

Burlington Design Advisory Board

645 Pine Street
Burlington, VT 05401
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Ron Wanamaker
Emily Morse
Jay White
Jack Qualey
Gabriel Stadecker
Kathleen Ryan, Alt
Michael Alvanos, Alt



DESIGN ADVISORY BOARD Tuesday, November 8, 2022 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137

Passcode: 796731

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Agenda

Session I – 3:00 PM – 3:30 PM

ZP-22-528; 447 Main Street (RL, Ward 6S) Jeremy Dressler & Jane Seymour / Marcus Gonzalez

Proposed demolition of existing carriage house to construct a new accessory structure. (Project Manager, Mary O'Neil)

Session II – 3:30 PM – 4:00 PM

Review and approve 2023 meeting schedule.

Session III – 4:00 PM – 4:30 PM

HPRC review of telecommunications installation at 67-71 North Street.

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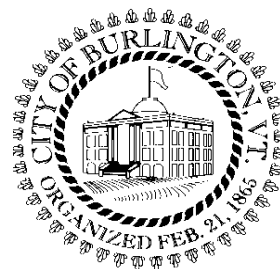
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Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Joseph Cava, Planning Technician
Celeste Crowley, Permit Administrator
Theodore Miles, Zoning Specialist



MEMORANDUM

To: The Design Advisory Board
From: Mary O'Neil, AICP, Principal Planner
RE: ZP-22-528; 447 Main Street
Date: November 8, 2022 (continued review)

File: ZP-22-528
Location: 447 Main Street
Zone: RL **Ward:** 6S
Parking District: Neighborhood
Date application accepted: September 16, 2022
Revisions received: October 31, 2022
Applicant/ Owner: Marcus Gonzales, Ramsey/Gourd Architects / Jeremy Dressley and Jane Seymour, owners.
Request: Demolition and reconstruction of existing carriage barn. Both house and carriage barn are listed on the National Register of Historic Places within the University Green Historic District, as amended.

Background:

- **Zoning Permit 06-769FC;** installation of additional 6' high stockade fencing to match existing fencing. Installation of 3 gates, including a driveway gate. May 2006.
- **Non-applicability of Zoning Permit Requirements;** enclose outside entryway/porch. October 2004.
- **Zoning Permit HO-2001-010;** home occupation for antique shop. Approved by ZBA September 2000.
- **Zoning Permit 99-393;** rear two story addition over existing greenhouse foundation for the single family home. Proposal includes removing the existing aluminum siding (undovering/replacing wood clapboards), removal of the rear chimney and extending the existing shed dormer out onto the addition. March 1999.
- **Zoning Permit 99-249;** installation of 6' stockade style fencing along the side property line parallel to the existing single family home. November 1998.
- **Zoning Permit 95-071;** installation of a 4' and 6' high sections of solid picket style fencing to surround the existing rear yard of the single family home. Structure listed on the Burlington City Historic Sites survey. August 1994.



- **Zoning Permit n.n.;** Use part of the house as an office for the practice of child psychiatry. Approved by ZBA August 1989.
- **ZBA review,** request to erect sign and allow for sample swatches of woolens as an agent for the Vermont Natives Industries of Bridgewater. Renovation of garage in rear for storage and display of woolens. (No additional documents attached.) Request dated January, 1955.

Overview: 447 Main Street is a single family home with a rear, detached barn that has been utilized as a garage. The Assessor's office indicates the upper floor is utilized as living space. The owners request demolition and replacement of the structure, continuing the existing expanded living area in the upper floor.

The **Design Advisory Board** reviewed the application at the October 25, 2022 meeting, and voted to **Table** the application pending submission of additional information about building trim, with correct proportions identified.

Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a)Protection of Important Natural Features:

The replacement building is in the same location as the existing. No important natural features have been identified.

(b) Topographical Alterations:

No topographical alterations are included in the proposal.

(c)Protection of Important Public Views:

There are no protected public views from or through this parcel. Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

See Section 5.4.8, below.

(e) Supporting the Use of Renewable Energy Resources:

No part of this application would preclude the use of solar, water, wind, geothermal, or other renewable energy resource.

(f) Brownfield Sites:

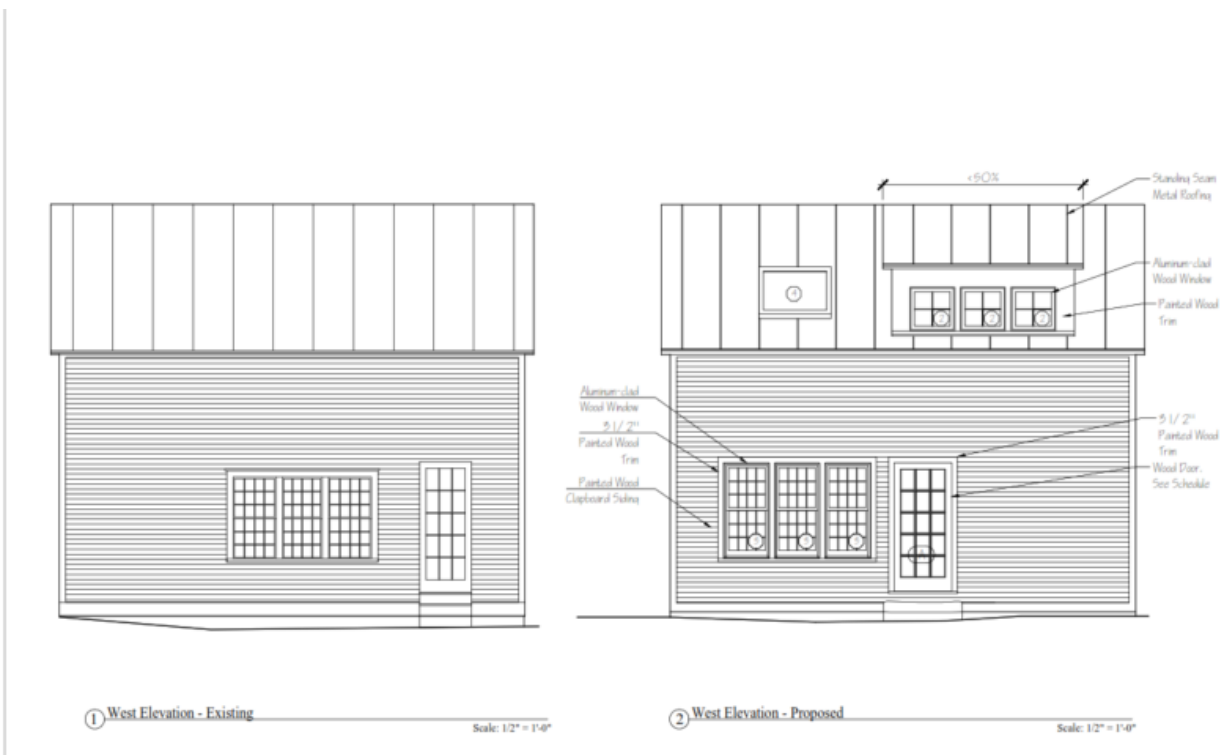
This address is not included on the Vermont Department of Environmental Conservation's Brownfield list.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

