – North Avenue and Leddy Park Road. The required front yard setback is 12 feet from the street frontage curb. While there is no curb on Leddy Park Road, the new addition's closest point is 20 feet from the paved roadway on Leddy Park Road. Side yard setbacks are not applicable in the NAC zone, the side yards for the subject site are Leddy Park to the west and

Overall building height will match the existing building at 19.5 feet high and includes a tower element at the eastern & north corner that is 27.5 feet to the peak; under the maximum permissible 35' height.

(Affirmative finding)

(c) Permitted & Conditional Uses

The existing and proposed retail hardware use is permitted in the NAC zone. This use will remain unchanged. **(Affirmative finding)**

(d) District Specific Regulations

1. Ground Floor Residential Uses Restricted

The proposed use is retail, not residential. **(Affirmative finding)**

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

See Sec. 4.4.3 (b) above.

Sec. 5.2.4, Buildable Area Calculation

Not applicable.

Sec. 5.2.5, Setbacks

See Sec. 4.4.2 (b) above.

Sec. 5.2.6, Building Height Limits

See Sec. 4.4.2 (b) above.

Sec. 5.2.7, Density and Intensity of Development Calculations

See Sec. 4.4.2 (b) above.

Sec. 5.5.1, Nuisance Regulations

Nothing in this proposal appears to constitute a nuisance. **(Affirmative finding)**

Sec. 5.5.2, Outdoor Lighting

New outdoor lighting will be under the canopy. Acceptable LED cutoff fixtures are proposed. **(Affirmative finding)**

Sec. 5.5.3, Stormwater and Erosion Control

As more than 400 sf of earth disturbance will result from this proposal, a small project erosion prevention and sediment control plan is required. This plan has been approved by the Stormwater Administrator. **(Affirmative finding)**

Article 6: Development Review Standards:

Part 1, Land Division Design Standards

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

The area for the addition presently is mowed lawn, but it is within a shopping center originally developed in 1955 and redeveloped in 2002. **(Affirmative finding)**

(b) Topographical alterations

No significant topographical alterations are proposed. The site is flat and will remain so. **(Affirmative finding)**

(c) Protection of important public views

There are no important public views on or through the subject property. **(Affirmative finding)**

(d) Protection of important cultural resources

The site has no historical significance, nor are there any known archaeological resources. **(Affirmative finding)**

(e) Supporting the use of alternative energy

Alternative energy measures are not incorporated into the project design. The new construction will need to meet both city and state energy efficiency standards. **(Affirmative finding as conditioned)**

(f) Brownfield sites

Not applicable.

(g) Provide for nature's events

No new stormwater improvements are proposed. Ample green space remains onsite for infiltration of runoff. **(Affirmative finding)**

(h) Building location and orientation

Addition is oriented the same as the existing building and is a continuation of the hardware store operation. The addition is located to the east of the existing building. **(Affirmative finding)**

(i) Vehicular access

Vehicular access to the site will remain unchanged. **(Affirmative finding)**

(j) Pedestrian access

Pedestrian access into the building will be from the front corner of the new addition facing the parking area. **(Affirmative finding)**

(k) Accessibility for the handicapped

New addition will be handicap accessible. **(Affirmative finding)**

(l) Parking and circulation

No changes to parking or circulation are proposed.

	Original Parking Required	Current Parking Required
General retail existing COA 00-031	746 x 40% waiver = 299	224
Proposed Addition 4,320 sf	NA	9
Total Required		233

Thus, adding the new requirement of 9 spaces, results in a total parking requirement of 233 spaces; this is below the calculated 299 spaces that were provided under COA 00-031 approved for the renovated shopping center. **(Affirmative finding)**

(m) Landscaping and fences

No new landscaping is proposed. The existing building is commercial in nature, as is the proposed addition. There is grass around the east and south edges of the building addition and parking islands in the parking areas. The site remains within lot coverage requirements, i.e. less than 80%. **(Affirmative finding)**

(n) Public plazas and open space

Not applicable.

(o) Outdoor lighting

See Sec. 5.5.2.

(p) Integrate infrastructure into the design

The addition is a continuation of an existing building and use. A new HVAC unit will be added on the roof but it is screened by a parapet wall. **(Affirmative finding)**

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The massing, height, and scale of the proposed addition is consistent with the existing structure. The commercial building will appear as a single structure. **(Affirmative finding)**

2. Roofs and Rooflines

The proposed addition continues the roof line of the existing. **(Affirmative finding)**

3. Building Openings

Building opening is at the east end under the overhang of a taller element at the corner. Nearly 50% of the building front and exposed (east) side include storefront glazing typically found in the shopping center. **(Affirmative finding)**

(b) Protection of important architectural resources

The existing building is not historic, nor is it eligible for listing on an historic register. The proposed addition matches the building and will have no adverse impact on Burlington's architectural resources. **(Affirmative finding)**

(c) Protection of important public views

See 6.2.2 (c) above.

(d) Provide an active and inviting street edge

The street edge of the existing building will remain unchanged. The proposed enclosure is not intended to relate to the street edge in any way. **(Affirmative finding)**

(e) Quality of materials

A metal roof and stucco siding with a brick base is proposed to be consistent with the existing building and are appropriate for this commercial building. **(Affirmative finding)**

(f) Reduce energy utilization

The project must meet current city and state energy efficient requirements. **(Affirmative finding as conditioned)**

(g) Make advertising features complimentary to the site

Any new signs require a separate zoning permit; none are included in this permit. **(Affirmative finding as conditioned)**

(h) Integrate infrastructure into the building design

New mechanical equipment is proposed on the roof behind a parapet. **(Affirmative finding)**

(i) Make spaces safe and secure

Emergency vehicle access to the building appears to remain essentially unchanged. Adherence to applicable building codes will be required. **(Affirmative finding as conditioned)**

II. Conditions of Approval

1. **Prior to release of the zoning permit**, the applicant shall obtain written approval of the Erosion Prevention and Sediment Control Plan from the Stormwater Administrator.
2. **Prior to issuance of a certificate of occupancy**, the applicant must obtain written certification from the Stormwater Administrator that, among other things, the project EPSC plan as approved has been complied with and final site stabilization has occurred. This certification shall be filed with the Department of Planning & Zoning.
3. The proposed structure shall comply with the Vermont and Burlington current energy efficiency standards and with Burlington's current ingress and egress requirements as established by Burlington Electric Department and Burlington Public Works, respectively.

4. Any new signs require a separate zoning permit; none are included in this permit.
5. **At least 7 days prior to the issuance of a CO (final or temporary),** the owner shall pay to the City of Burlington (paid at the Planning and Zoning Office) the impact fee as set forth in the Impact Fee Administrative Regulations established by resolution of the City Council pursuant to the CDO, as shown in the table below:

Department	<u>Retail</u>	
	Rate	Fee
Traffic	0.711	3,071.52
Fire	0.192	829.44
Police	0.339	1,464.48
Parks	0.405	1,749.60
Library	0.000	0.00
Schools	0.000	0.00
Total	1.647	\$ 7,115.04

6. Standard permit conditions 1-15.







DESCRIPTION

The TopTier™ parking garage and canopy luminaire is an innovative solution that delivers an unparalleled combination of performance and visual comfort. The patented WaveStream™ optical technology blocks the line of sight from the LED light sources to the observer, while extracting the maximum amount of light on task. This approach results in a high level of uniformity and vertical footcandles that enhances safety in the application environment. The TopTier luminaire is UL/cUL listed for wet locations, IP66 and 3G vibration rated.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

One-piece, low copper die-cast aluminum housing provides a clean and symmetric housing. Formed aluminum top is sloped to prevent bird nesting. Metal electrical tray allows for easy electrical access for field servicing.

Optics

Unique optical distributions are accomplished using various combinations of reflective backing plates and WaveStream optical technology. The optical Waveguide is manufactured using precision injection molded acrylic. The optics contain features that form a repeatable and redundant pattern to direct light in a precisely prescribed distribution. For the ultimate level of glare control and visual comfort, specify the SG option which adds a Solite® glass lens that works in combination with the Waveguide lens and reflective backing plate. Offered standard in 4000K (+/- 275K) CCT, optional 3000K and 6000K. Minimum 70 CRI.

Electrical

LED driver(s) are mounted to metal electrical tray for optimal thermal performance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. For 0-10V dimming driver(s), specify the DIM option. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. Greater than 85% lumen maintenance expected at 60,000 hours, based off LM-80 test data and TM-21. Suitable for ambient temperature applications from -40°C (-40°F) to 40°C (104°F). For 50°C (122°F) applications, specify the HA high ambient option. IP66 rated against the ingress of dust and water.

Mounting

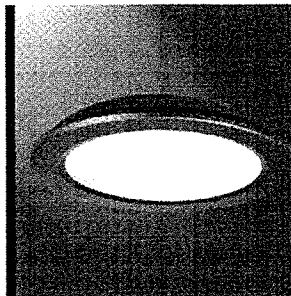
Standard fixture mounts to a square or octagonal 4" surface or recessed j-box via heavy-gauge quick mount bracket. With the addition of a field supplied wet location j-box, the luminaire can be pendant mounted to a rigid or free swinging pendant. Optional mounting methods include trunnion mount and wall mount.

Finish

Housing finished in white Super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include black, bronze, grey, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



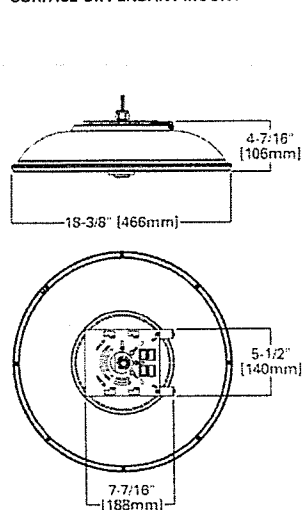
TT TOPTIER LED

Solid State LED

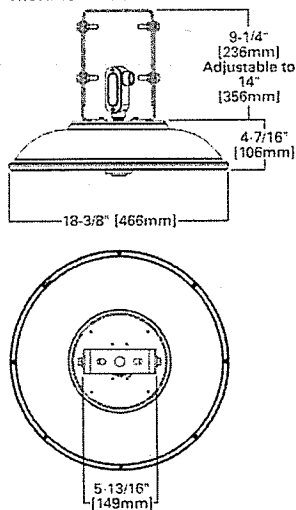
PARKING GARAGE AND CANOPY LUMINAIRE

DIMENSIONS

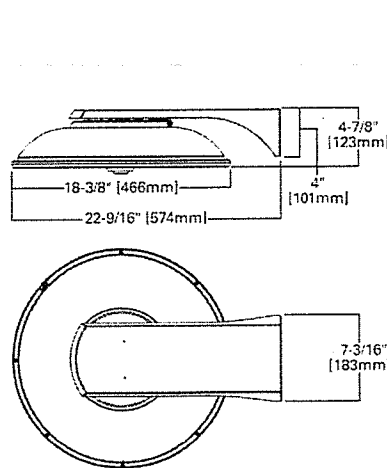
SURFACE OR PENDANT MOUNT



TRUNNION MOUNT



WALL MOUNT



CERTIFICATION DATA

UL/cUL Wet Location Listed
3G Vibration Rated
LM79 / LM80 Compliant
IP66 Rated
DesignLights Consortium Qualified
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

SHIPPING DATA

Approximate Net Weight:
16 lbs. (7.2 kgs.)



ADH13
2014-09-21 15:5

Cooper Lighting
by E.T.N

DEPARTMENT OF
PLANNING & ZONING

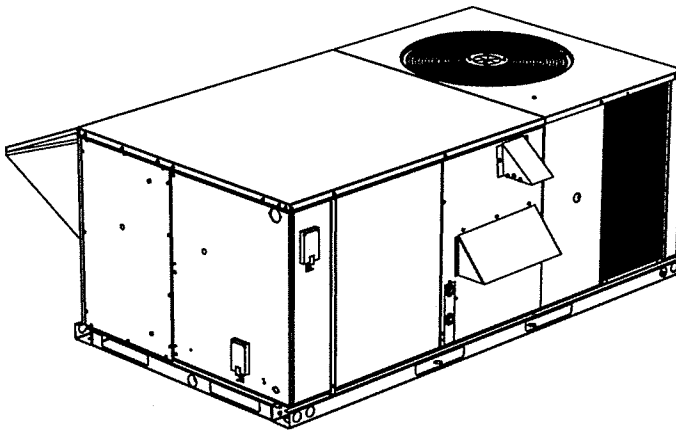
www.designlights.org

RECEIVED
SEP 18 2014



Heating and Air Conditioning TECHNICAL GUIDE

R-410A ZF / ZR / XP SERIES 3 - 6 TON 60 Hertz



Description

YORK® ZF/ZR/XP Series units are convertible single package high efficiency rooftops with a common roof curb for the 3 and 6 Ton sizes (ZR, XP not available in 6 Ton). Although units are primarily designed for curb mounting on a roof, can also be slab-mounted at ground level or set on steel b above a finished roof.

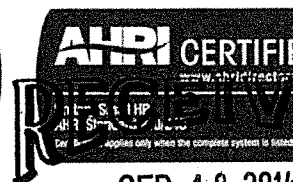
All ZF/ZR/XP Series units are self-contained and assembled on rigid full perimeter base rails allowing for overhead rigging. Every unit is completely charged, wired, piped and tested at factory to provide a quick and easy field installation.

All models (including those with an economizer) are convertible between bottom and horizontal duct connections.

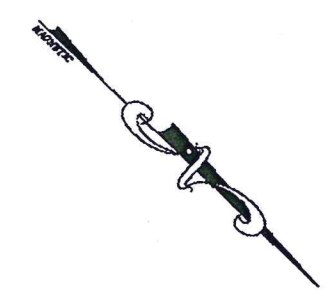
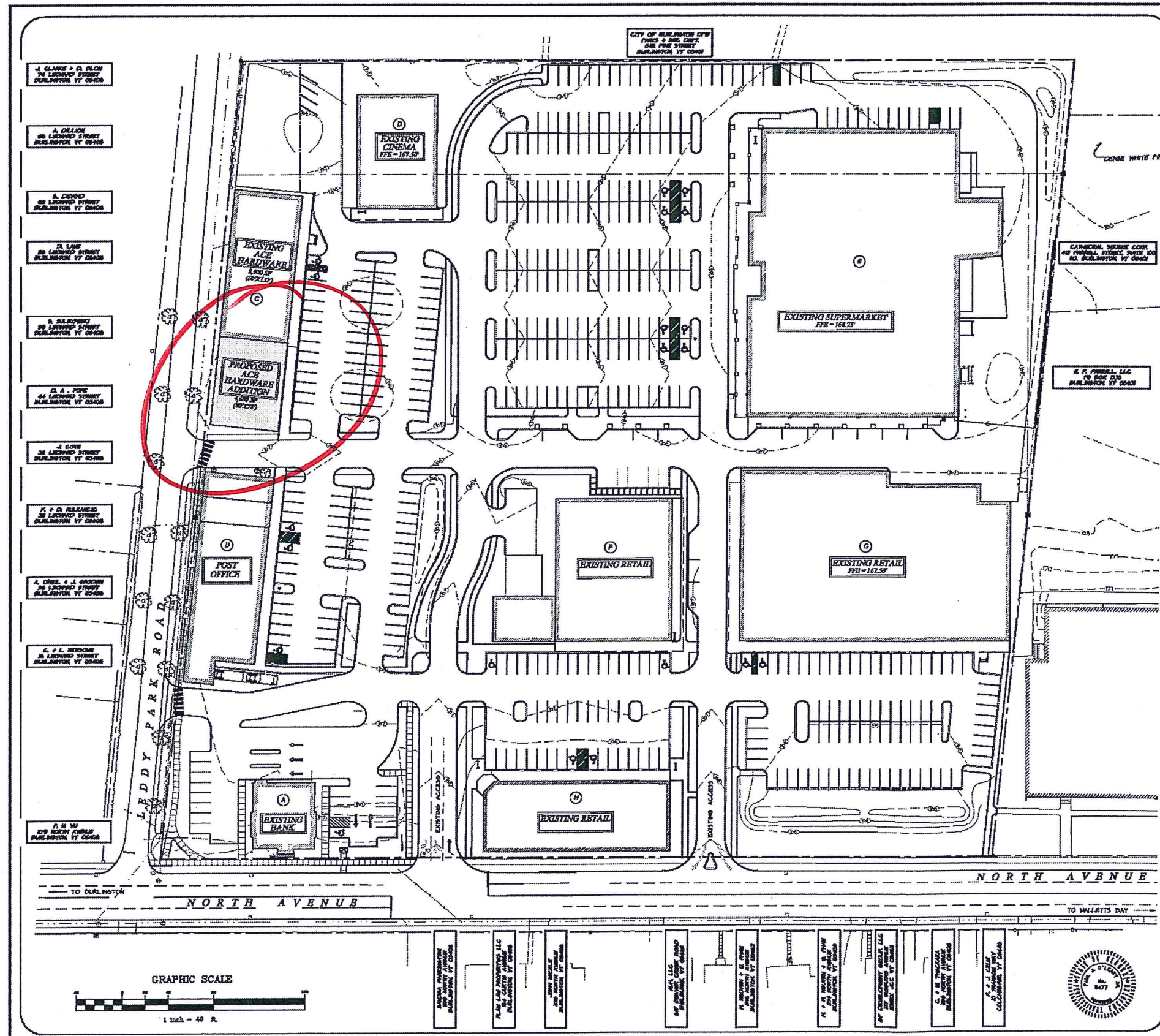
ZF/ZR Series units are available in the following configurations: cooling only, cooling with electric heat, and cooling with dual stage gas heat. Electric heaters are available as factory installed option or field installed accessory.

XP Series units are available in the following configurations: cooling and heating only and cooling and heating with electric heat.