The pedestrian entry door remains on the west elevation, albeit more centered than the existing entry. Some modest canopy is recommended to shelter those entering or exiting from roof runoff and sliding snow off the metal roof.



(h) Building Location and Orientation:

The proposed replacement building is located in the same location as the existing barn, and addresses the streetfront in a similar manner.

(i) Vehicular Access:

Vehicular access will continue in the same alignment as existing; directly from Main Street via the existing curb cut.

(j) Pedestrian Access: This detached barn has direct access from the driveway paved area, which connects northward to Main Street and a public sidewalk.

(k) Accessibility for the Handicapped:

ADA accessibility is under the jurisdiction of Burlington's Building Official.

(l) Parking and Circulation:

No change is proposed to the parking plan or count. The first floor will continue to offer a single parking space; there is existing space to parking the additional vehicle within the driveway.

(m) Landscaping and Fences:

The last approved site plan was in 2006; a comparison with a submitted, current site plan shows significant addition of walkways, gravel, patios, pavers and slate walls/walk. If setbacks are met and lot coverage (as provided on Plan S-1.1) does not exceed limitations for the zoning district, they may be included within this project review.

(n) Public Plazas and Open Space:

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

No light fixtures are depicted on building elevations. Lighting is recommended at the building pedestrian and garage entries, at the very least, to assure safety. If included, the applicant shall submit fixture and illumination information for staff review. All lighting shall be full-cutoff downlit fixtures.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on

neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

There are no meters, mechanical equipment, condensing units, or similar features illustrated on building elevations or the site plan. If they are proposed for inclusion, they shall be appropriately included on plans for assessment. Mechanical equipment must observe required setbacks. All new electrical connections shall be undergrounded.

Similarly, there are no dumpsters, recycling bins or trash containers. It may be assumed refuse will be stored within the garage; the applicant shall confirm.

Part 3: Architectural Design Standards

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

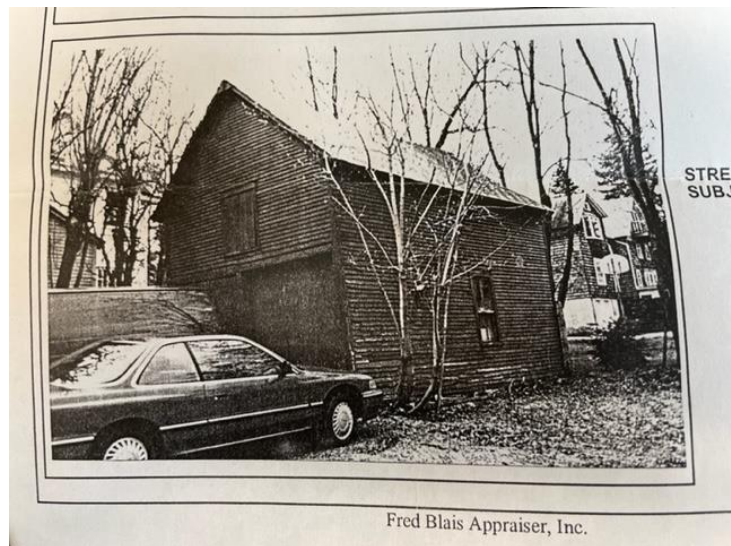
The replacement structure duplicates the height and volume of the existing structure. In massing, height and scale, the proposed building relates to its environment.

2. Roofs and Rooflines.

The replacement building will continue the gable roof configuration, with the addition of a small dormer to the west. A skylight has been included on that same roofplane.

3. Building Openings

The sliding barn door enclosure has proposed two potential alterations: A wood garage door with siding applied, or a more traditional overhead door with painted wood trim. See Plan A-2.1. . Zoning files inform that the sliding glass door is a newer alteration, as a 1995 appraisal document shows a solid garage door. Pedestrian access is presented on the west elevation. Windows are similarly arranged, with the addition of a skylight and dormer sash on the westerly roof. The 8/12 windows on the 2nd floor north (primary) elevation are duplicated (although likely not original); the new windows on the west addition are proposed as 4/4 triple mulled sash. The 1998 appraisal photo shows a single 2/2 double hung, and no pedestrian door on the west.



(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

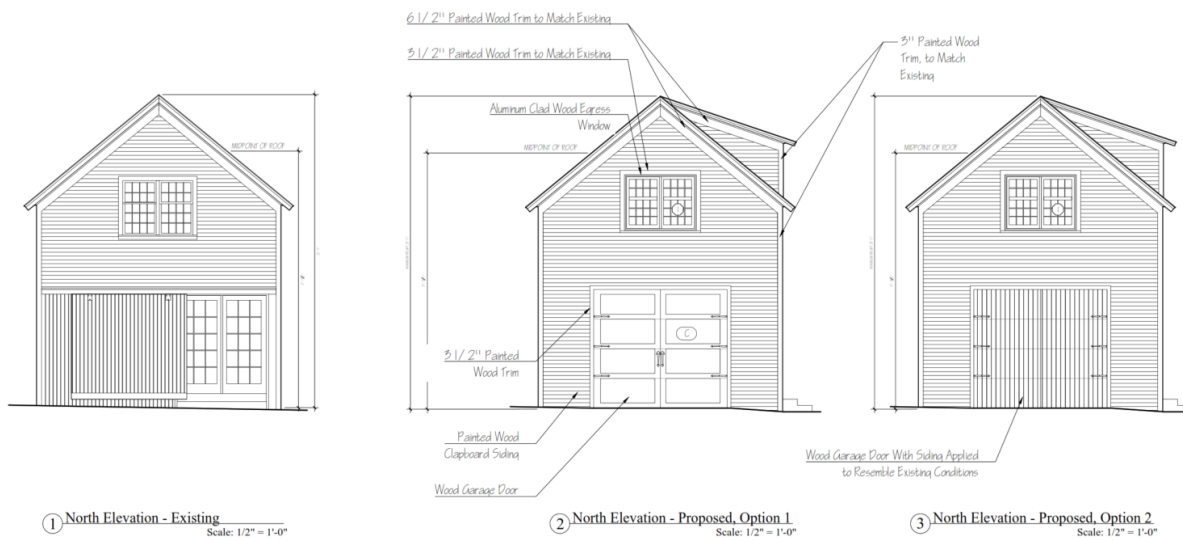
See Section 5.4.8.

(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

The replacement structure will present a similar appearance to the streetfront. Two options for the garage door have been submitted for consideration.



(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Owners of historic structures are encouraged to consult with an architectural historian in order to determine the most appropriate repair, restoration or replacement of historic building materials as outlined by the requirements of Art 5, Sec. 5.4.8.

Painted wood clapboard siding on the north and west, with a fiber cement option on the east and south are proposed. Aluminum-clad wood windows, painted wood trim and a standing seam metal roof are defined. All are considered durable for purposes of new construction.

(f) Reduce energy utilization:

The applicant will be required to submit a Residential Building Energy Standards form (RBES) for assurance of compliance with Vermont Residential Building Energy Standards.

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

See 6.2.2. (p), above.

(i) Make spaces secure and safe:

Development must conform to all applicable building and life safety codes as defined by Burlington's Building officials.

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,

To promote the adaptive re-use of historic buildings and sites.

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

The carriage barn at 447 Main Street is a contributing resources within the University Green Historic District, as amended.

18a. Garage/ Carriage Barn, c.1915, Contributing building

Located in the rear yard of 447 Main Street is a wood-frame, 1.5-story, gable-front, former carriage house with raking eaves, which appears to have replaced an earlier outbuilding nearby. The clapboard building has two sliding wooden garage doors which extend across the first story of the north elevation facing the driveway and a paired, 8/12, double-hung sash window in the gable above. In 2005, the upper story of this building was converted into an accessory apartment.

[Staff note: There is no zoning permit for establishing of an accessory apartment. The upstairs is acknowledged by the Assessor's office as existing, finished living space associated with the single family residence. If the applicant intends a discrete, separate unit, it must be included within the application.]

(b) Standards and Guidelines:

The following development standards, following the Secretary of the Interior's Standards for the Treatment of Historic Properties, shall be used in the review of all applications involving historic buildings and sites subject to the provisions of this section and the requirements for Design Review in Art 3, Part 4. The Secretary of the Interior's Standards are basic principles created to help preserve the distinctive character of a historic building and its site. They are a series of concepts about maintaining, repairing and replacing historic features, as well as designing new additions or making alterations. These Standards are intended to be applied in a reasonable manner, taking into consideration economic and technical feasibility.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The building will continue to serve as storage for vehicles, with the inclusion of continued expanded living space on the upper floor. The applicant asserts this is not an accessory dwelling unit.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The building is proposed to be located in the same location as the existing building. The replacement intentionally replicates the volume, location and appearance of the existing carriage barn.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

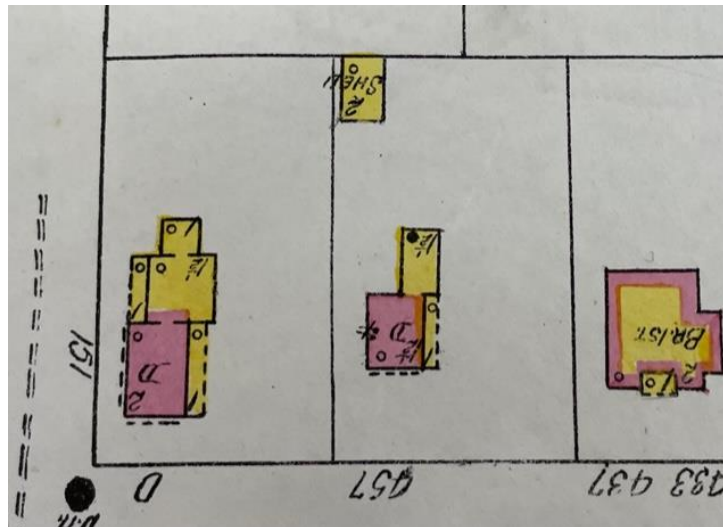
No conjectural features are proposed.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

None identified.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The distinction of the carriage barn (identified as a *SHED* on the 1918 Sanborn Map of Burlington) is most likely its modest presence, as typically recognized on or near a property boundary and accessory to the existing residence. This application continues that site familiarity with service for vehicle storage and the addition of expanded habitable space.



1919 Sanborn Fire Insurance Map of Burlington (detail)

447 Main Street, center.

Subject building center top.

Note that street numbers have changed, as has the rear property boundary.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

The application is not intended to repair or replace historic materials and features, but build a replacement building of similar massing and location.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Demolition is always the most extreme of physical treatments. Reconstruction is proposed.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

There are no known archaeological resources on site. If redevelopment results in discovery, appropriate authorities will be notified for assessment, evaluation, and appropriate treatment.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

While the application proposes removal of a historic feature of the property, a replacement building of similar massing and site placement is included. The west dormer is the sole diversion from existing design, and does not contribute to building height as it is limited to less than 50% of the roof width.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The carriage barn is a secondary structure on this parcel. While removal and redevelopment will alter the essential integrity of a contributing structure on the lot, the principal structure will remain unchanged. The significant form and integrity of the overall environment will be altered, but not totally impaired.