Tested in accordance with:



SEP 18 2014



LEGEND

- PROJECT PROPERTY LINE
- ADJUTING PROPERTY LINE
- CONCRETE MONUMENT FENCE
- IRON PIPE FOUND
- EXISTING GRADE CONTOURS
- FINISH GRADE CONTOURS
- CHAIN LINKED FENCE
- GUARDRAIL
- OVERHEAD WIRE
- EXIST. GAS LINE AND METER
- EXIST. WATER LINE AND VALVE
- EXIST. SEWER LINE AND MANHOLE
- EXIST. STORMDRAIN AND CATCHBASIN
- NEW LIGHT POLE
- UTILITY OR TRAFFIC POLE AND GUT WIRE
- EXISTING TRAFFIC OR DIRECTIONAL SIGN
- ELECTRIC PAD LOCATION
- DIRE RACK
- SPOT GRADE

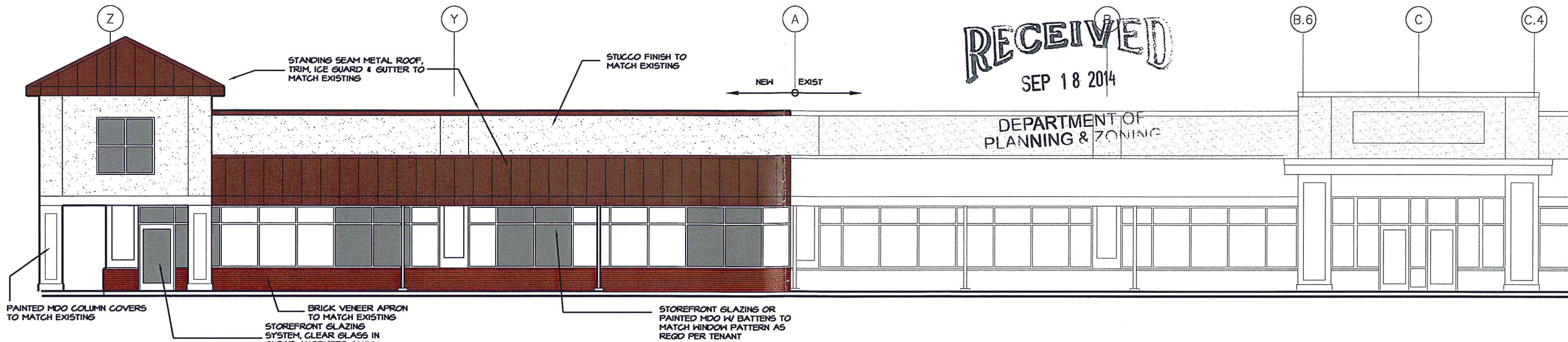
PROJECT STATISTICS

BUILDING A	EXISTING 3,295 SF KEY BANK
BUILDING B	EXISTING 10,800 SF COMMERCIAL (POST OFFICE, OFFICE SPACE)
BUILDING C	EXISTING 8,000 SF COMMERCIAL & PROPOSED 4,800 SF ADDITION (RETAIL SPACE)
BUILDING D	EXISTING 7,000 SF COMMERCIAL (RETAIL SPACE)
BUILDING E	EXISTING 47,000 SF COMMERCIAL (SUPERMARKET)
BUILDING F	EXISTING 18,000 SF COMMERCIAL (RETAIL, OFFICE, RESTAURANT, LAUNDRY/DRY, HANDRESSER)
BUILDING G	EXISTING 34,000 SF COMMERCIAL (RETAIL, OFFICE, FITNESS, HANDRESSER)
BUILDING H	EXISTING 10,200 SF COMMERCIAL (RETAIL, RESTAURANT, OFFICE)
AREA	50,000 SF
EXISTING LOT COVERAGE	40,000 SF 78.4 %
PROPOSED LOT COVERAGE	40,720 SF 81.4 %
EXISTING NUMBER OF PARKING SPACES	487
PROPOSED NUMBER OF PARKING SPACES	487

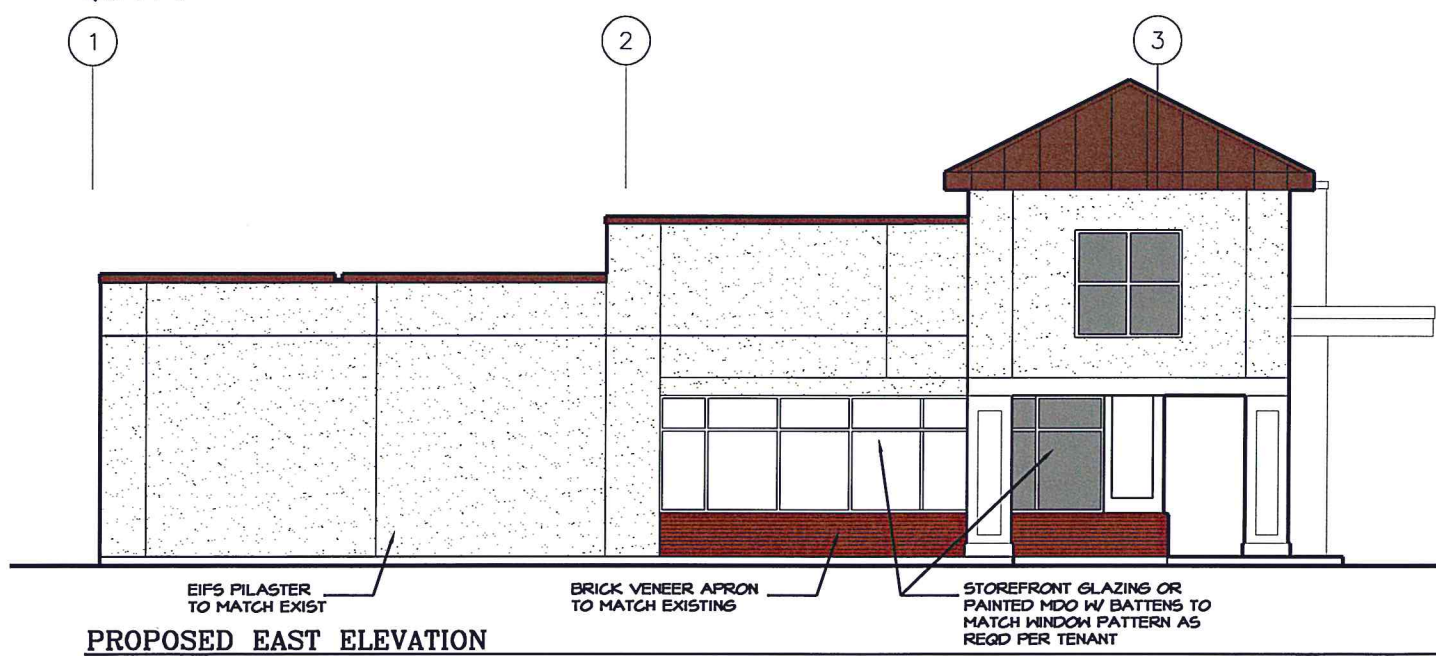
DATE 12-01-2011	REVISION 1	PROJECT ETHAN ALLEN SHOPPING CENTER PROPOSED ACE HARDWARE ADDITION NORTH AVENUE - DURLINGTON	SHEET 1
O'LEARY-BURKE CIVIL ASSOCIATES, PLC		OVERALL PLAN	

RECEIVED
SEP 18 2014

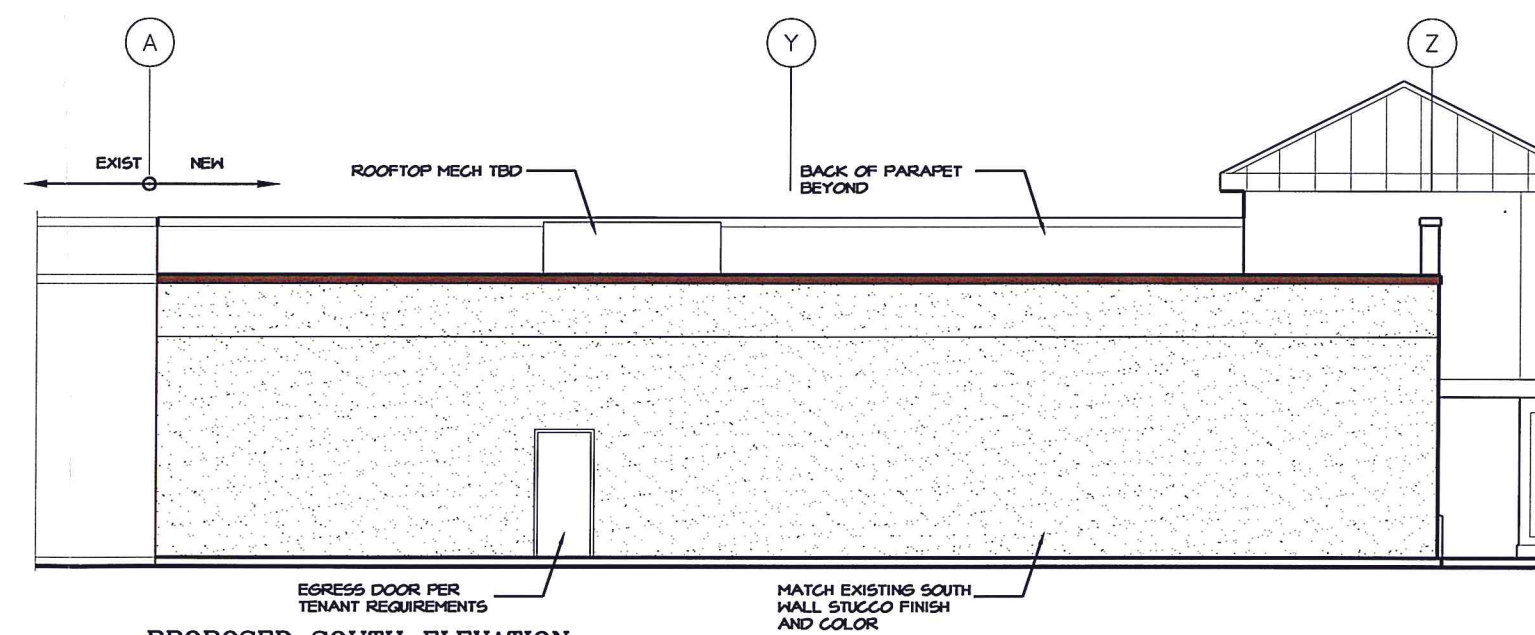
DEPARTMENT OF
PLANNING & ZONING



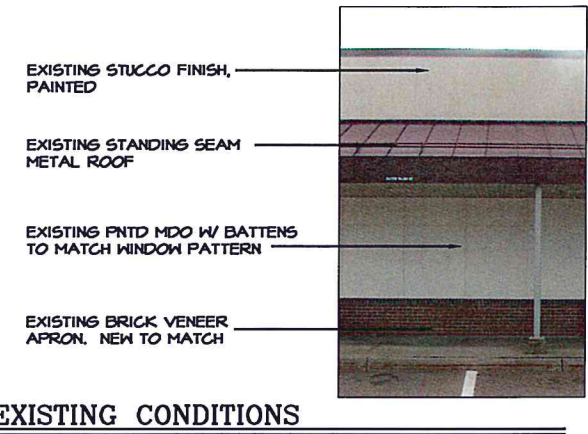
PROPOSED NORTH ELEVATION
3/16" = 1'-0"



PROPOSED EAST ELEVATION
3/16" = 1'-0"



PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



EXISTING CONDITIONS

Ownership of Instruments of Service

Burlington Development Review Board

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BURLINGTON DEVELOPMENT REVIEW BOARD

WEDNESDAY November 5 2014, 5:00 p.m.

**Contois Auditorium, City Hall, 149 Church Street, Burlington, VT
AMENDED AGENDA**

I. Agenda

II. Communications

III. Minutes

IV. Consent

- 1. 15-0397CA: 1127 NORTH AVENUE (NAC, Ward 4) Hauke Building Supply Inc.**
Construct new single story addition to existing hardware store for retail space. (Project Manager: Ken Lerner)
- 2. 15-0480CU: 294-296 NORTH WINOOSKI AVENUE (NMU, Ward 2) Irene Hinsdale/North End Studios**
Conditional Use review for expansion of performing art studio space. (Project Manager: Mary O'Neil)

V. Certificate of Appropriateness

- 1. 15-0358CA: 82 UNIVERSITY PLACE (I, Ward 1) UVM**
Demolish Angell Hall and Cook Physical Science Building, construct new S.T.E.M building with connecting bridge to Votey Hall. (Project Manager: Scott Gustin)
- 2. 15-0482CA: 50 HOWARD STREET (RM, Ward 5) Rodney J. Martel**
Remove existing accessory building and replace with new building with ground floor garage and second level apartment. (Project Manager: Scott Gustin)

VI. Other Business

VII. Adjournment

Applications and Plans may be viewed in the Planning and Zoning office, (City Hall, First Floor, 149 Church Street, Burlington), between the hours of 8:00 a.m. and 4:30 p.m.

All staff comments, plans and supporting documents will be available on the Planning and Zoning website at: www.burlingtonvt.gov/pz/drbb/agendas approximately one week before the hearing.

Participation in the DRB proceeding is a prerequisite to the right to take any subsequent appeal. Please note that ANYTHING submitted to the Planning and Zoning office and Development Review Board is considered public and cannot be kept confidential.

This agenda is distributed to: adjacent property owners of projects before the Development Review Board, Neighborhood Planning Assemblies, City Councilors, City Departments and interested parties. You may direct written comments to the Planning and Zoning Department, at the above address. Inquiries may be made by calling 865-7188. Oral comments may be given at the meeting by any persons on any project listed on the Agenda.

Department of Planning and Zoning

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MEMORANDUM

To: Development Review Board
From: Mary O'Neil, AICP, Senior Planner *moniel*
Date: November 5, 2014
RE: ZP15-1480CU; 294-296 North Winooski Avenue

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP15-0480CU

Location: 294-296 North Winooski Avenue

Zone: NMU **Ward:** 2

Date application accepted: October 9, 2014

Applicant/ Owner: North End Studios (Ben Bergstein) / Irene C. Hinsdale

Request: Conditional Use review for performing arts studio. (This is not the Performing Arts Center permitted for Area 115 on the floor plan; however the uses are inter-related.)

Background:

- Zoning Permit 10-0534CU; Conditional Use review to change from warehouse to performing arts theatre (Studio 115 on floor plan); approved January 2010.
- Zoning Permit 09-805CA; change of use of 1080sf to place of worship. May 2009.
- Zoning Permit; parallel sign for Vermont Workers Center. December 2007.
- Zoning Permit 08-337CA; restaurant with seven indoor tables with 4 seats each for a total of 28 seats and take out services. October 2007.
- Zoning Permit 06-606SN; parallel sign for Beatbox music store. April 2006.
- Zoning Permit 02-029 / COA 086-131; establish office use with accessory classroom component. July 2001.
- Zoning Permit 99-266; parallel sign for video rental store. November 1998.
- Zoning Permit 99-237/COA 086-131A; change use from office to video rental. October 1998.
- Zoning Permit 98-050; change use from restaurant to office. August 1997.
- Non-Applicability of Zoning Permit Requirements, to continue utilizing 14,085 sf gross floor area for a restaurant/deli to include 24 seats. February 1996.
- Zoning Permit 96-2325; parallel sign for restaurant/deli. February 1996.
- Zoning Permit 93-217; establish video rental use accessory to Laundromat use. November 1992.
- Zoning Permit 92-133; construct handicap access ramp to restaurant/deli. October 1991.

- Zoning permit 92-106; install front awning and parallel sign; September 1991.
- Zoning Permit 91-017; approval for parallel sign for Champlain Drug and Alcohol Services; July 1991.
- Zoning Permit 90-114; establish day care, max. 50 children, 10 staff. April 1990.
- Non-Applicability of Zoning Permit Requirements; expand Champlain Drug and Alcohol Tourist Home use as approved by ZBA. March 1990.
- Zoning Permit 90-024; install exhaust fan on roof. January 1990.
- Zoning Permit 89-463; install new double entry door on North Winooski side of building; enlarge existing window on Archibald side of building. September 1989.
- Non-Applicability of Zoning Permit Requirements; interior fit-up for Tourist Home. June 1989.
- Zoning Permit 89-361; amend uses for commercial building to allow "Tourist Home". May 1989.
- Burlington Zoning Board of Adjustment; interpretation of uses for existing permit COA 86-131 to facilitate use per submitted description (Temporary occupancy for lodging or more than four individuals.) Referred by Zoning Administrator of Interpretation. Heard by BZBA April 1989. *The use as described is found to specifically meet the definition of a tourist home offered by the zoning ordinance and thereby the use as described is a permitted use in the GC zone.* FOF decision signed July 1989.
- Zoning Permit 87-269 / COA 86-131A; amend permit for renovation of building to incubator space. Exterior treatment to be stucco and corrugated metal over insulation rather than paint. May 1987.
- Zoning Permit 86-405 / COA 86-131; renovate existing building; new exterior windows, 4 new pedestrian entrances, landscaping, redefining parking area for use as commercial, office, light manufacturing and warehouse incubator space. August 1986.
- Zoning Permit 82-069; use existing vacant building for wholesale hardware business. No additional lot coverage and no exterior modifications. March 1983.
- Zoning Permit 82-532; erect plywood projecting sign. December 1982.
- Zoning Permit 82-451; convert portion of structure to office use. Approved September 1982.
- Zoning Permit 82-234; establish storage space, install a stairway. May 1982.
- Zoning Permit 82-209; change pitch of roof; construct 4/12 pitch over existing flat roof. May 1982.
- Zoning Permit 79-612; open grocery store in vacated section of Fassetts Bakery building, converting an existing commercial use to another commercial use. October 1979.
- Request under Interim Zoning to erect a 12' x 30' addition on the south side of the Fassetts Bakery building within 7' of the front property line. August, 1975. Application withdrawn.
- ZBA review, install a 5,000 gallon gas tank and pump. Approved July 1971
- BFA review, erect two bulk flour storage tanks to be completely enclosed in a steel building on the premises. Approved March 1968.
- ZBA review; seeking permission to demolish existing building at 286-288 North Winooski Avenue and to erect in the rear of the property a loading station approximately 65' x 100' to accommodate 10 trucks. Approved October, 1964.

DEPARTMENT OF
PLANNING & ZONING

SUITE 116

off center

STUDIO B
104 sq. ft.

TOILET
1300 sq. ft.

OFFICE
1976 sq. ft.

RECEPTION

STUDIO C
1976 sq. ft.

STUDIO D
104 sq. ft.

CONFERENCE
840 sq. ft.

STORAGE

M

W

RECP.

ATRIUM

LOADING DOCK

TRASH

115
57 sq. ft.

112A
1550 sq. ft.

112B
1100 sq. ft.

112C
1350 sq. ft.

111
3964 sq. ft.

117
117 sq. ft.

I. Findings

Part 3, Impact Fees

Part 5, Conditional Use and Major Impact Review

The proposed expansion in performing arts studio space will generate little impact on community facilities. The kitchen/bathroom area is an existing amenity for the combined uses that is presently accommodated with water and sewer service. No new demands are anticipated. **Affirmative finding.**

2. The character of the area affected:

294-296 North Winooski Avenue is within the Neighborhood Mixed Use (NMU) zoning district. The building has a mix of uses; this use and expansion are accommodated by the departure of an office use. The proposed change in use includes no exterior changes to the building or site. The performing arts use has been in practice for three years (although unpermitted); however no change in character of the area is anticipated. **Affirmative finding.**

3. Traffic on roads and highways in the vicinity;

As reported by the applicant: *Compared to the tenant who occupied the space before us, we expect a net loss of approximately 6 parking spaces during weekday/daytime hours, since our staff is already using the parking lot during these hours. ... There will be a small amount of traffic arriving by foot or bicycle.* **Affirmative finding.**

4. Bylaws then in effect;

As conditioned, a performing arts studio complies with applicable zoning bylaws. The applicant is responsible for securing all required building permits for the expansion. **Affirmative finding as conditioned.**

5. Utilization of renewable energy resources;

Nothing within the application alludes to the use of alternative energy resources. As proposed, there is no obstruction to the potential use of wind, water, geothermal, solar, or other alternative energies. **Affirmative finding.**

6. Cumulative impacts of the proposed use;

An acknowledgment and expansion of a performing arts studio will have little impact on this or surrounding sites. Overall, the availability of space for such use will be a logical companion to the permitted performing arts theatre, providing a positive enhancement to the neighborhood and overall community. **Affirmative finding.**

7. Functional Family;

Not applicable.

8. Vehicular access points;

No changes to the exterior structure or parking area are proposed. There is an existing driveway access onto the North Winooski Avenue parcel. The vehicular access points shall remain as existing. **Affirmative finding.**

9. Signs;

Any signage will require a separate sign permit. **Affirmative finding as conditioned.**

10. Mitigation measures;

There are no identified impacts that would require mitigation. **Affirmative finding.**

11. Time limits for construction;

Alteration will be entirely internal; the applicant anticipates a 90 day window in which to complete. Given the limited period of expected construction, and its focus boundary to be internal to the structure, no adverse impacts are anticipated to neighboring properties.

Affirmative finding.

12. Hours of operation and construction;

The space is proposed to be used 7 days a week, both daytime and evening; however peak use is anticipated after 3:00 pm on weekdays as well as weekend mornings and evenings. Within the NMU zoning district, this activity is anticipated and should not introduce any anomaly.

As noted, construction is anticipated to be complete within 90 days of commencement.

Affirmative finding.

13. Future enlargement or alterations;

Any future alterations or expansion of the performing arts studio will require permit review per the regulations in effect at that time. **Affirmative finding as conditioned.**

14. Performance standards;

No exterior or changes are proposed. The use, while unknowingly unpermitted, has been in effect for the past three years. As defined in the application materials, review under nuisance regulations or similar performance standards does not seem warranted. **Affirmative finding.**

15. Conditions and safeguards;

This is entirely at the discretion of the DRB; however as conditionally reviewed, acknowledging three year existence without issue and now proposed for modest expansion, additional conditions and safeguards do not appear necessary. **Affirmative finding.**

Article 8: Parking

Section 8.1.8, Minimum Off-Street Parking Requirements

The existing performing arts studio (not to be confused with the Performing Arts *center*, located in the area defined within Suite 115 on the floor plan) is within the Shared Use parking district.

There is no required minimum parking for Performing Arts Studio use, per Table 8.1.8-1.

The lessor has, however, identified 12 parking spaces available for this tenant. **Affirmative finding.**

II. Conditions of Approval

1. The applicant is responsible for securing all required building permits for the expansion.
2. Any future alterations or expansion of the performing arts studio will require permit review per the regulations in effect at that time.
3. Standard Permit conditions 1-15.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.

RECEIVED

OCT 08 2014

DEPARTMENT OF
PLANNING & ZONING

Date: October 7, 2014
To: Department of Planning and Zoning
From: Vermont Performing Arts League, 294 N. Winooski Ave., Burlington, VT
Re: Conditional Use Permit, 294 N. Winooski Ave. Suite 116B

Description of proposed use: The use of this space will be an extension of our current usage in Suite 116A, adding an additional lobby space and classroom/meeting space.

Days and hours of operation: The space may be used 7 days a week, both daytime or evening; however, peak use is after 3 p.m. on weekdays, and weekend mornings and evenings.

Number of employees: The same staff (3 persons) that run our facility now will assume the operation of the additional space. No additional staffing will be needed.

Traffic generation and parking analysis: Compared to the tenant who occupied the space before us, we expect a net loss of approximately 6 spaces during weekday/daytime hours, since our staff is already using the parking lot during these hours. From 5 to 8 p.m. on weekdays, one of our peak times, there may be a need for 4-10 additional spaces. On Friday and Saturday evenings upon occasion there may be need for 6-12 additional spaces but not on a regular basis. There will be a small amount of traffic arriving by foot or bicycle.

Floor plan: See attached.

Phasing schedule: The limited amount of construction needed to convert the existing space to its proposed configuration will take place in approximately 90 days from receipt of necessary permits.

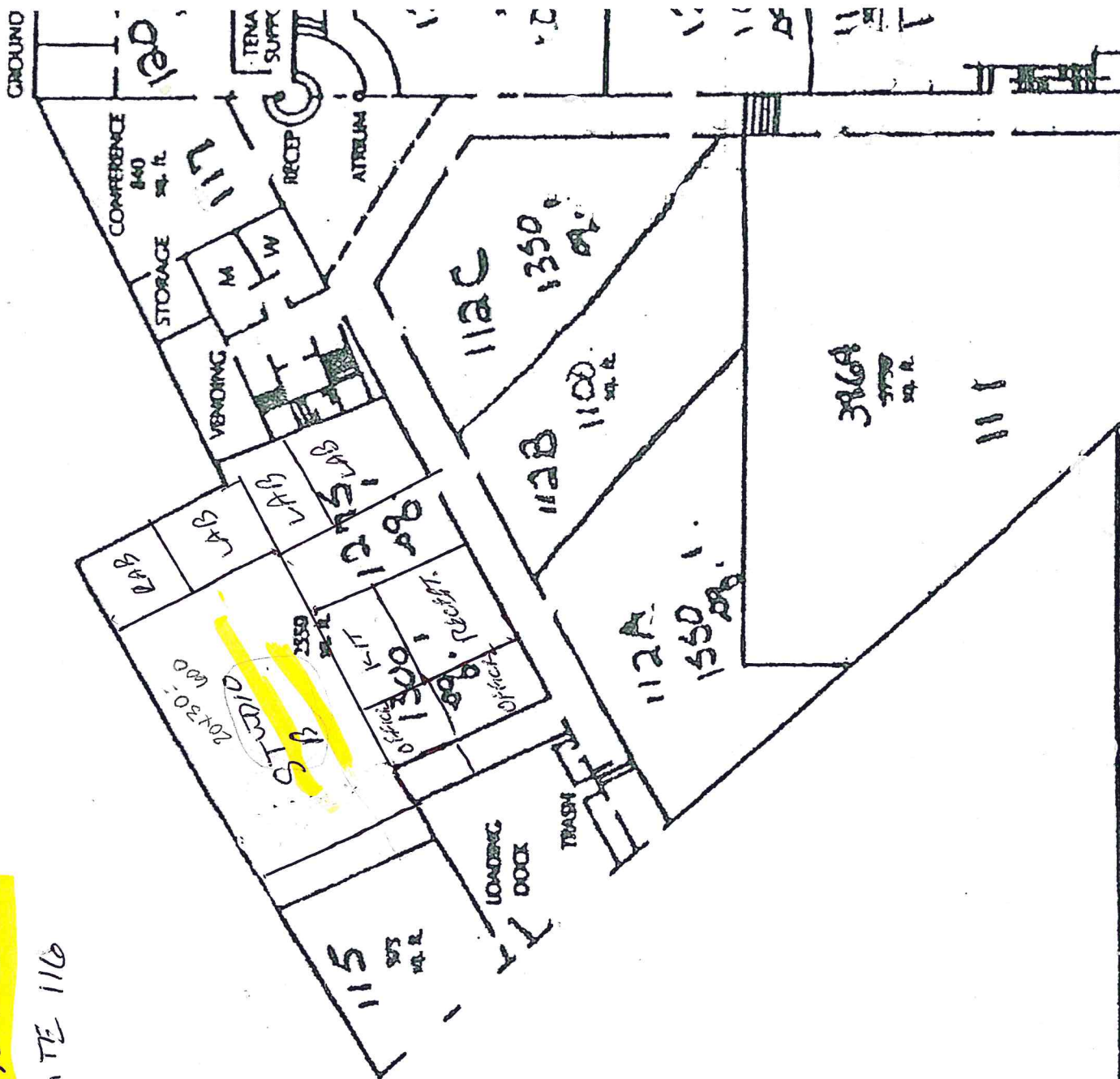
Information and narrative: N/A. Having looked at your website, section 3.5.6(b) seems to refer to Major Impact Review applications only. Please send specific criteria to address if this assumption is incorrect.

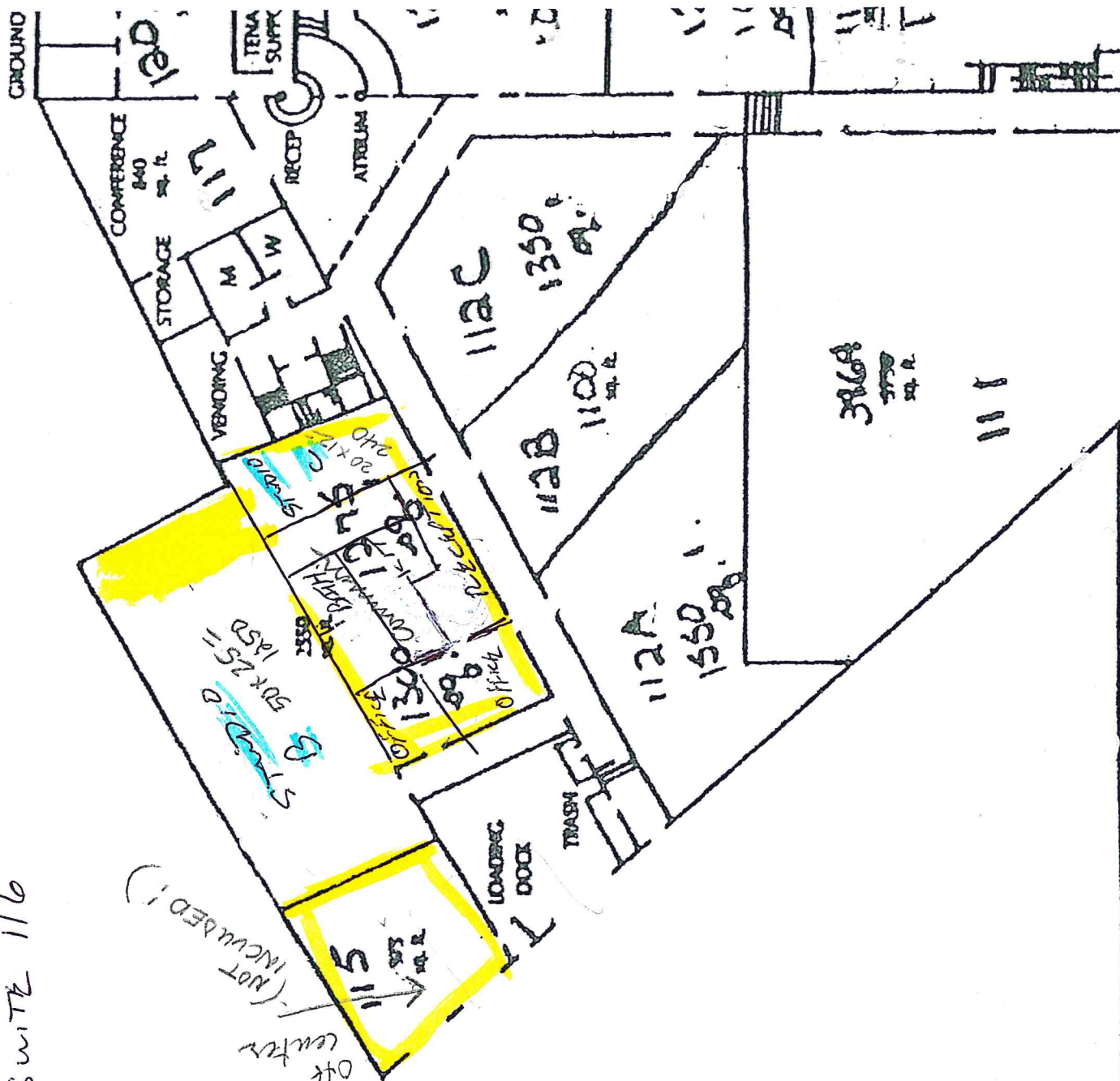
If any further information is required, please contact April Werner, Executive Director, Vermont Performing Arts League/DBA North End Studios, april@vpal-us.org or 802-863-6713.

OCT 08 2014

DEPARTMENT OF
PLANNING & ZONING

EXISTING WHITE





OCT 08 2014

DEPARTMENT OF
PLANNING & ZONING

2974 North Windsor Avenue

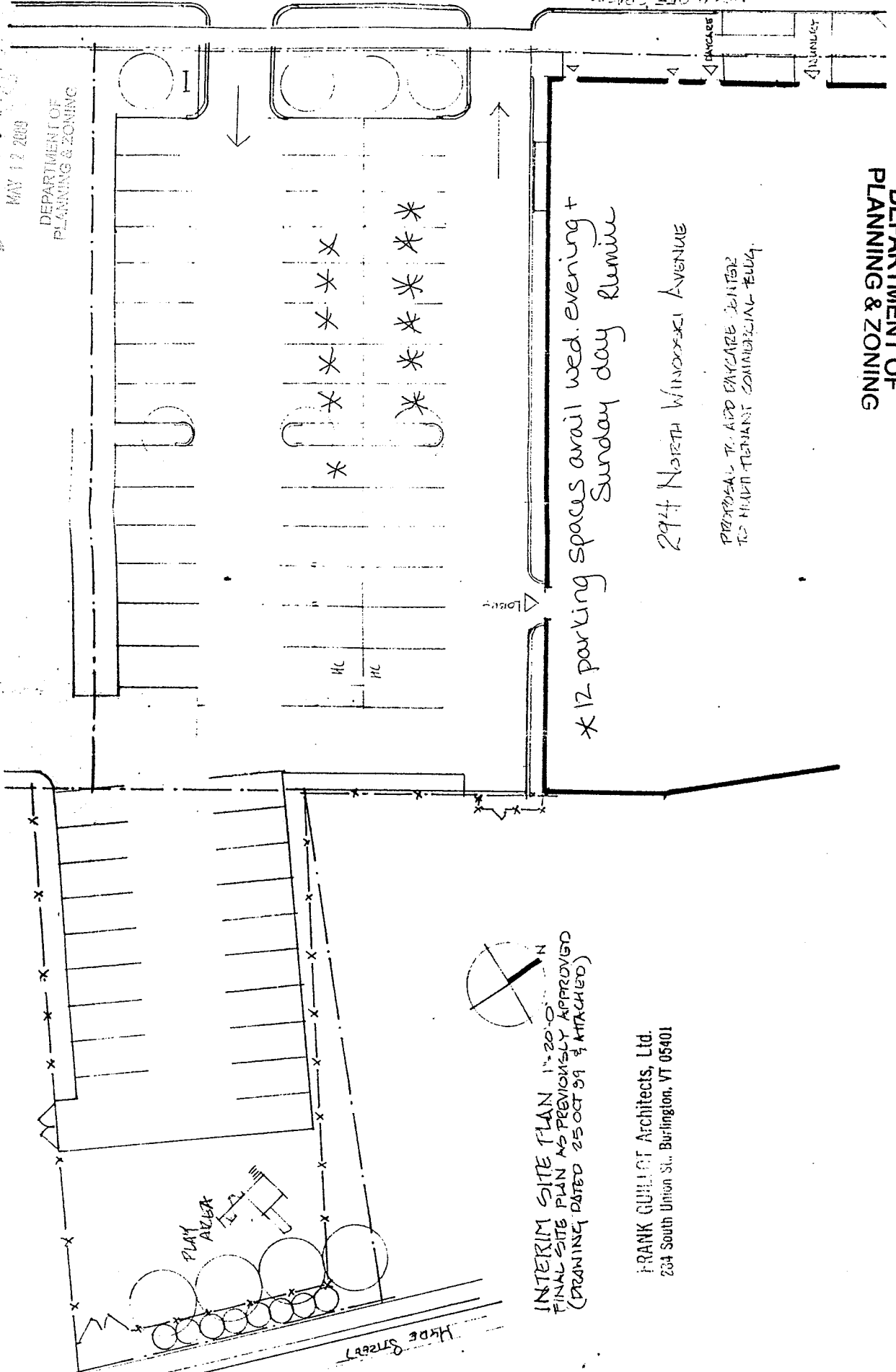
* 12 parking spaces avail wed. evening +
Sunday day fluoro

PROPOSED TO ADD PARKING SPACES
TO EXISTING LOT

RECEIVED

MAY 12 2009

DEPARTMENT OF
PLANNING & ZONING



INTERIM SITE PLAN 1"=20'-0"
FINAL SITE PLAN AS PREVIOUSLY APPROVED
(DRAWING DATED 25 OCT 99 & ATTACHED)

FRANK GUILLOT Architects, Ltd.
204 South Union St., Burlington, VT 05401

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Ken Lerner, Assistant Director
Sandrine Thibault, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, Senior Planner
Mary O'Neil, AICP, Senior Planner
Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



TO: Development Review Board
FROM: Scott Gustin
DATE: November 5, 2014
RE: 15-0358CA; 82 University Place

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: I Ward: 1

Owner/Applicant: University of Vermont

Request: Demolish Angell Hall and Cook Physical Science Building, construct new STEM building with connecting bridge to Votey Hall.

Applicable Regulations:

Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines), Article 8 (Parking)

Background Information:

The applicant is requesting approval for demolition of the Cook Physical Sciences building and the adjacent Angell Lecture Center. In their place, the applicant is seeking approval to construct a 193,650 sf Science, Technology, Engineering, & Math (STEM) complex. The project site is located within the University's Central Campus and within the Institutional Core Campus Overlay wherein intensified development is anticipated. The proposed building is comprised of two distinct components of up to 5 stories. The applicant requests a 4-year timeframe for construction. No project phasing has been requested. Impact fees (FY '14 rates) based on the net new building area will be assessed upon project completion.

The University of Vermont is an educational institution and, therefore, is subject to only limited zoning review per 24 VSA, Sec. 4413, *Limitations on municipal bylaws*. This application may be reviewed only with respect to location, size, height, building bulk, yards, courts, setbacks, density of buildings, off-street parking, loading facilities, traffic, noise, lighting, landscaping, and screening requirements.

The Design Advisory Board reviewed this application September 23, 2014. The Board unanimously recommended forwarding to the Development Review Board subject to the following conditions:

1. Bicycle parking details (numbers, types, and locations) per Article 8: Parking, Part 2: Bicycle Parking.
2. Outdoor lighting fixture cut sheets.

3. Confirmation that the height of the western section of the proposed building does not exceed that of the Health Sciences Research Facility as measured above sea level.

Application materials to address the DAB's recommendation have been provided as noted in these findings.

The Conservation Board reviewed this application on October 6, 2014. The Board unanimously recommended approval of the project, subject to standard stormwater management conditions.

Recommendation: Certificate of appropriateness approval as per, and subject to, the following findings and conditions:

I. Findings

Article 4: Maps & Districts

Sec. 4.4.4, Institutional District:

(a) Purpose

See Sec. 4.5.2 (d) *District Specific Regulations: UVM Central Campus.*

(b) Dimensional Standards & Density

See Sec. 4.5.2 (d) *District Specific Regulations: UVM Central Campus.*

(c) Permitted & Conditional Uses

See Sec. 4.5.2 (d) *District Specific Regulations: UVM Central Campus.*

Sec. 4.5.2, Institutional Core Campus Overlay Districts

(a) Purpose

The Institutional Core Campus Overlay Districts are intended to provide for reasonable future growth for institutions within the core of their respective campuses without further intrusion into surrounding residential neighborhoods. Increased development scale and intensity than would be found in adjacent residential areas and to provide for a variety of uses associated with higher education, health care, and cultural and research centers. The proposed construction of the STEM facility is consistent with this intent. **(Affirmative finding)**

(b) Areas Covered

The proposed demolition and new construction are located within the UVM Central Campus overlay. **(Affirmative finding)**

(d) District Specific Regulations: UVM Central Campus (ICC-UVM)

1. Transitional Buffer

None of the proposed demolition or construction is located within the transitional buffer. **(Affirmative finding)**

2. Lot Coverage

The project will result in a net increase in lot coverage of ~ 13,500 sf. The applicant has been requested to provide a proposed lot coverage percentage independent of the recently approved but appealed demolition of the nearby Chittenden, Buckham, and Wills dorms and associated lot line adjustment with FAHC. If that project does not go forward, the STEM project would result in

48.53% lot coverage. This coverage is below the 65% coverage permissible in the ICC-UVM overlay. **(Affirmative finding)**

3. Setbacks

Only 15' front setbacks within the transitional buffer apply within this core campus overlay zone. As noted above, none of the proposed work is located within the transitional buffer. **(Affirmative finding)**

4. Surface Parking

No new surface parking is included in this project. **(Affirmative finding)**

5. Building Height

The classroom building is located within the ICC-UVM Height Overlay and is limited to a maximum height of 140'. As proposed, the classroom building is 70' 8". The laboratory building is located outside of the ICC-UVM Height Overlay and is limited to the height of the tallest existing structure within the core campus district as of January 1, 2008. In this case, the tallest existing structure is the Health Sciences Research Facility at 73.85' tall. The laboratory building is 72' 9" tall. As measured above mean sea level, this existing structure is 454.6', and the proposed laboratory building is 443' 1". **(Affirmative finding)**

6. Density

The non-residential density equivalent set forth in Sec. 5.2.7 (a) 2 does not apply within the ICC-UVM overlay. **(Affirmative finding)**

7. Uses

Within the ICC-UVM overlay district, post-secondary schools shall be permitted uses. The existing post-secondary school use will remain. No change in use is proposed. **(Affirmative finding)**

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

See Sec. 4.5.2.