Items for the Board's consideration:

- The applicant has prepared a finalized existing site plan, that shows marked site additions since the 2006 approval. All site components shall be calculated to confirm compliance with setbacks and lot coverage.
- If demolition and redevelopment is supported, the applicant shall provide photographic documentation of existing conditions for the zoning record.
- All materials shall be so disposed in a safe and legal manner, utilizing best practices for lead and other hazard abatement.
- There are no identified zoning permits on file for the creation of an Accessory Dwelling Unit, or habitable space in the barn. It is unknown whether the 2001 permit for the Antique Shop use included conversion to habitable space; **however the Assessor's property record acknowledges the living space ("half story").** If the 2nd floor conditioned space in the barn is intended to be a separate living unit, the request shall be included in the zoning application. All conditions of ADUs will apply.
- There shall be no expansion of the existing non-conformity (building location, height or setback) in replacement of the building.



Street Address: **447 Main Street, Burlington VT 05401**
Tax Parcel ID: **050-3-014-000**
Zoning District: **Residential - Low Density**
Land Use: **R1 - Single Family**

	Existing	Proposed	Pursuant to Code (article 4.4.5-3)
Lot Area:	19,417 SF	19,417 SF	19,417 SF
Lot Frontage:	102'	102'	102'
Lot Width:	102'	102'	102'
Lot Depth:	204'	204'	204'
Lot Coverage (Structure and Driveway):	29.2%	31%	35%
Lot Coverage (Walkways and Patios):	5.1%	5.1%	
Total Lot Coverage:	34.3%	34.3%	35% (Max. Allowable Impervious + 10% Bonus For Patios)

<u>Impervious Surface Coverage:</u>			
Principal			
Structure:	3,189 sf	3,189 SF	
Accessry Bldg:	384 sf	384 sf	
Driveway:	~2,100 sf	~2,100 sf	
Walkways and Patios:	997 sf	997 sf	1,942 sf
Total:	6,670 sf	6,670 sf	8,738 sf (Max. 35% + 10%)

<u>Set Backs (principal structure):</u>			
North:	44'	44'	25'
South:	62'	62'	25% of lot
East:	17'	17'	10% of Width or 5'
West:	51'	51'	10% of Width or 5'

<u>Set Backs (accessory structure/garage):</u>			
North:	143'-8'	143'-8'	25'
South:	~3'-0 1/2"	to match ex.	25% of lot
East:	~3'-3"	to match ex.	10% of W. or 5'
West:	66'	to match ex.	10% of W. or 5'

<u>Accessory Structure:</u>			
Height			
(to mid point of roof per article 5.2.6 point "a"):			
	17'-3 1/2"	17'-3 1/2"	35'
Stories:	1 1/2	1 1/2	2 1/2

Gar. Width:	16'-6"	16'-6"	
Gar. Length:	24'-2"	24'-2"	
Distance from Principal Bldg:	34'	34'	

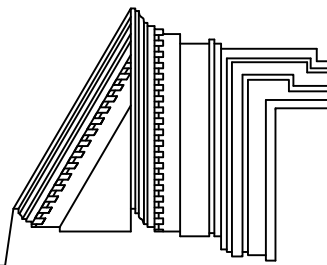
Within 200' of another municipality? **No**
Adjacent to County road? **No**
Adjacent to State road? **No**
Conforming Use? **Yes**

NOTE: ALL TRIM SIZES TO MATCH EXISTING TRIM. PLEASE SEE S-1.3 FOR EXISTING CONDITIONS

Revision 1 9-21-22
Revision 2 10-11-22
Revision 3 10-31-22

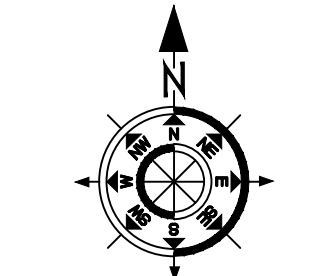
Drawn By: M.I.G.
Date: 31 October 2022

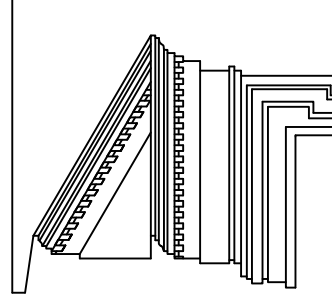
S E Y M O U R
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Burlington, VT
RAMSAY GOURD ARCHITECTS
7190 Main Street • Manchester Center, VT
(802) 362-1480 • FAX (802) 362-0179



Site Plan

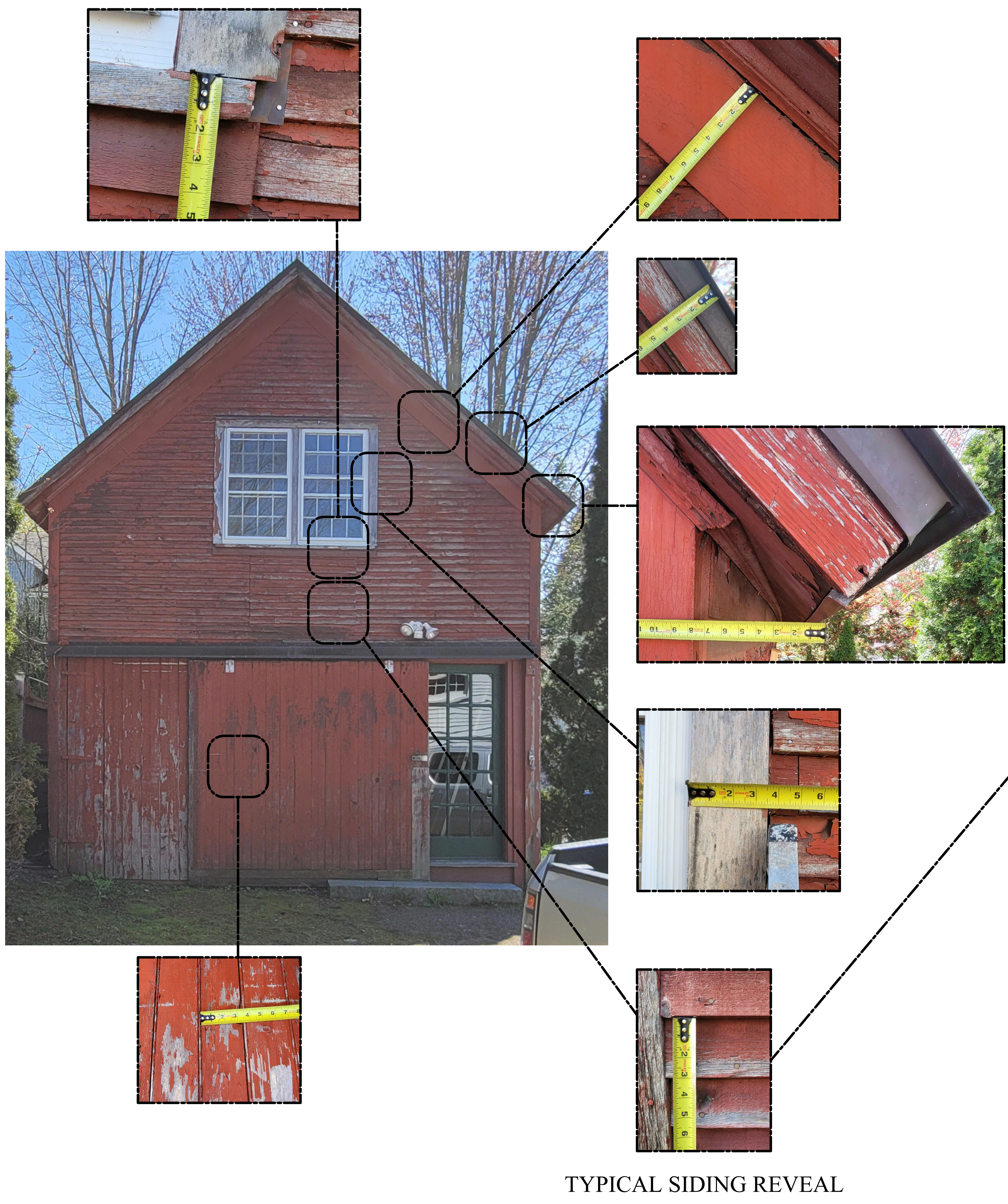
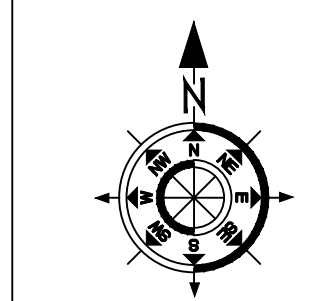
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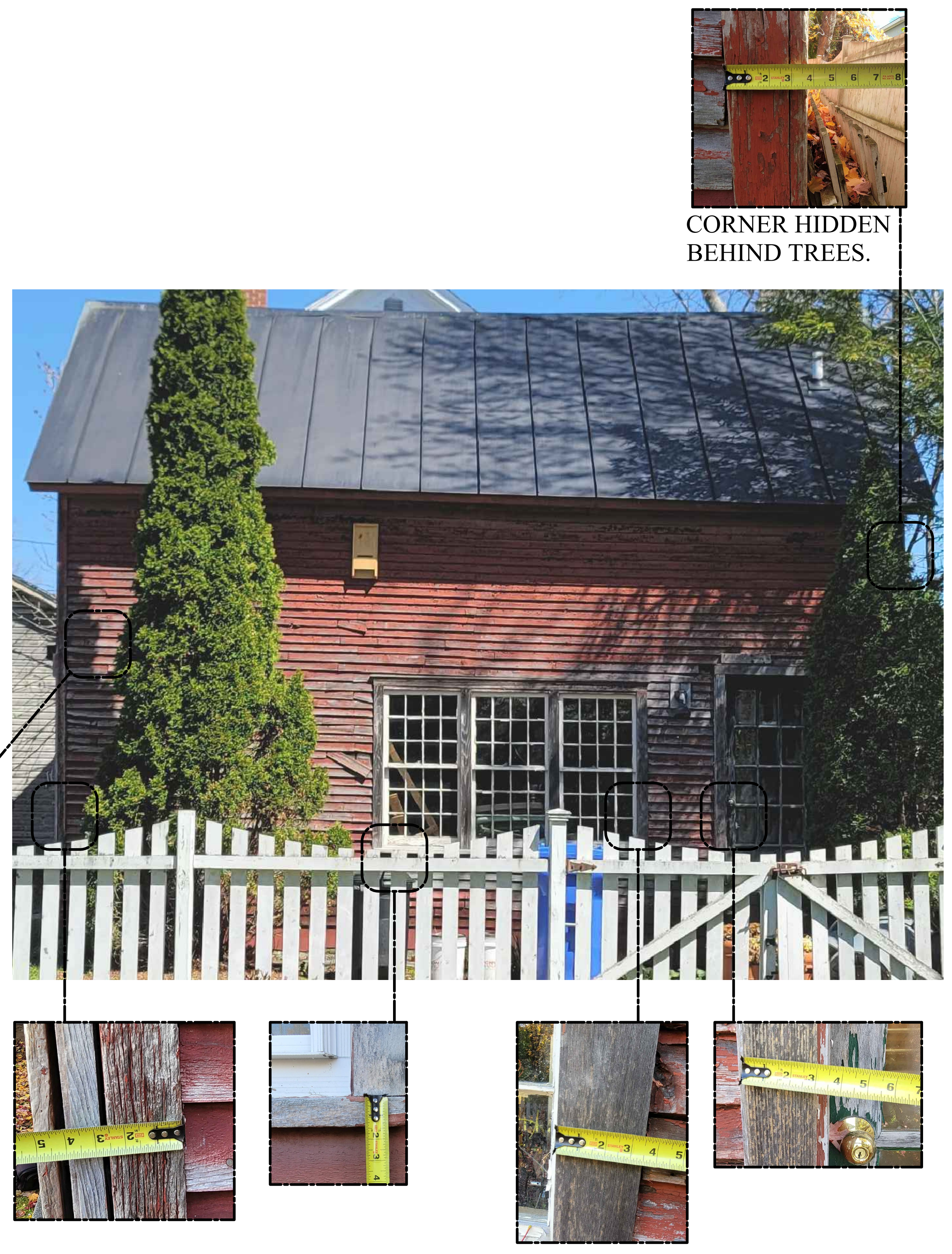