Sec. 5.2.4, Buildable Area Calculation

This criterion does not apply to properties in the I zone. **(Not applicable)**

Sec. 5.2.5, Setbacks

See Sec. 4.5.2.

Sec. 5.2.6, Building Height Limits

See Sec. 4.5.2.

Sec. 5.2.7, Density and Intensity of Development Calculations

See Sec. 4.5.2.

Sec. 5.5.1, Nuisance Regulations

Nothing in this proposal appears to have any bearing on the city's nuisance regulations. **(Affirmative finding)**

Sec. 5.5.2, Outdoor Lighting

Building entries, walkways, and the plaza will be illuminated. A photometric plan has been submitted that depicts acceptable lighting levels throughout. Acceptable LED lighting fixture types are proposed. **(Affirmative finding)**

Sec. 5.5.3, Stormwater and Erosion Control

Post construction stormwater runoff will be collected in an existing stormwater pond that serves the north campus watershed. The Conservation Board reviewed the proposed stormwater management plan and recommended approval subject to the standard stormwater conditions. The Stormwater Administrator has reviewed the proposal as well, and final approval is expected shortly.

Similarly, the construction site erosion prevention and sediment control plan has been reviewed by the Conservation Board and the Stormwater Administrator. The Conservation Board recommended approval. Final approval is anticipated from the Stormwater Administrator. **(Affirmative finding as conditioned)**

Article 6: Development Review Standards

Part 1, Land Division Design Standards

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

The project site contains no significant natural features. The project site consists of grassy lawn, hardscape courtyards and walkways, and buildings. **(Affirmative finding)**

(b) Topographical alterations

Not applicable per 24 VSA, Sec. 4413.

(c) Protection of important public views

Not applicable per 24 VSA, Sec. 4413.

(d) Protection of important cultural resources

Not applicable per 24 VSA, Sec. 4413.

(e) Supporting the use of alternative energy

Not applicable per 24 VSA, Sec. 4413.

(f) Brownfield sites

Not applicable per 24 VSA, Sec. 4413.

(g) Provide for nature's events

Not applicable per 24 VSA, Sec. 4413. Chapter 26: Wastewater, Stormwater, and Pollution Control is a separate city ordinance that governs stormwater and erosion control standards. As a result, the project still must comply with the standards of Chapter 26. As required, an erosion prevention and sediment control plan has been provided as has information relative to post

construction stormwater management. Review and approval by the Stormwater Administrator and Conservation Board is required. **(Affirmative finding as conditioned)**

(h) Building location and orientation

The proposed building is located within the University's Central Campus and does not directly front on any public street. Within the Central Campus, the proposed building will have two primary facades, one facing east towards the Central Campus Quadrangle and the other one facing west towards Old Mill and Williams Hall. Both facades contain clearly defined entrances readily visible from the University's interior network of walkways. **(Affirmative finding)**

(i) Vehicular access

Not applicable per 24 VSA, Sec. 4413.

(j) Pedestrian access

Not applicable per 24 VSA, Sec. 4413.

(k) Accessibility for the handicapped

Not applicable per 24 VSA, Sec. 4413. Applicable accessibility requirements under the City's building code continue to apply. **(Affirmative finding as conditioned)**

(l) Parking and circulation

No changes to parking are included in this proposal. Vehicular circulation is affected only insofar as the project includes a loading bay for deliveries. The site plan depicts several locations for bicycle parking, sheltered and otherwise. Details as to the number of bike parking spaces provided, both short term and long term, are addressed under Article 8 of these findings.

(Affirmative finding)

(m) Landscaping and fences

A comprehensive landscaping plan has been provided. Trees will line most of the proposed walkways. Foundation plantings will accent the eastern and western building facades. Landscaping will also be planted to screen the service bay into the building. Proposed trees consist of a variety of deciduous and evergreen species. Ornamental grasses and shrubs are also proposed.

(Affirmative finding)

(n) Public plazas and open space

A south-facing plaza between the two building sections is proposed. It will be constructed of concrete and will afford ample space for pedestrian use. It is immediately adjacent to a terraced outdoor seating space. Both will have southern exposure for maximum solar gain. **(Affirmative finding)**

(o) Outdoor lighting

See Sec. 5.5.2.

(p) Integrate infrastructure into the design

New utility lines serving the proposed construction must be buried. A partially below grade service area is proposed at the southeastern corner of the new building. This service area contains a loading dock, dumpster, and compactor. It connects to the campus' interior roadway network and is screened by new landscaping. **(Affirmative finding)**

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The proposed building is very large at almost 200,000 sf and 5 stories. The scale of this building is tempered by the proposed massing. It is split into two distinct sections set apart from one another with a central connection. Extensive glazing is proposed on the north and south elevations and above the main entries on the east and west elevations. Uniform fenestration and partially recessed roof forms also lessen the perceived scale. The building will be set within the interior of the Central Campus and has no direct frontage on any city street. It is set behind and downhill from the iconic Old Mill, Williams Hall, and Billings Library buildings. It is also set downhill and across the green from the even larger Fletcher Allen Health Care facility. It is set far back from Colchester Avenue, behind Votey and Fleming Museum. This interior campus location substantially reduces the building's perceived scale from any public street. The proposed height is acceptable as noted in Sec. 4.5.2 (d) 5.

(Affirmative finding)

2. Roofs and Rooflines

Not applicable per 24 VSA, Sec. 4413.

3. Building Openings

Not applicable per 24 VSA, Sec. 4413.

(b) Protection of important architectural resources

Not applicable per 24 VSA, Sec. 4413.

(c) Protection of important public views

Not applicable per 24 VSA, Sec. 4413.

(d) Provide an active and inviting street edge

Not applicable per 24 VSA, Sec. 4413.

(e) Quality of materials

Not applicable per 24 VSA, Sec. 4413.

(f) Reduce energy utilization

Not applicable per 24 VSA, Sec. 4413.

(g) Make advertising features complimentary to the site

Signs are noted on the proposed site plans; however, they are not specifically included in this application. All outdoor signs are subject to separate zoning permit review. **(Affirmative finding as conditioned)**

(h) Integrate infrastructure into the building design

As noted previously, a dedicated service area is proposed for the loading bay, dumpster, and compactor. Building-mounted mechanical equipment will be fully enclosed within a rooftop penthouse. **(Affirmative finding)**

(i) Make spaces safe and secure

All building and life safety code, as defined by the building inspector and fire marshal, shall be implemented in the construction of this building. Building entries will be illuminated as noted above. **(Affirmative finding as conditioned)**

Article 8: Parking

Sec. 8.1.8, Minimum Off-Street Parking Requirements

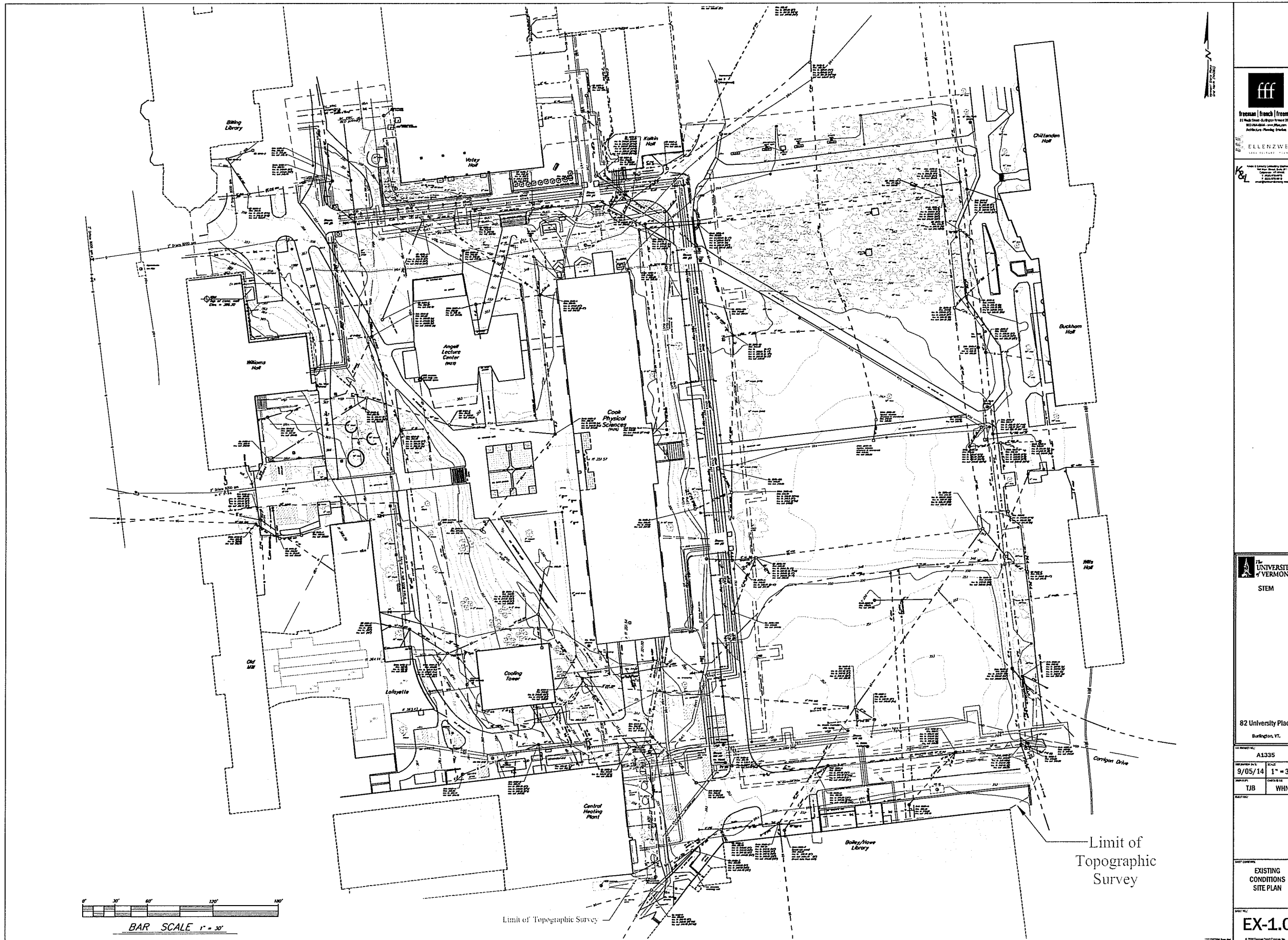
This project is incorporated into the 2014-2015 Joint Institutional Parking Management Plan as approved by the Development Review Board May 19, 2014. As envisioned in the JIPMP, this development was to include retention of the Cook Physical Sciences building and construction of a smaller (100,000 sf) STEM building. As actually proposed, Cook will be demolished and the new STEM facility will be close to 200,000 sf. Insofar as parking demand is concerned, the end result is the same. **(Affirmative finding)**

Sec. 8.2.5, Bicycle Parking Requirements

The proposed development will require 10 long-term bicycle parking spaces (1 per 20,000 sf) and 116 short-term bicycle parking spaces (3 per 5,000 sf). The project plans depict the required 10 enclosed long-term bicycle parking spaces. The plan depict 49 bike racks for short-term bicycle parking. Details are lacking, but assuming 2 bikes per rack yields only 98 short term bike parking spaces. Details are needed as to the type and capacity of each bike rack to determine compliance with this criterion. **(Affirmative finding as conditioned)**

II. Conditions of Approval

1. **Prior to release of the zoning permit**, compliance with the bicycle parking requirements of Sec. 8.2.5 (both type and number of bicycle parking spaces) shall be demonstrated on the project plans, subject to staff review and approval.
2. **Prior to release of the zoning permit**, the applicant shall obtain written approval of the Erosion Prevention and Sediment Control Plan from the Stormwater Administrator.
3. **Prior to the release of the zoning permit**, the applicant shall obtain the written approval of the Stormwater Management Plan from the Stormwater Administrator.
4. **Prior to issuance of a certificate of occupancy**, the applicant must obtain written certification from the Stormwater Administrator that, among other things, the project EPSC plan as approved has been complied with and final site stabilization has occurred. This certification shall be filed with the Department of Planning & Zoning.
5. At least **7 days prior to issuance of a certificate of occupancy**, impact fees based on the net new building square footage shall be paid to the Department of Planning & Zoning.
6. This approval includes an extended construction timeline 4 years from the date of this approval.
7. All new utility lines shall be buried.
8. All outdoor signs require separate zoning permits.
9. The Applicant/Property Owner is responsible for obtaining all necessary Zoning Permits and Building Permits through the Department of Public Works as well as other permit(s) as may be required.
10. Standard permit conditions 1-15.



82 University Place
Burlington, VT.

A1335
9/05/14 1" = 30'
TJB WHN

EXISTING
CONDITIONS
SITE PLAN

EX-1.0

DEPARTMENT OF
PLANNING & ZONING

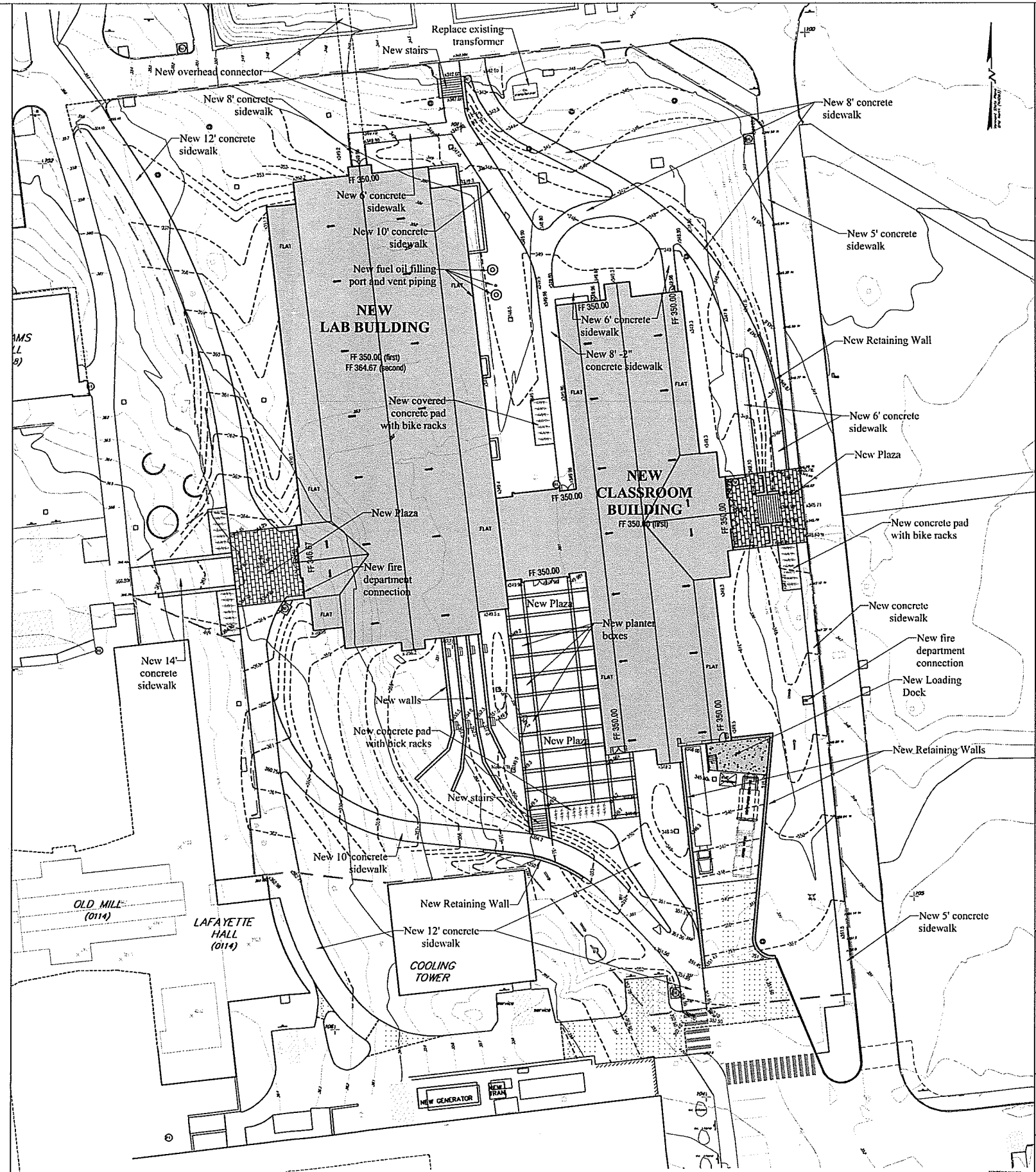
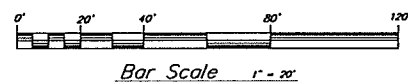
SEP 09 2014

Notes:

- The underground utilities shown on this plan are based on limited dig safe markings and utility mapping provided by UVM. Utility locations are approximate and not warranted to be exact or complete. The Contractor shall contact Dig Safe prior to any site excavation.
- There are existing PBX conduits located in the vicinity of this project. The Contractor shall contact UVM Telecommunications and Network Services (850-3339) prior to any work in the vicinity of the PBX conduit. The Contractor shall carefully excavate around the PBX conduit to prevent damage to the PBX infrastructure. Contractor shall be responsible for placing Owner supplied locator bolts over exposed conduits prior to backfilling.
- Deviations are based on the NAVD 88 vertical datum.
- The Contractor shall be responsible for repairing all disturbed areas back to original condition, including but not limited to curbing, sidewalks, road, parking areas, landscaping, site lighting, electrical, and etc. All asphalt shall be sawcut prior to paving.
- All stumps, rock, and other non-approved trench backfill material discovered during construction is the exclusive property of the Contractor and shall be removed from UVM property and disposed of in a State approved disposal location.
- All posting signs, proctor, and compaction testing expenses shall be paid by Owner. Testing coordination, all other required testing, and expenses for failed tests shall be the Contractor's responsibility.
- The Contractor shall contact the Burlington Electric Department prior to any work in the vicinity of the existing electric conduits.
- The Contractor shall comply with the City of Burlington Small Project Erosion & Sediment Control Plan and the erosion prevention and sediment control permit requirements and the procedures outlined in the Low Risk Site Handbook for Erosion Prevention and Sediment Control. The Contractor shall be responsible for installing, maintaining and removing all erosion and sediment control devices shown on the plans or details and, to the maximum extent practical, to minimize potential contamination of stormwater runoff from the construction activities.
- Contractor shall be responsible for all "As-Built" measurement and drafting requirements as outlined on the Detail Sheets. All trench excavations shall remain open until all as-built survey shots have been taken. Progress Record Drawings shall be submitted to the Engineer as indicated in the Record Drawing specifications.
- Contractor shall coordinate location of staging areas with Owner prior to bid.
- The Contractor shall be responsible for all construction barrier/safety fencing required for the project.
- Definition of "Preconstruction Excavation" for these contract documents shall be: The site contractor shall expose utilities and obtain all necessary information, including but not limited to, invert elevation, size, depth, pipe type, joint location, etc. Contractor shall transit survey the location and elevations of the utility. Contractor shall provide the engineer with sketches indicating horizontal and vertical information of pipe or conduit type and size, cross-section information, concrete encasement information (top and bottom elevations, width, etc.), joint location, etc. of each required existing underground utility. Accuracy of horizontal location is within 1 foot, and accuracy of vertical elevation is within 0.02 ft. (1/4"). Coordinate all excavation with City, Owner, and Engineer. Preconstruction excavations shall occur prior to ordering structures and prior to utility construction to facilitate redesign and/or design confirmation. The location of the preconstruction excavation symbols does not necessarily indicate the location of the buried utility. It is the responsibility of the Contractor to find and expose the utility.
- Contractor shall be responsible for importing topsoil as required to complete the project. Contractor shall test topsoil for approval by the Owner and Engineer.
- The Contractor shall be responsible for all signage and fencing necessary to providing safe vehicular and pedestrian access through or around the site during construction.
- All storm pipes shall be PVC SDR 35 unless otherwise noted.
- All waterline pipe shall be Class 52 ductile iron. All bends and fittings shall have cast in place thrust blocks.

Legend

- | | |
|--|--|
| | Power pole |
| | Survey Control Point |
| | New hydrant |
| | Ex. blue phone |
| | Proposed blue phone |
| | Ex. light post |
| | Sign |
| | Inlet protection around catch basin |
| | Preconstruction Excavation (See Note 13) |
| | New Drainage Flow Direction |
| | Existing PBX/manhole |
| | Existing Water Line/Water valve |
| | New Water Line/Water valve |
| | Existing Gas Line/Gas valve |
| | New Gas Line/Gas valve |
| | Existing Sewer Line/manhole |
| | Existing Storm Line/Catch Basin/manhole |
| | New Storm Line/Catch Basin |
| | Existing Underground Power Line |
| | Existing concrete encased underground power line |
| | Existing Secondary Underground Power Line |
| | Existing Overhead Power Line |
| | Existing Building Control Line |
| | Existing Light Line |
| | Existing Blue Light Conduit |
| | Approximate property line |
| | Existing Tree/Vegetation Line |
| | Existing Contours |
| | New Contours |
| | New Concrete Curb |
| | New pavement |
| | New Structural concrete |
| | New Concrete walls |
| | Temporary Silt Fence |



82 University Place
Burlington, VT

A1335
9/08/14 1" = 20'
TJB WHN

OVERALL CIVIL GRADING PLAN

C-001

DEPARTMENT OF PLANNING & ZONING

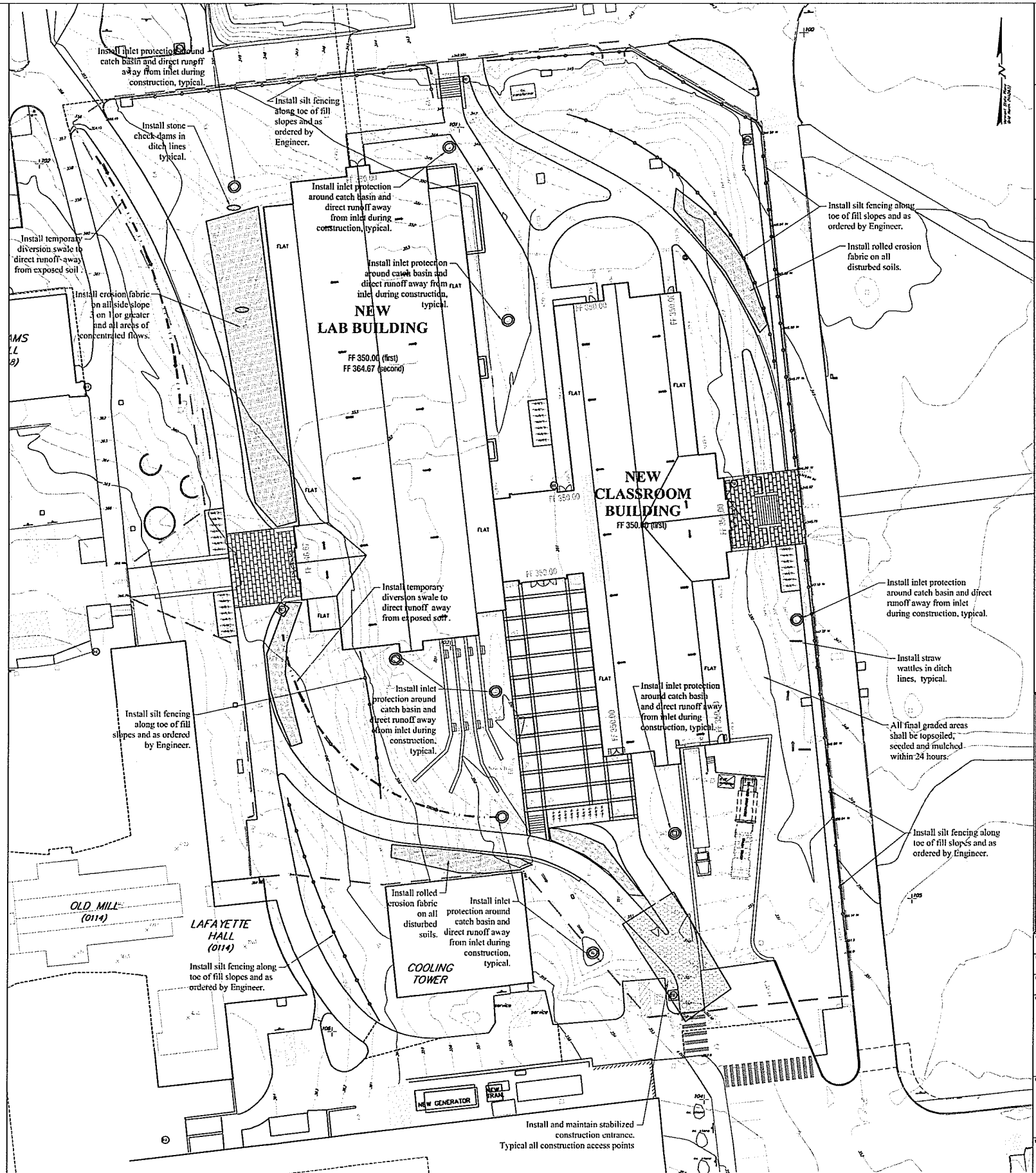
SEP 09 2014

Erosion Prevention and Sediment Control Notes

- Contractor shall be responsible for complying with all State and Local erosion prevention and sediment control standards and permit requirements during construction.
- The limit of disturbance shall be clearly defined by Contractor's surveyor prior to clearing. Erosion and sediment control devices shall be established to trap sediment on site.
- Trees, woods, and phased disturbance areas shall be cleared and grubbed after disturbance limits and sediment controls are in place. All roots, stumps and debris materials shall be removed from the site. The Contractor shall minimize the amount of disturbed land at any given time.
- All erosion control shall be placed as shown on the drawings or as ordered by the Engineer. The Contractor shall maintain the erosion control measures until the Engineer is satisfied that permanent ground cover is established and that further measures are not required. It shall be the responsibility of the Contractor to employ appropriate erosion control as shown on these drawings and any other measures as necessary to trap sediment on site. Refer to permit, maintenance and inspection requirements.
- All areas of disturbance shall be permanently or temporarily stabilized as soon as possible and within 48 hours of final grading. All areas of disturbance shall be at least temporarily stabilized within 14 days of initial disturbance. Any disturbance after 14 consecutive days of exposed soil shall be stabilized daily unless the following exceptions apply:
 - Stabilization is not required if earthwork is to continue in the area in the next 24 hours and there is no precipitation forecast in the next 24 hours.
 - Stabilization is not required if the work is occurring in a self-contained excavation (i.e. no outlet) with a depth of 2 ft. or greater (e.g. house foundation excavation, utility trenches). Stabilization measures shall include mulch and netting, erosion control matting, crushed stone, gravel, or pavement.
- Unless specifically indicated on the plans acceptable methods of stabilization shall include:
 - Mulching - 2 tons per acre. Approximately 1" uniform thickness. Only allowed on relatively flat areas with minimum up-slope watershed. Mulch must be properly anchored to prevent material from being blown away by wind (windbreaks).
 - Hydroseeding - Applied at the manufacturer's recommended application rate. Contractor shall provide evidence of proper application rate. Hydroseeding is not allowed in areas of concentrated flow.
 - Erosion control matting - SFS matting must be applied to all slopes 3:1 (ft V) or greater (unless otherwise indicated).
 - Crushed stone or crushed gravel - Typically used for temporary access roads and construction staging areas.
 - Paved surfaces (concrete, asphalt, etc.).
 - Weighted impermeable barriers and other materials as approved by the Engineer.
- The Contractor shall use water for dust control.
- The Contractor shall provide inlet protection around all catch basins (existing or new) that collect construction site stormwater runoff.
- A stabilized construction entrance shall be installed and maintained at all construction access locations.
- Any paved roads used by construction vehicles shall be swept daily, or at a greater frequency if dirt or gravel is tracked from the site. The swept debris shall be immediately removed from face of curb if applicable.
- During construction of underground utility lines the following standards must be met:
 - No more than 500 linear feet of trench may be open at one time.
 - Excavated material must be placed on the uphill side of the trench or immediately hauled to an approved and protected soil stockpile area.
- All temporary erosion and sediment control measures shall be removed within 30 days after final stabilization or after the measures are no longer needed, unless otherwise authorized.
- All sediment removed from sediment control practices shall be placed in an approved soil disposal area. Contractor shall be responsible for providing a permitted off-site soil disposal for the project.
- All areas that do not have established vegetation by October 15th must be stabilized in accordance with the Winter Stabilization requirements outlined in the Low Risk Site Handbook.
- After permanent seeding the Contractor shall be responsible for watering, if necessary, to ensure adequate vegetative growth.
- To ensure disturbance is limited to a maximum of 5 acres of exposed soils, the Contractor shall complete each phase before commencing the following phase.

Erosion Control Legend

-  Temporary straw wattle
-  Inlet protection around catch basin
-  Temporary diversion swale
-  Temporary Silt Fence
-  Temporary erosion control matting
-  Temporary stabilized construction entrance



STEM

82 University Place
Burlington, VT.

PROJECT NO.	A1335
DATE	9/08/14
SCALE	1" = 20'
DRAWN BY	TJB
CHECKED BY	WHN
DATE	9/08/14

OVERALL CIVIL
EROSION CONTROL
PLAN

C-002

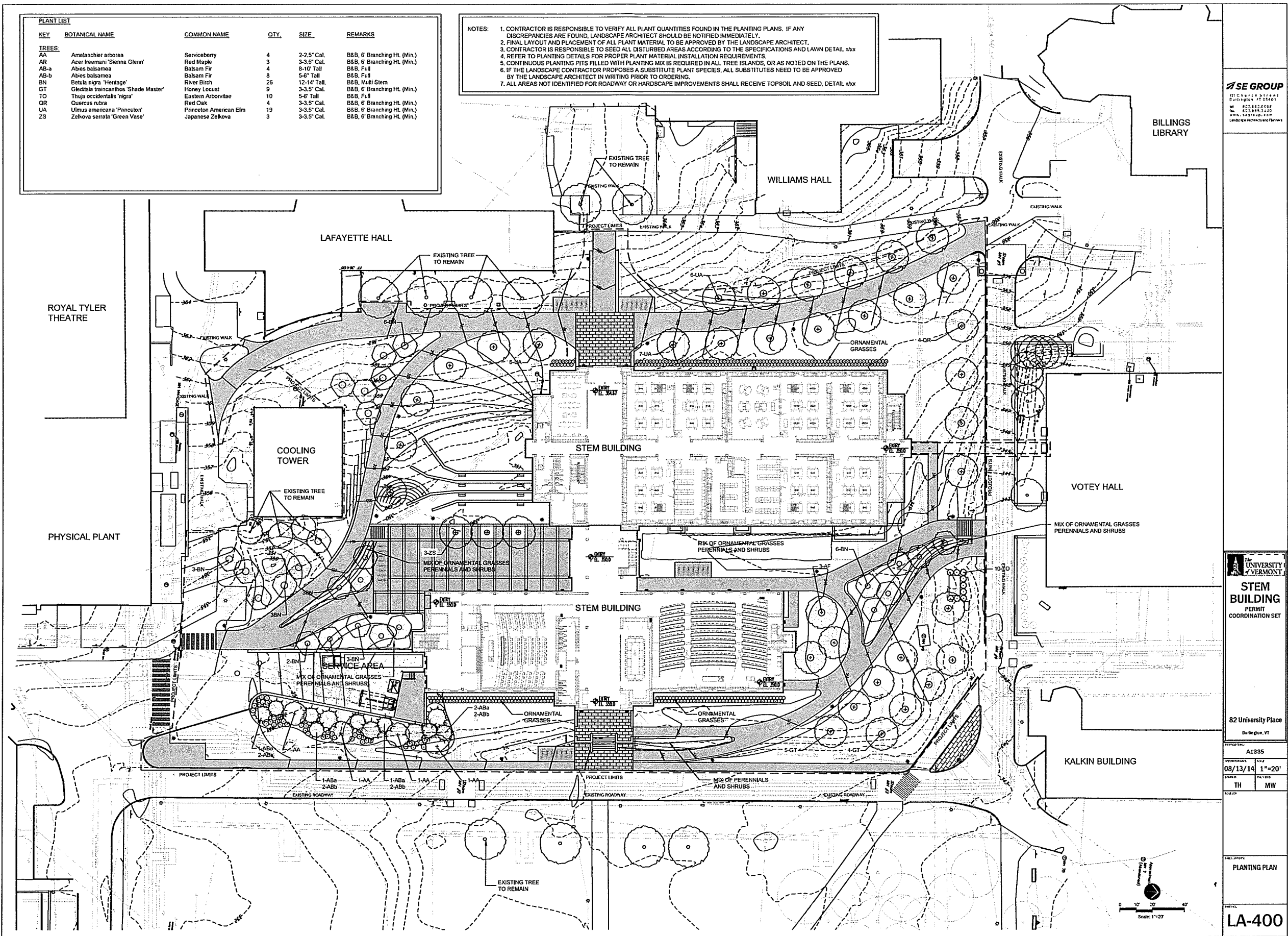
DEPARTMENT OF
PLANNING & ZONING

SEP 09 2014

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
AA	Amelanchier arborea	Serviceberry	4	2-2.5" Cal.	B&B, 6' Branching Ht. (Min.)
AR	Acer freemanii 'Sienna Glen'	Red Maple	3	3-3.5" Cal.	B&B, 6' Branching Ht. (Min.)
AB-a	Abies balsamea	Balsam Fir	4	8-10' Tall	B&B, Full
AB-b	Abies balsamea	Balsam Fir	8	5-6" Tall	B&B, Full
BN	Betula nigra 'Heritage'	River Birch	26	12-14' Tall	B&B, Multi Stem
GT	Gleditsia triacanthos 'Shade Master'	Honey Locust	9	3-3.5" Cal.	B&B, 6' Branching Ht. (Min.)
TO	Thuja occidentalis 'nigra'	Eastern Arborvitae	10	5-6" Tall	B&B, Full
OR	Quercus rubra	Red Oak	4	3-3.5" Cal.	B&B, 6' Branching Ht. (Min.)
UA	Ulmus americana 'Princeton'	Princeton American Elm	19	3-3.5" Cal.	B&B, 6' Branching Ht. (Min.)
ZS	Zelkova serrata 'Green Vase'	Japanese Zelkova	3	3-3.5" Cal.	B&B, 6' Branching Ht. (Min.)

- NOTES:
1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES FOUND IN THE PLANTING PLANS. IF ANY DISCREPANCIES ARE FOUND, LANDSCAPE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY.
 2. FINAL LAYOUT AND PLACEMENT OF ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 3. CONTRACTOR IS RESPONSIBLE TO SEED ALL DISTURBED AREAS ACCORDING TO THE SPECIFICATIONS AND LAWN DETAIL 20x.
 4. REFER TO PLANTING DETAILS FOR PROPER PLANT MATERIAL INSTALLATION REQUIREMENTS.
 5. CONTINUOUS PLANTING PITS FILLED WITH PLANTING MIX IS REQUIRED IN ALL TREE ISLANDS, OR AS NOTED ON THE PLANS.
 6. IF THE LANDSCAPE ARCHITECT PROPOSES A SUBSTITUTE PLANT SPECIES, ALL SUBSTITUTES NEED TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO ORDERING.
 7. ALL AREAS NOT IDENTIFIED FOR ROADWAY OR HARDSCAPE IMPROVEMENTS SHALL RECEIVE TOPSOIL AND SEED, DETAIL 20x.