Site Conditions

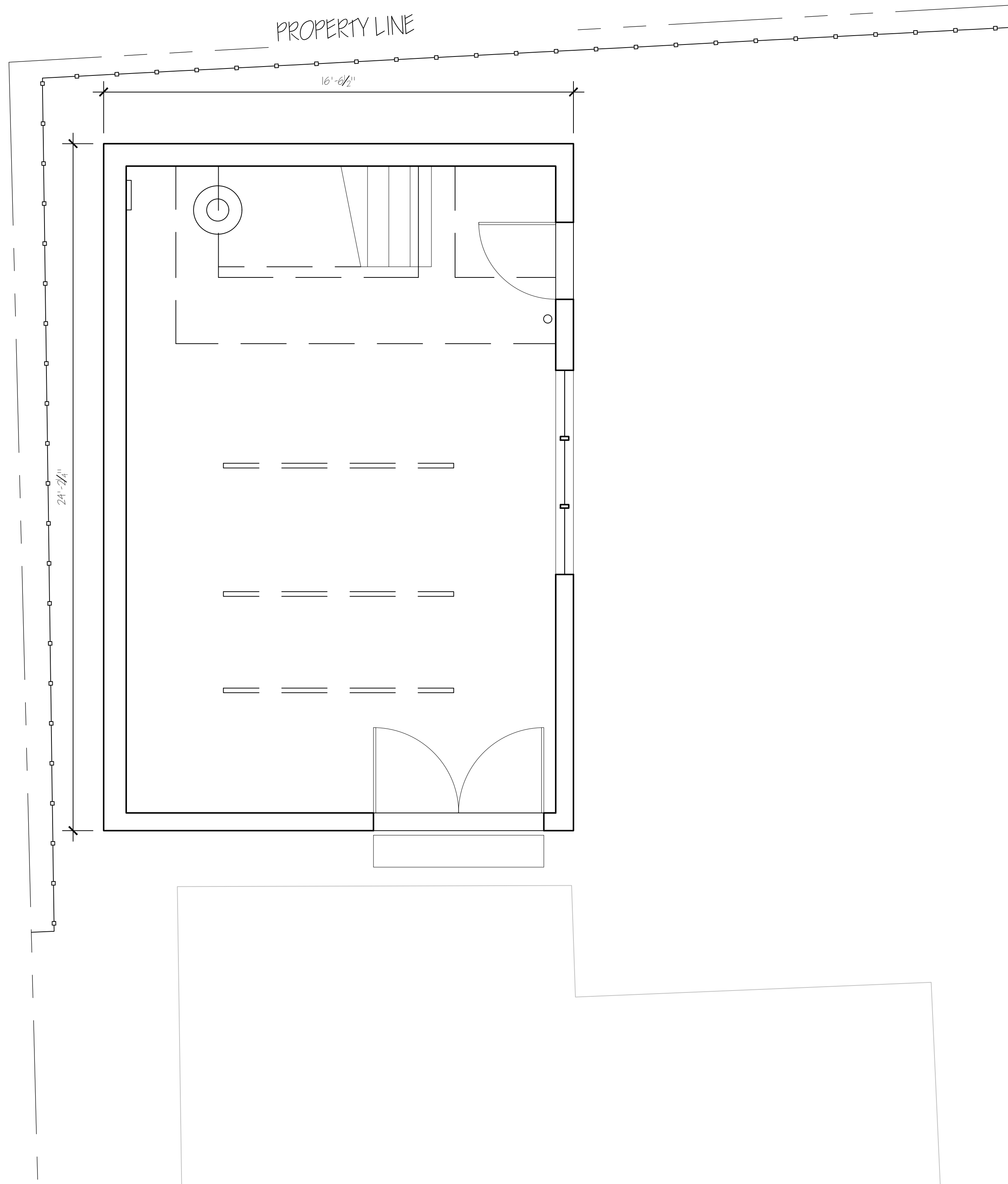
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TYPICAL SIDING REVEAL