SE GROUP
1010 N. Main Street
Burlington, VT 05401
Tel: 802.462.0000
Fax: 802.462.2400
www.segroup.com
Landscape Architects and Planners

UNIVERSITY OF VERMONT
STEM BUILDING
PERMIT
COORDINATION SET

82 University Place
Burlington, VT

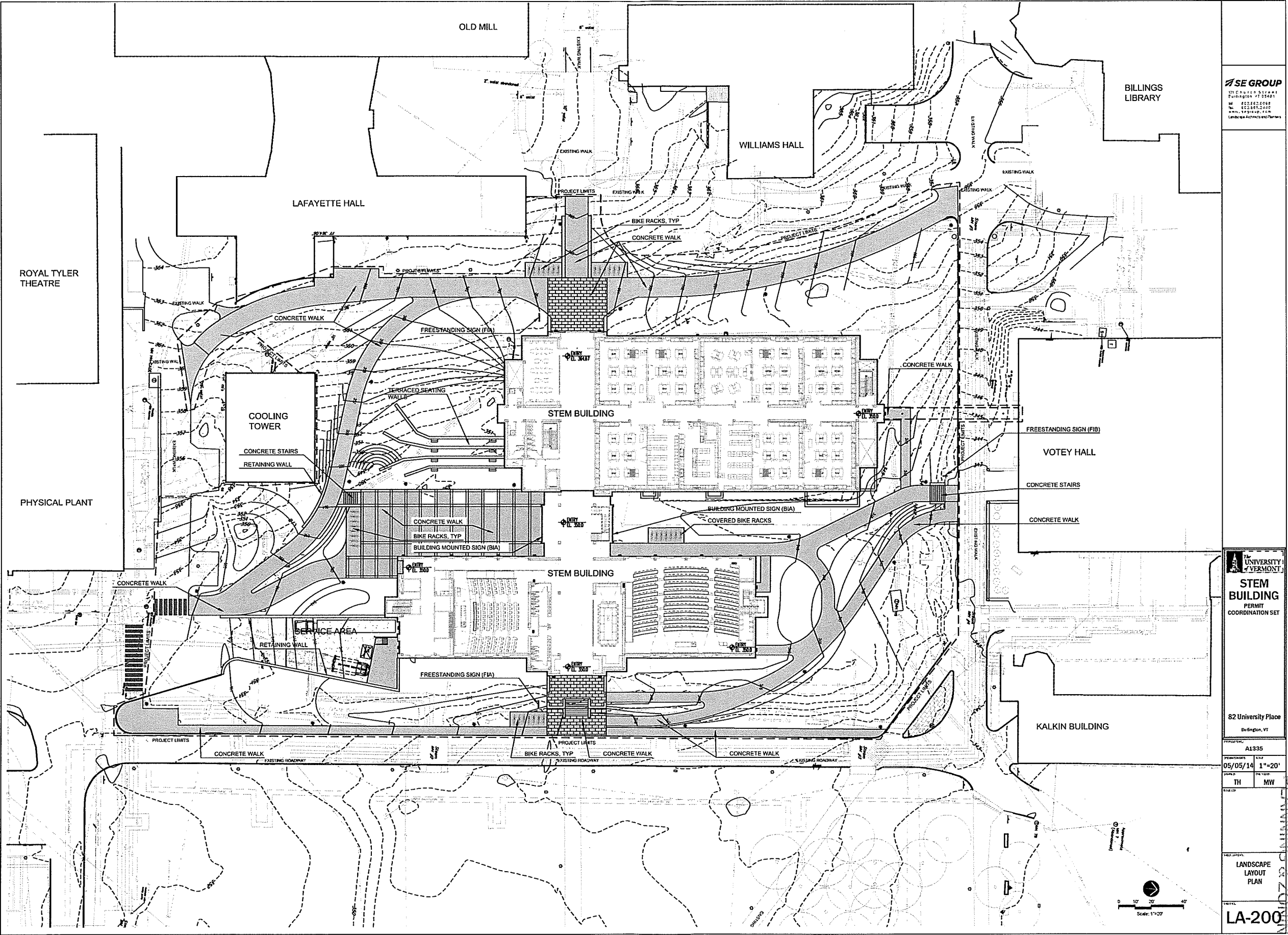
PROJECT: A1335
DATE: 08/13/14
SCALE: 1"=20'
TH MW

PLANTING PLAN

LA-400

DEPARTMENT OF
PLANNING & ZONING

SEP 09 2014



SE GROUP
Landscape Architecture
1000 University Street
Burlington, VT 05401
Tel: 802.552.2400
Fax: 802.552.2401
www.segroup.com
Landscape Architects and Planners

THE UNIVERSITY OF VERMONT
STEM BUILDING
PERMIT
COORDINATION SET

82 University Place
Burlington, VT

PROJECT: A1335

DATE: 05/05/14

SCALE: 1"=20'

TH MW

DATE: 05/05/14

SCALE: 1"=20'

TH MW

DATE: 05/05/14

SCALE: 1"=20'

TH MW

DATE: 05/05/14

SCALE: 1"=20'

TH MW

DATE: 05/05/14

SCALE: 1"=20'

TH MW

DEPARTMENT OF
PLANNING & ZONING

RECEIVED
SEP 09 2014

LA-200

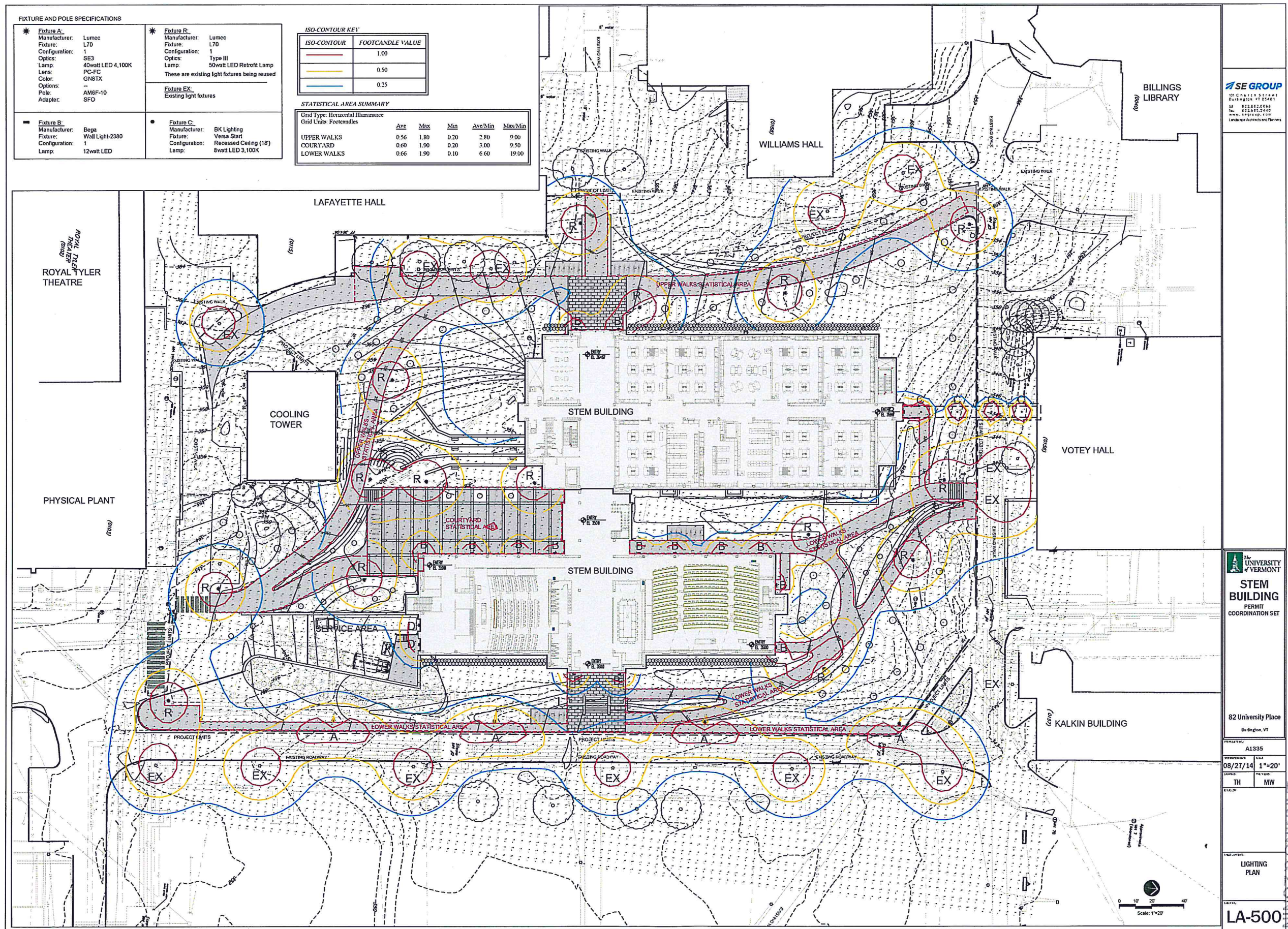
FIXTURE AND POLE SPECIFICATIONS

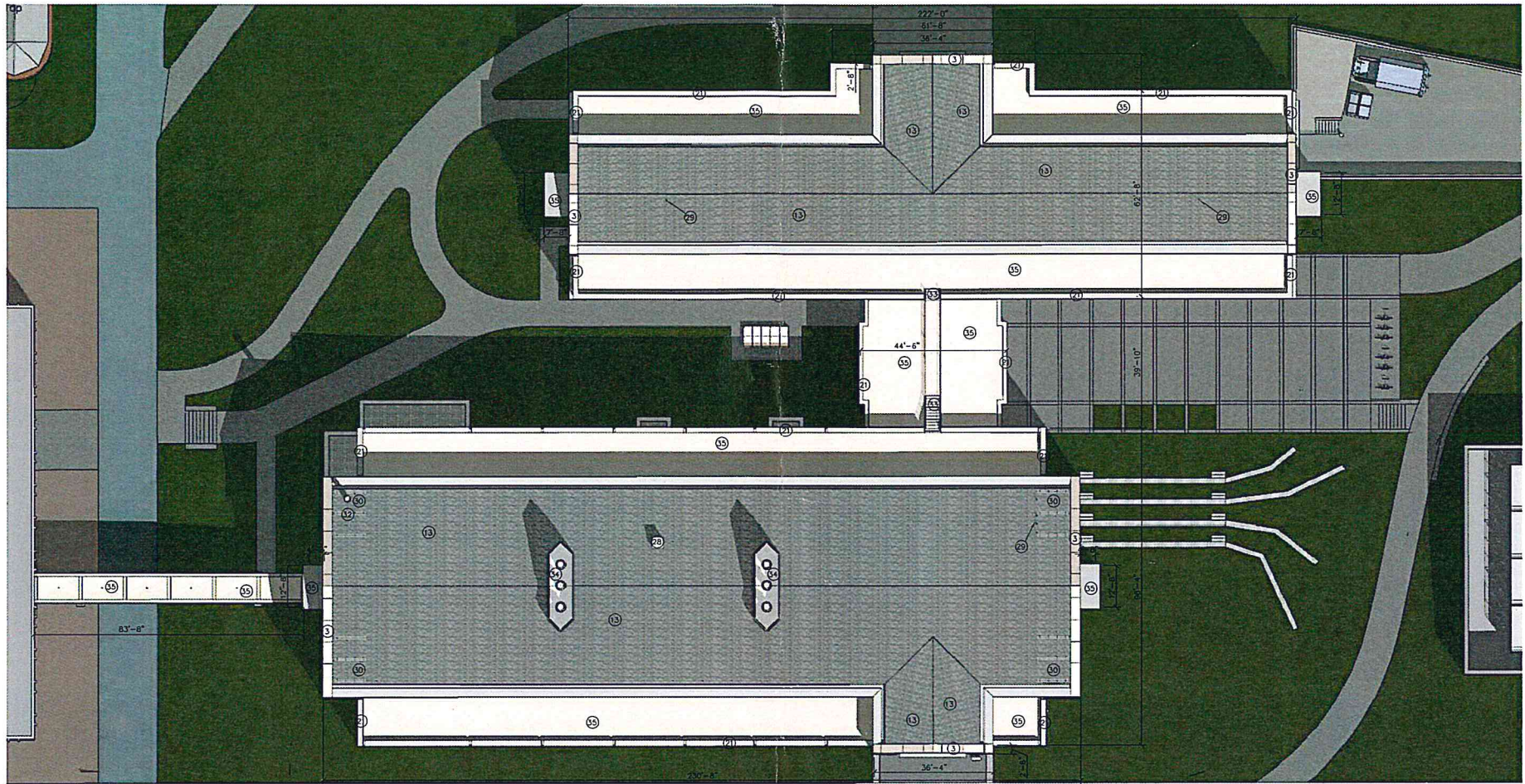
✱	Fixture A:	
	Manufacturer:	Lumec
	Fixture:	L7D
	Configuration:	1
	Optics:	SE3
	Lamp:	40watt LED 4,100K
	Lens:	PC-FC
	Color:	GN8TX
	Options:	-
	Pole:	AM6F-10
	Adapter:	SFO

✱	<u>Fixture R:</u>	
	Manufacturer:	Lumec
	Fixture:	L70
	Configuration:	1
	Optics:	Type III
	Lamp:	50watt LED Retrofit Lamp
	These are existing light fixtures being reused	
	<u>Fixture EX:</u>	
	Existing light fixtures	

ISO-CONTOUR	FOOTCANDLE VALUE
	1.00
	0.50
	0.25

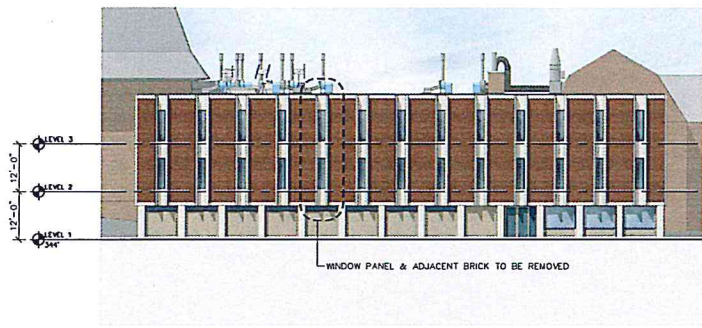
STATISTICAL AREA SUMMARY					
Grid Type: Horizontal Illuminance					
Grid Units	Footcandles				
	Ave	Max	Min	Ave/Min	Max/Min
UPPER WALKS	0.56	1.80	0.20	2.80	9.00
COURTYARD	0.60	1.90	0.20	3.00	9.50
LOWER WALKS	0.66	1.90	0.10	6.60	19.00



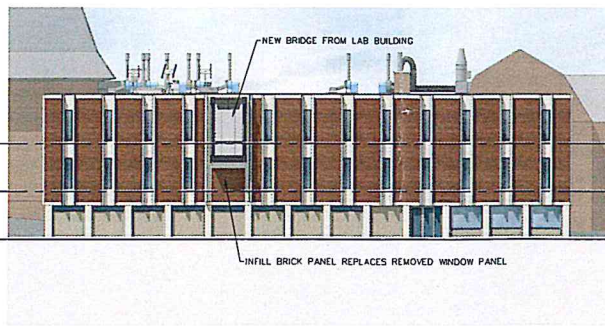


KEY NOTES		
1. VENEER BRICK, RUNNING BOND	13. SLATE ROOFING SHINGLES	25. FDC
2. ALUMINUM COMPOSITE METAL	14. 2" DEEP x WINDOW WIDTH BRICK VENEER RECESS	26. HOSE BIB
3. CAST STONE	15. 2" DEEP x 8" WIDE BRICK VENEER RECESS, STACK BOND	27. SCUPPER
4. CAST STONE LINTEL	16. 2" DEEP x 16" WIDE BRICK VENEER RECESS, STACK BOND	28. ELEVATOR VENT
5. CAST STONE SILL	17. 8" WIDE SLOPED RECESS, SOLDIER COURSE	29. PLUMBING VENT(S)
6. GRANITE BASE	18. ACM MEDALLION	30. SNOW GUARD
7. INSULATED METAL PANEL	19. LOW-PROFILE ALUMINUM LOUVER	31. BWE LOCKERS
8. PAINTED METAL LINTEL	20. PERFORATED STAINLESS STEEL SCREEN	32. EMERGENCY GENERATOR EXHAUST
9. ALUMINUM WINDOW (W/INTEGRATED SILL)	21. PAINTED ALUMINUM PARAPET	33. ROOF TOP EGRESS STAIRWAY
10. STOREFRONT SYSTEM	22. CORRUGATED PANEL	34. STACK ENCLOSURE
11. CURTAIN WALL SYSTEM	23. OMNI-BEGA 2380 LED WALL PACK	35. MEMBRANE ROOF
12. INSULATED METAL PANEL	24. STROBE & HORN	36. PAINTED METAL DOOR
		37. KNOX BOX
		38. GAS METER

1 STEM COMPLEX ROOF PLAN
1"=16'-0"



2 VOTEY BEFORE BRIDGE ADDITION
1"=16'-0"



3 VOTEY AFTER BRIDGE ADDITION
1"=16'-0"

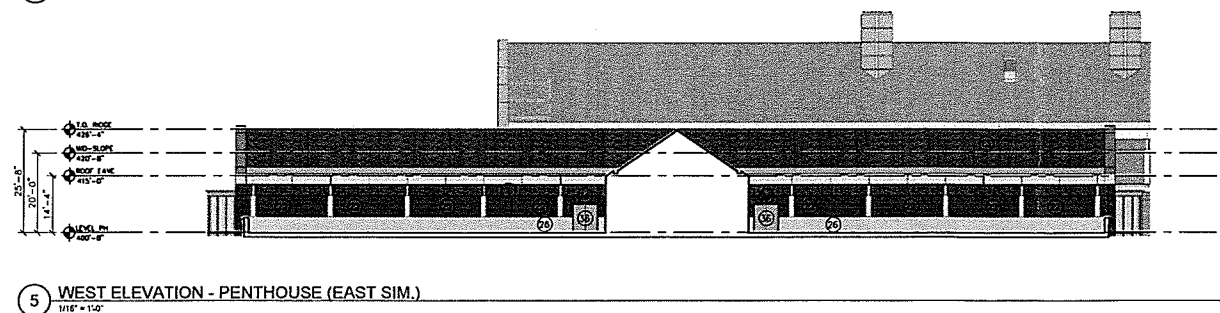
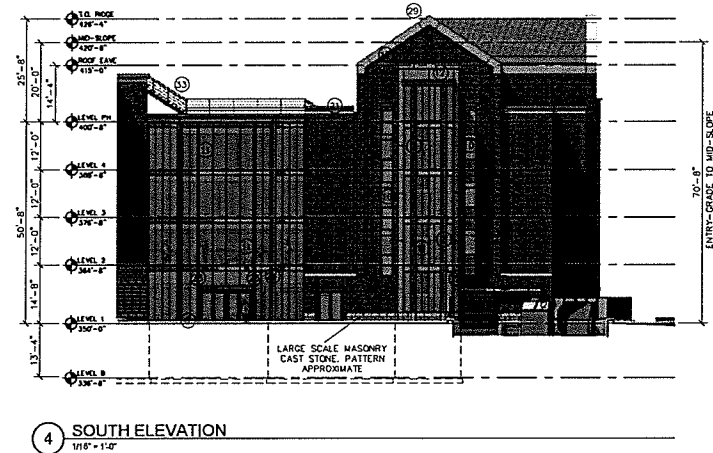
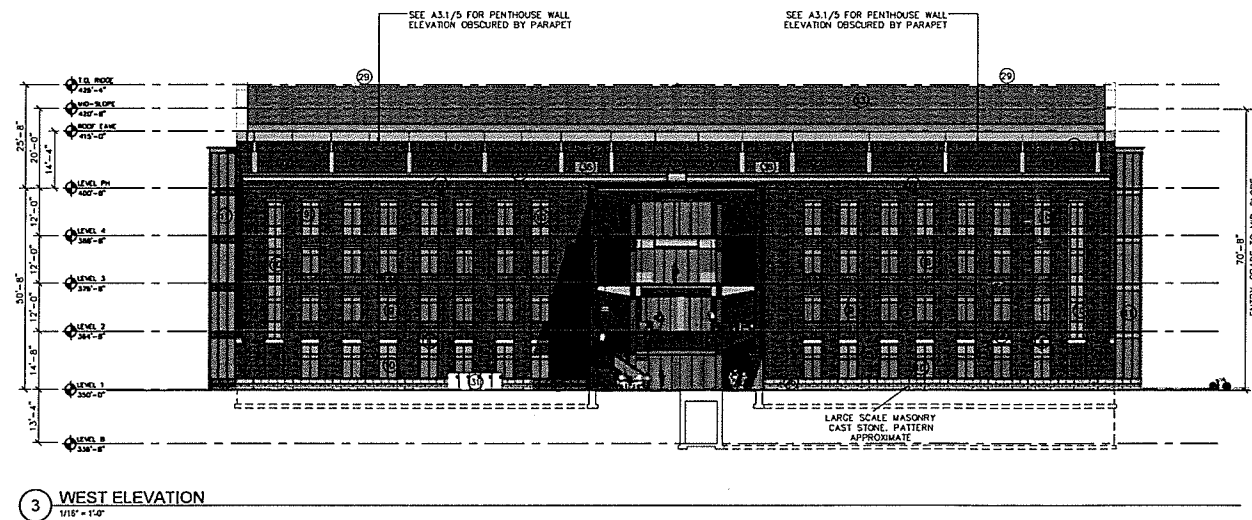
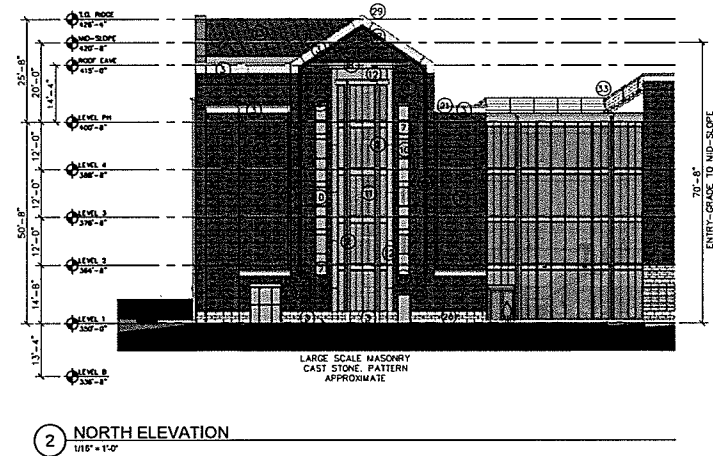
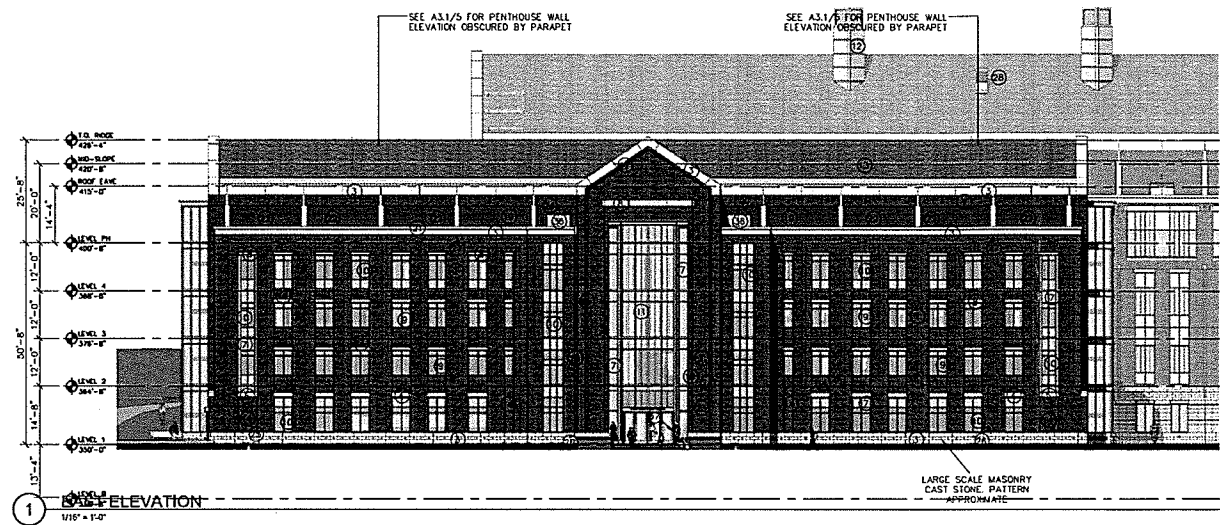


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N/A



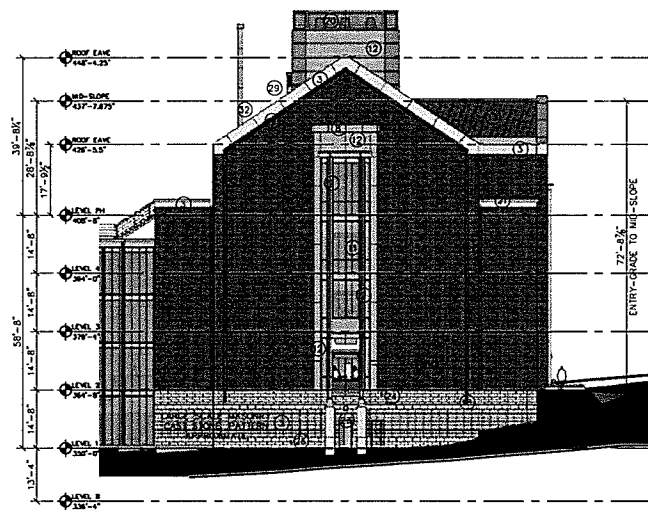
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0 8' 16' 32'
SCALE: 1/16" = 1'-0"

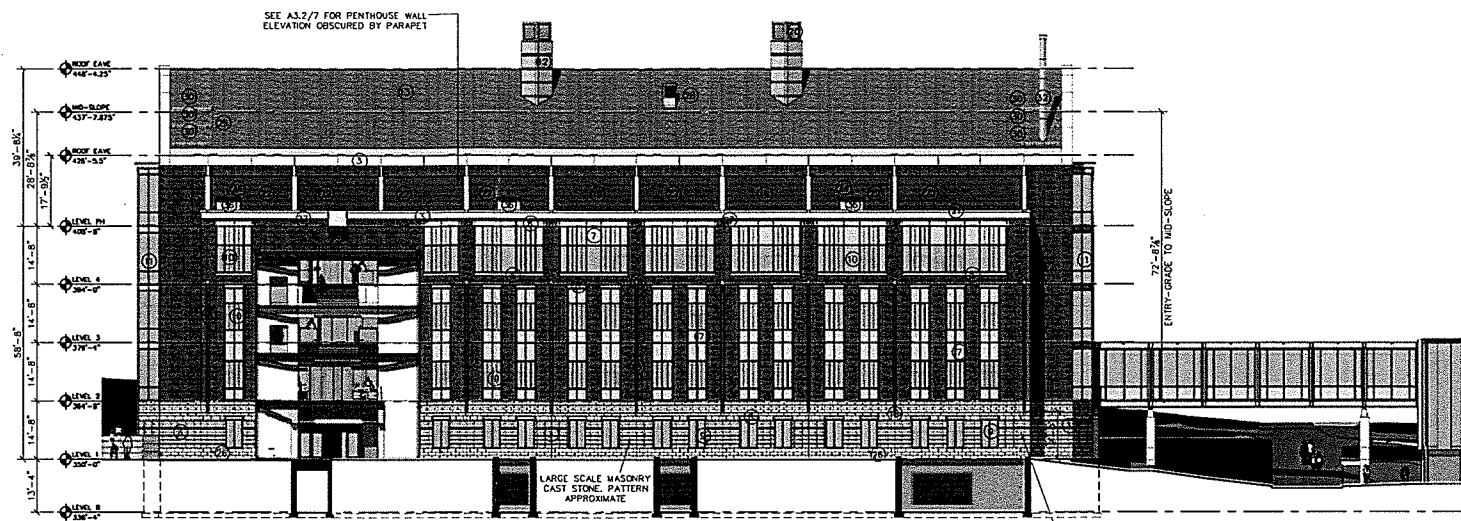


- KEY NOTES**
- | | | |
|--|--|---------------------------------|
| 1. VENEER BRICK, RUNNING BOND | 13. SLATE ROOFING SHINGLES | 25. FDC |
| 2. ALUMINUM COMPOSITE METAL | 14. 2" DEEP x WINDOW WIDTH BRICK VENEER RECESS | 26. HOSE BIB |
| 3. CAST STONE | 15. 2" DEEP x 8" WIDE BRICK VENEER RECESS, STACK BOND | 27. SCUPPER |
| 4. CAST STONE LINTEL | 16. 2" DEEP x 16" WIDE BRICK VENEER RECESS, STACK BOND | 28. ELEVATOR VENT |
| 5. CAST STONE SILL | 17. 8" WIDE SLOPED RECESS, SOLDIER COURSE | 29. PLUMBING VENT(S) |
| 6. GRANITE BASE | 18. ADM MEDALLION | 30. SNOW GUARD |
| 7. INSULATED METAL PANEL | 19. LOW-PROFILE ALUMINUM LOUVER | 31. BIKE LOCKERS |
| 8. PAINTED METAL LINTEL | 20. PERFORATED STAINLESS STEEL SCREEN | 32. EMERGENCY GENERATOR EXHAUST |
| 9. ALUMINUM WINDOW (W/INTERGRADED SKL) | 21. PAINTED ALUMINUM PARAPET | 33. ROOF TOP EGRESS STARWAY |
| 10. STOREFRONT SYSTEM | 22. CORRUGATED PANEL | 34. STACK ENCLOSURE |
| 11. CURTAIN WALL SYSTEM | 23. OWN-BECA 2380 LED WALL PACK | 35. MEMBRANE ROOF |
| 12. INSULATED METAL PANEL | 24. STROBE & HORN | 36. PAINTED METAL DOOR |
| | | 37. KNOX BOX |
| | | 38. GAS METER |

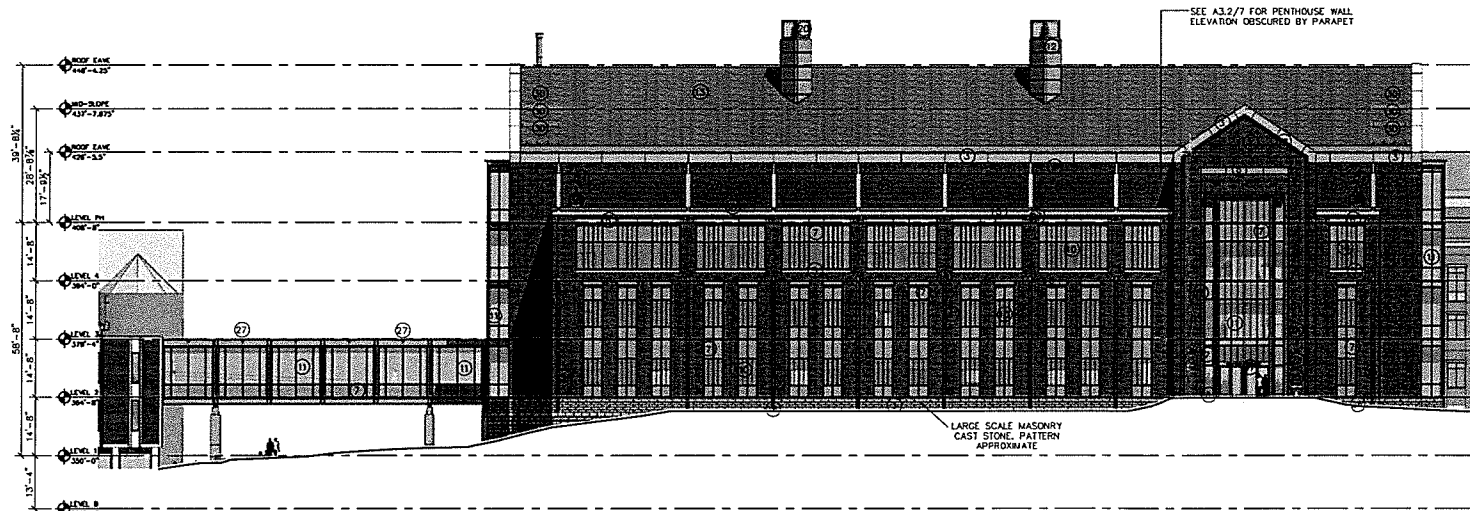
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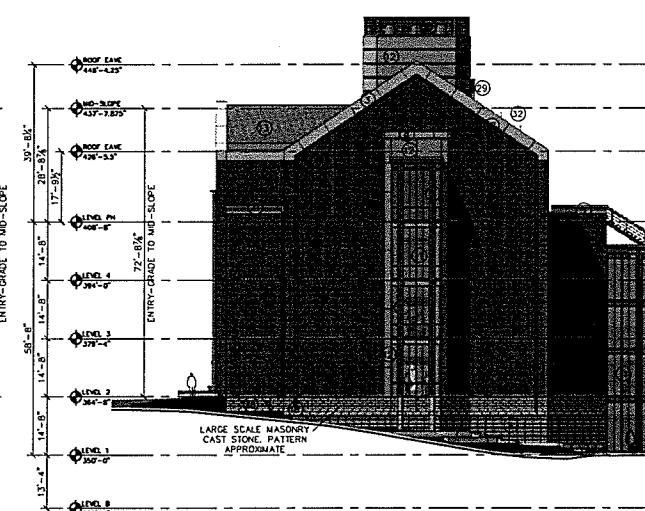
1 NORTH ELEVATION
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2 EAST ELEVATION
1/16" = 1'-0"

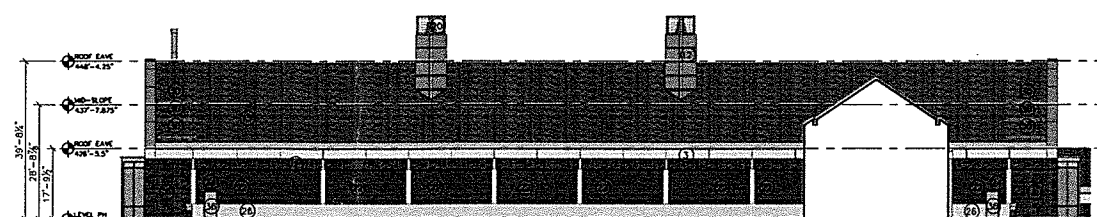


3 WEST ELEVATION
1/16" = 1'-0"



4 SOUTH ELEVATION
1/16" = 1'-0"

KEY NOTES		
1. VENEER BRICK, RUNNING BOND	13. SLATE ROOFING SHINGLES	25. FDC
2. ALUMINUM COMPOSITE METAL	14. 2" DEEP x WINDOW WIDTH BRICK VENEER RECESS	26. HOSE BIB
3. CAST STONE	15. 2" DEEP x 8" WIDE BRICK VENEER RECESS, STACK BOND	27. SCUPPER
4. CAST STONE UNTEL	16. 2" DEEP x 16" WIDE BRICK VENEER RECESS, STACK BOND	28. ELEVATOR VENT
5. CAST STONE SILL	17. 8" WIDE SLOPED RECESS, SOLDIER COURSE	29. PLUMBING VENT(S)
6. GRANITE BASE	18. ACH MEDALLION	30. SNOW GUARD
7. INSULATED METAL PANEL	19. LOW-PROFILE ALUMINUM LOUVER	31. BRIC LOOKERS
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9. ALUMINUM WINDOW (W/INTERGRATED SILL)	21. PAINTED ALUMINUM PARAPET	33. ROOF TOP FORESS STAIRWAY
10. STOREFRONT SYSTEM	22. CORRUGATED PANEL	34. STACK ENCLOSURE
11. CURTAIN WALL SYSTEM	23. OWNI-BEGA 2380 LED WALL PACK	35. WEATHERANE ROOF
12. INSULATED METAL PANEL	24. STROBE & HORN	36. PAINTED METAL DOOR
		37. KNOX BOX
		38. GAS METER



5 WEST ELEVATION - PENTHOUSE (EAST SIM.)
1/16" = 1'-0"

0 8' 16' 32'
SCALE: 1/16" = 1'-0"



ELLENZWEIG



STEM

82 University Place
Burlington, VT

PROJECT NO.
A13335
DESIGN DATE: 09/08/14
SCALE: 1/16"
DRAWN BY: PH
CHECKED BY: ELLENZWEIG

ZONING SUBMISSION

SHEET CONTENTS
LAB BLDG
EXTERIOR
ELEVATIONS

SHEET NO.
A3.2

DEPARTMENT OF
PLANNING & ZONING

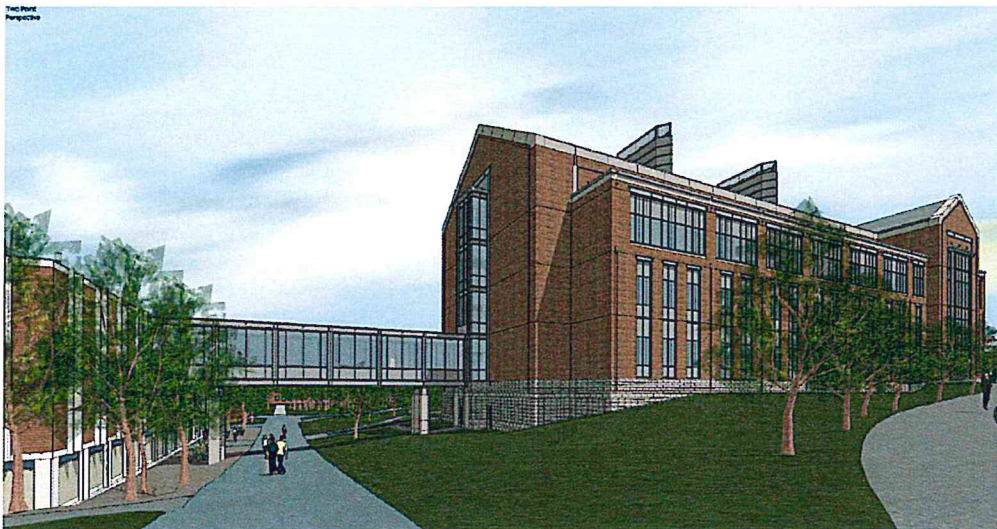
SEP 09 2014



1 STEM COMPLEX - LOOKING SOUTHWEST
NTS



3 STEM COMPLEX - LOOKING NORTHEAST
NTS



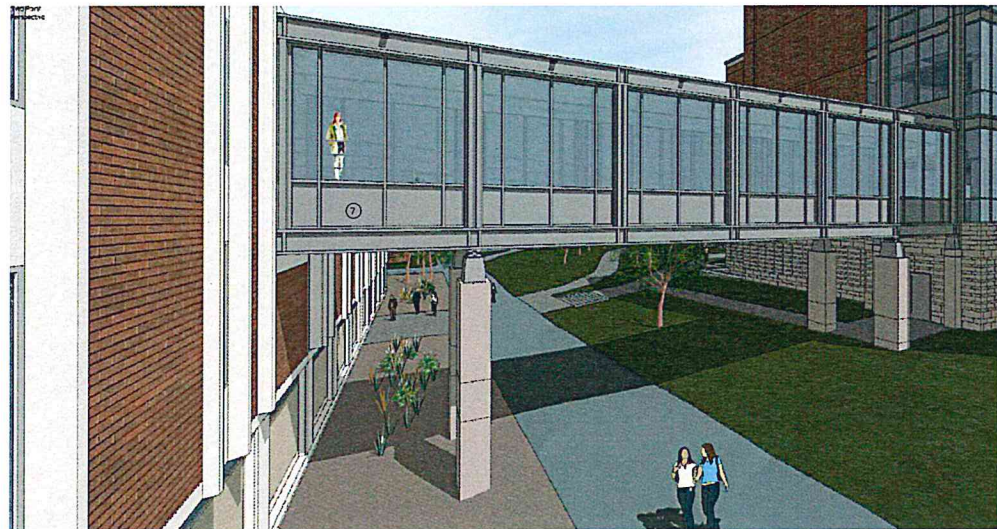
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NTS



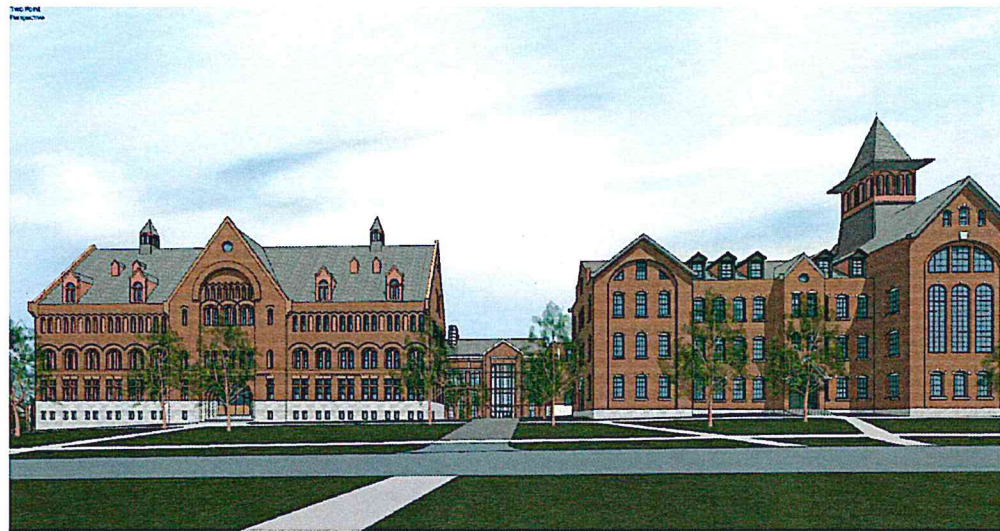
2 STEM COMPLEX - LOOKING NORTH
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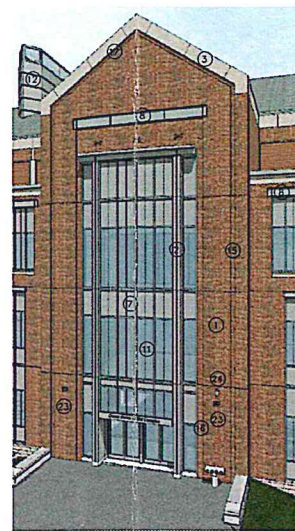
4 STEM COMPLEX - LOOKING EAST
NTS



6 STEM COMPLEX - THE BRIDGE
NTS



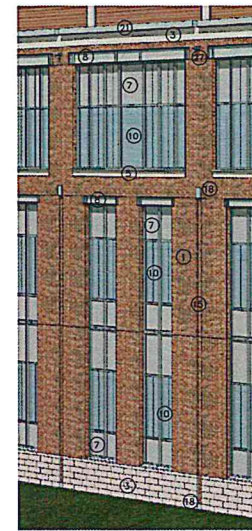
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N/A



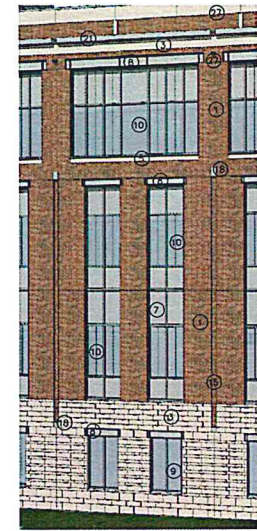
2 LAB BLDG ENTRY GABLE
N/A



3 LAB BLDG ENTRY
N/A



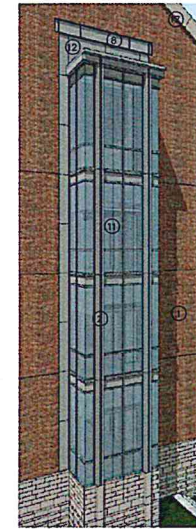
3 LAB BLDG WEST BAY
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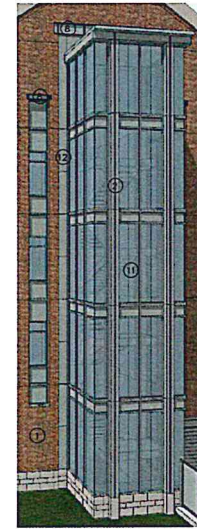
4 LAB BLDG EAST BAY
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5 SITE SECTION - LOOKING NORTH
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6 LAB BLDG END BAY
N/A



7 CLASS BLDG STAIR BAY
N/A



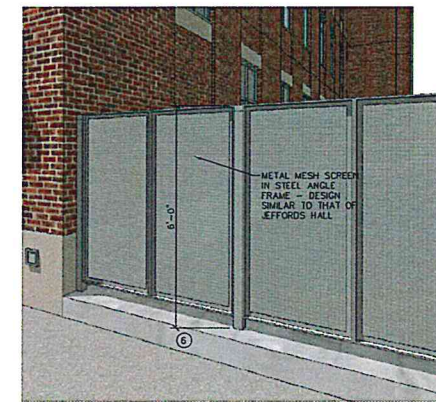
8 CLASS BLDG ENTRY GABLE
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9 CLASS BLDG WINDOW BAYS
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10 THE CONNECTOR
N/A



11 5 SECURE BIKE LOCKERS (10 BICYCLES)
N/A

12 METAL PANEL SCREEN @ SERVICE AREA
N/A

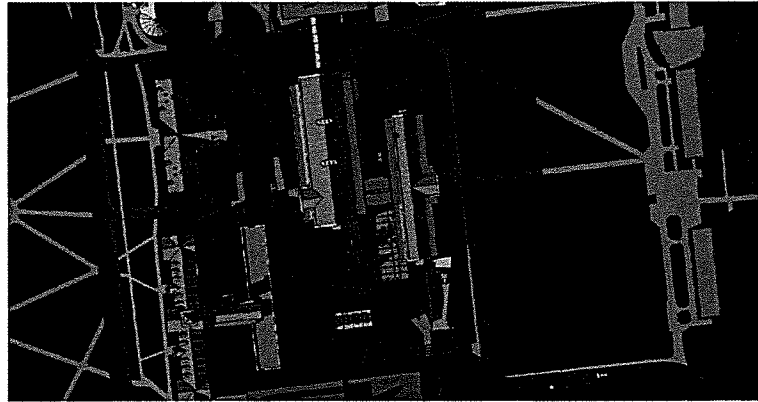
- KEY NOTES
- VENEER BRICK, RUNNING BOND
 - ALUMINUM COMPOSITE METAL
 - CAST STONE
 - CAST STONE LINTEL
 - CAST STONE SILL
 - GRANITE BASE
 - INSULATED METAL PANEL
 - PAINTED METAL UNITS
 - ALUMINUM WINDOW (W/INTERGRADED SILL)
 - STOREFRONT SYSTEM
 - CURTAIN WALL SYSTEM
 - INSULATED METAL PANEL
 - SLATE ROOFING SHINGLES
 - 2" DEEP x 8" WINDOW WIDTH BRICK VENEER RECESS
 - 2" DEEP x 8" WIDE BRICK VENEER RECESS, STACK BOND
 - 2" DEEP x 16" WIDE BRICK VENEER RECESS, STACK BOND
 - 8" WIDE SLOPED RECESS, SOLDIER COURSE
 - ACM MEDALLION
 - LOW-PROFILE ALUMINUM LOUVER
 - PERFORATED STAINLESS STEEL SCREEN
 - PAINTED ALUMINUM PARAPET
 - CORRUGATED PANEL
 - OMNI-BEAM 2500 LED WALL PACK
 - STROBE & HORN
 - FDC
 - HOSE BIB
 - SCUPPER
 - ELEVATOR VENT
 - PLUMBING VENT(S)
 - SNOW GUARD
 - BIKE LOCKERS
 - EMERGENCY GENERATOR EXHAUST
 - ROOF TOP EGRESS STAIRWAY
 - STAIR ENCLOSURE
 - MEMBRANE ROOF
 - PAINTED METAL DOOR
 - KNOCK BOX
 - GAS METER



1 EQUINOX - 9:00AM
N/A



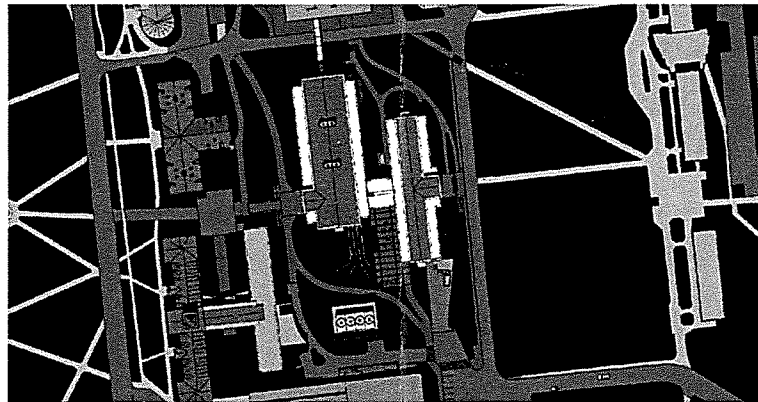
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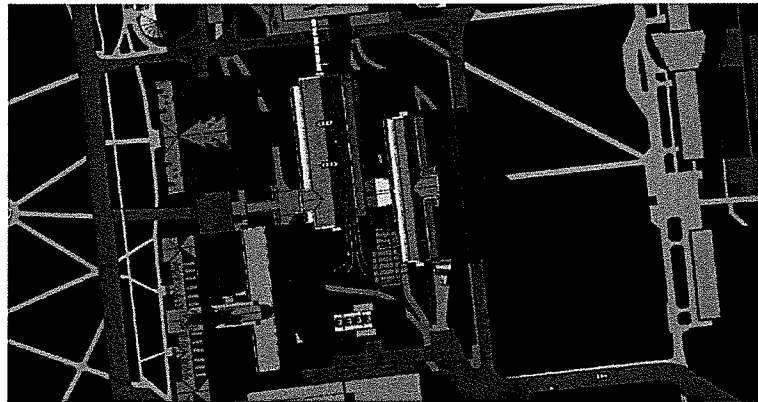
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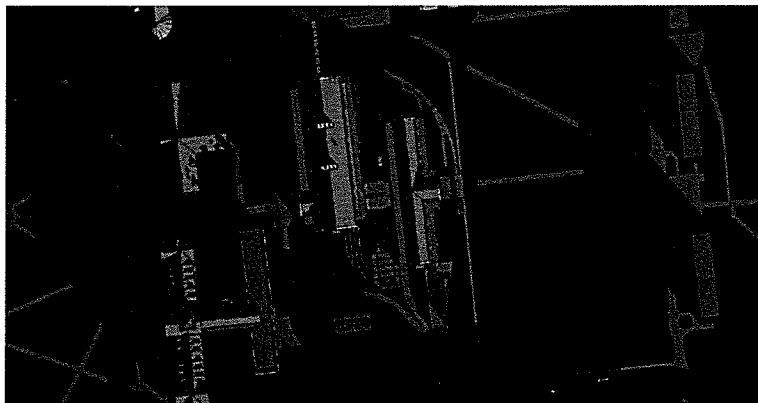
4 SUMMER SOLSTICE - 9:00AM
N/A



5 SUMMER SOLSTICE - 12:00 PM
N/A



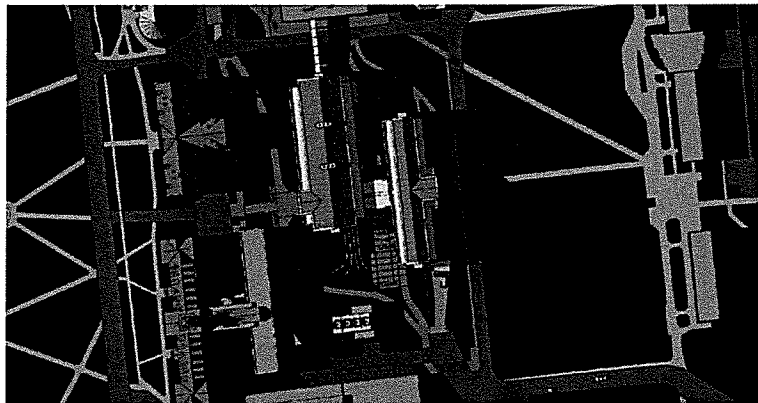
6 SUMMER SOLSTICE - 4:00PM
N/A



7 WINTER SOLSTICE - 9:00AM
N/A



8 WINTER SOLSTICE - 12:00 PM
N/A



9 WINTER SOLSTICE - 4:00PM
N/A



Burlington, VT

PROJECT NO.
A1335
ORGANIZATION DATE / SCALE
05/08/14
DRAWN BY
PH
CHECKED BY
ELLENZWEIG
DATE LOG
ZONING SUBMISSION

SHEET CONTENTS
SOLAR
STUDIES

SHEET NO.
A12.1

DEPARTMENT OF
PLANNING & ZONING

SEP 09 2014

Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Ken Lerner, Assistant Director
Sandrine Thibault, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, Senior Planner
Mary O'Neil, AICP, Senior Planner
Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



TO: Development Review Board
FROM: Scott Gustin, *SG*
DATE: November 5, 2014
RE: 15-0482CA; 50 Howard Street

The applicant has decided not to pursue the original extent of this permit application and has decided instead to simply install a garage door in the existing outbuilding. This revised request can be handled as an administrative Level I Certificate of Appropriateness zoning permit.

Burlington Development Review Board

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Austin Hart
Michael Long
Jonathan Stevens
Brad Rabinowitz
Missa Aloisi
Israel Smith
A. J. LaRosa
Alexandra Zipparo (Alt.)
Jim Drummond (Alt.)



BURLINGTON DEVELOPMENT REVIEW BOARD

Tuesday October 21 2014, 5:00 p.m.

Fletcher Room, Second Floor, Fletcher Free Library, 235 College St, Burlington, VT
MINUTES

Present: Austin Hart (chair), Jonathan Stevens (Vice Chair). Brad Rabinowitz, A.J. LaRosa, Missa Aloisi, Ali Zipparo (Alt.), Israel Smith,

Staff: Scott Gustin, Ken Lerner, Mary O'Neil, Nic Anderson

Absent: Michael Long, Jim Drummond (Alt.)

I. **Agenda**

Using second amended agenda for change of location. Only two items on this agenda.

II. **Communications**

None.

III. **Minutes**

One set from October 7 for review at deliberative.

IV. **Public Hearing**

1. **14-1030SN: 87 KING STREET (RH, Ward 5) King Street Youth Center**

Appeal of administrative permit denial of sign for King Street Center. (Project Manager: Scott Gustin)

A. Hart recused.

Applicants Rolf Kielman and Andrew Chardain (architects) present.

S. Gustin presented application and reasons for denial.

J. Stevens asked how wide is canopy.

No public present to speak. Applicant and staff sworn in.

R. Kielman handed out color copies of plan. Detailed appeal. Architects funded appeal so as to not waste King Street Youth Center funds. Worthy of consideration because its worthy of a change to the ordinance. This sign style is common throughout the country and city. Detailed methods and notion of canopy and signage being customary. Process of changing ordinance takes longer than the project itself. Not a good recourse for this project. Previously had two signs and restricting to one. Believes this type of signage is appropriate and asked for approval and for the ordinance to be changed. Quoted criteria for signs from Ordinance. Noted NBT Bank had canopy mounted signs. Building is still backdrop to sign, not projecting above the roof.

A. J. LaRosa asked where mounting surface is.

R. Kielman. Mounted on the top surface.

A. J. LaRosa reads that it doesn't restrict it to be attached. But doesn't think that it is projecting above the front surface.

B. Rabinowitz understands intent of regulation. Could be grey area.

J. Stevens – Not clear why sign could not be attached to wall.

I. Smith – Seems that the ordinance didn't anticipate canopy mounted signs as opposed to roof mounted signs.

R. Kielman – Could mount to front fascia but proposed has more delight and design than fascia mounted signs have.

No public comment.

Public Hearing closed 5.28pm

2. **15-0338PD: 112-114 ARCHIBALD ST (NMU, Ward 2) Champlain Housing Trust, Inc.**
15-0341PD: 27 BRIGHT STREET (NMU, Ward 2) Champlain Housing Trust, Inc.
15-0342PD: 35-39 BRIGHT STREET (NMU, Ward 2) Champlain Housing Trust, Inc.
15-0343PD: 47 BRIGHT STREET (NMU, Ward 2) Champlain Housing Trust, Inc.
Final Plat Review to demolish 3 existing residential buildings (retain the duplex at 27 Bright Street) and construct four new residential buildings for 42 new units (total of 44 units) with associated site improvements. (Project Manager: Scott Gustin/Mary O'Neil)

A. Hart introduced item.

M. Wisniewski and Taryn Barrett (architects) present. Amy Demetrowitz from Champlain Housing Trust present. No public present to speak. Applicants sworn in.

M. Wisniewski – Introduced changes since preliminary plat outlined. Detailed rooftop units and shielding. Do not have decibels of rooftop units. Will supply to staff.

T. Barrett – Garage lighting has been revised and approved by Electrical engineer and staff. Also revised entryway lighting.

S. Gustin – Entryway is 5 foot candles maximum not average. Can't have over 5 foot candles hotspots. Could have low output. Will be able to provide previous examples.

T. Barrett – Didn't understand that it was a maximum. Was going on average. Can go back to lighting designers to revise.

S. Gustin – Close but needs to be tweaked.

T. Barrett – asked staff about barrier wall and where on site.

M. O'Neil – Would be guard rail on top of garage entrance retaining pile.

M. Wisniewski – Will submit to staff. All other conditions are ok. Have items that need to be submitted to staff.

B. Rabinowitz – Not air conditioners?

M. Wisniewski – It is ERV units.

A. Hart asked about duplexes prohibited provision.

S. Gustin – Policy choice to encourage multi-unit of 3 or more.

A. Hart asked about bedroom count mix.

A. Demetrowitz – Unique in affordable housing to have more three bedroom apartments. Have large families and find that the three bedroom units are in demand in low income housing.

J. Stevens asked if mix of market rate?

A. Demetrowitz – Yes. 6 will be market rate.

A. Zipparo asked about garden area.

T. Barrett – Raised bed gardens near Archibald St entrance and off patio on Bright St. Will be up to Cooperative to manage who uses beds. A couple of sizes. 8-10ft long and almost 4ft wide.

B. Rabinowitz asked about solar.

M. Wisniewski – If they do them, it will be slight angle on roof. Something that may be added on at the end of the project.

B. Rabinowitz asked if elevator towers are detailed differently from preliminary plat.

T. Barrett – Small change based on moving number down.

No members of public.

A. J. LaRosa asked about bike parking.

T. Barrett – In garage and outside. May add more bike parking if car use is less.

A. Demetrowitz – 33 unit building on North Ave has 33 parking spaces that are half used. Added more bike racks there as needed.

B. Rabinowitz encouraged CHT to provided data from previous construction regarding parking demand as it may be helpful.

A. Zipparo – asked what color the lighting would be?

T. Barrett – White. Not doing a lot of pole lighting. Will make sure that it will be thought about and use softer lighting.

B. Rabinowitz noted one light fixture is 100 kelvin. Would be very blue. Knows it has high output but thinks it will be very bright.
A. Hart closed Public Hearing 5.50pm

VII. Adjournment

Adjourned at 5.50pm.

Deliberative session held immediately.

A. Hart - Chair, Development Review Board

Date

Nic Anderson, Zoning Clerk