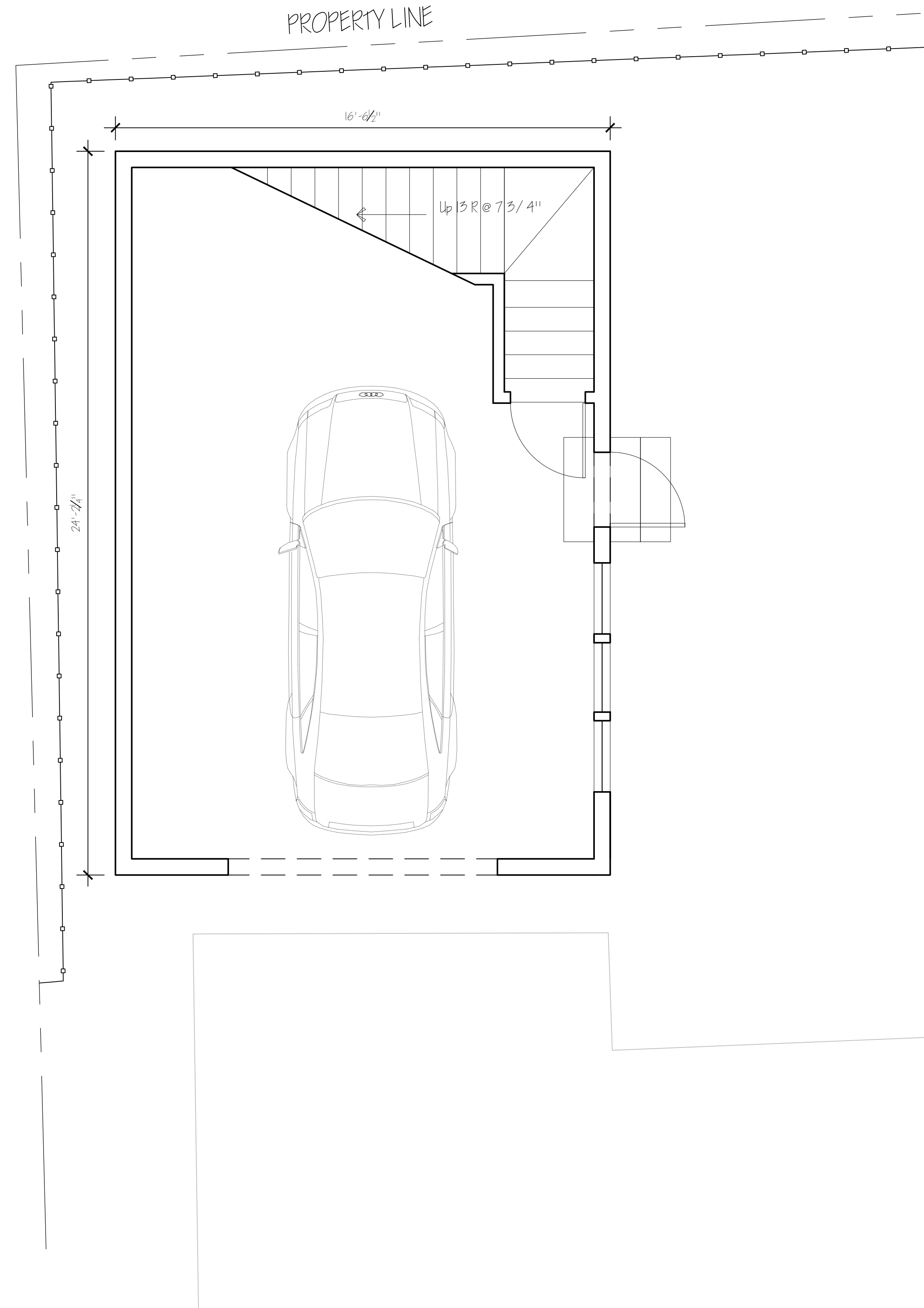


CORNER HIDDEN
BEHIND TREES.



1 First Floor Plan - Existing

Scale: 3/8" = 1'-0"



2 First Floor Plan - Proposed

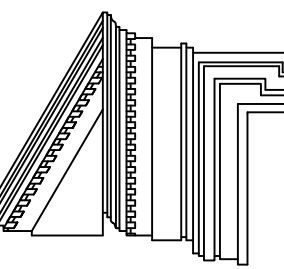
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Revisions:

Drawn By:

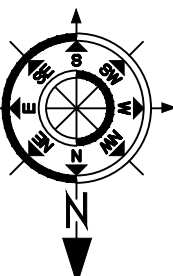
Date: 31 October 2022

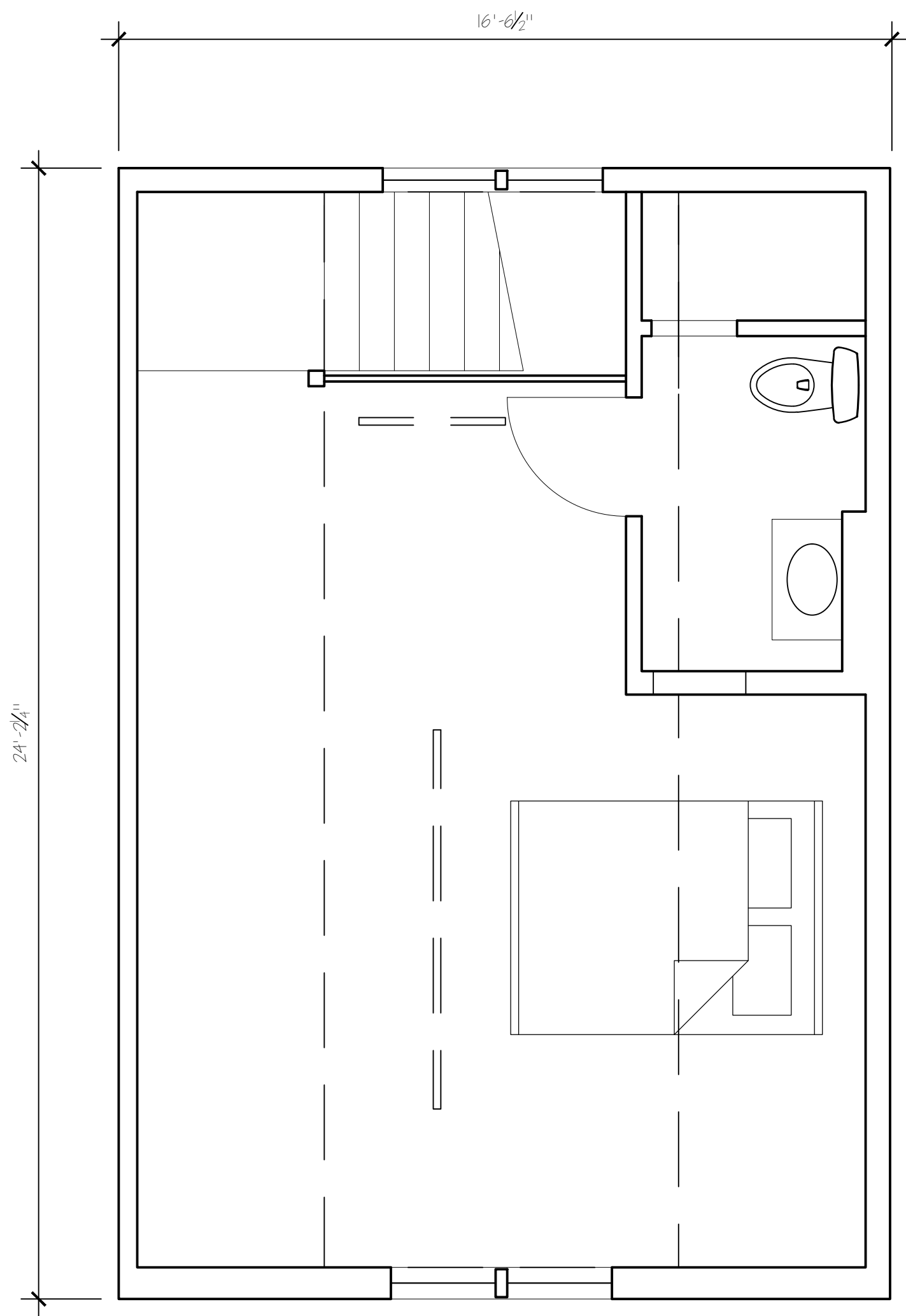
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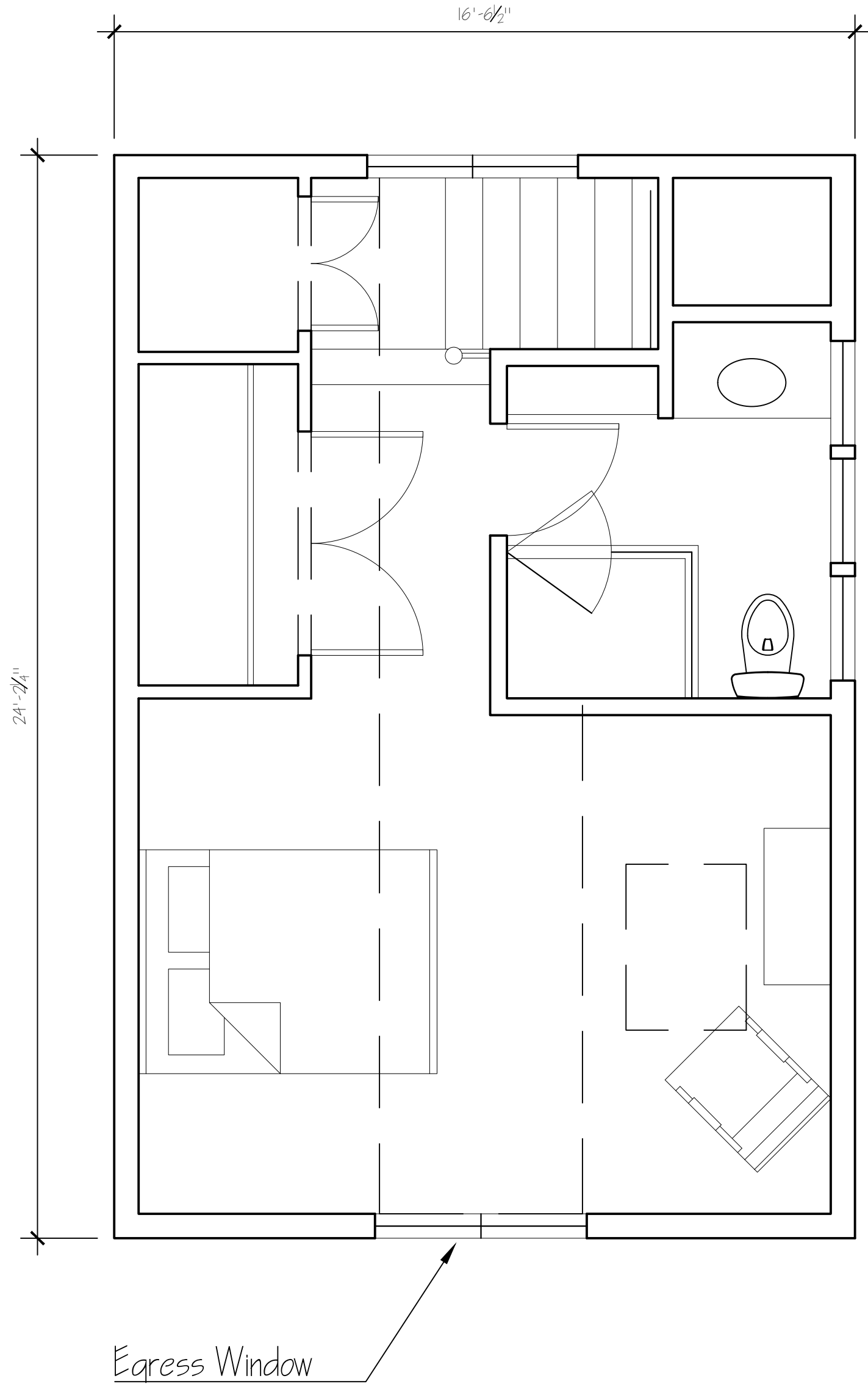
Floor Plans

A-1.1





③ Second Floor Plan - Existing
Scale: 3/8" = 1'-0"



④ Second Floor Plan - Proposed
Scale: 3/8" = 1'-0"

Revisions:

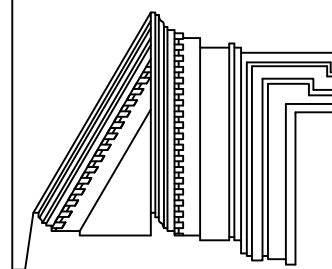
Drawn By:
Date: 31 October 2022

SEYMOUR

RAMSAY GOURD ARCHITECTS

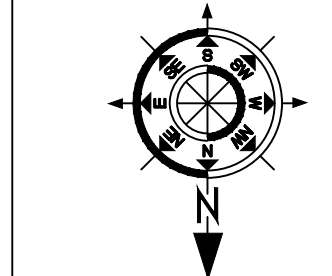
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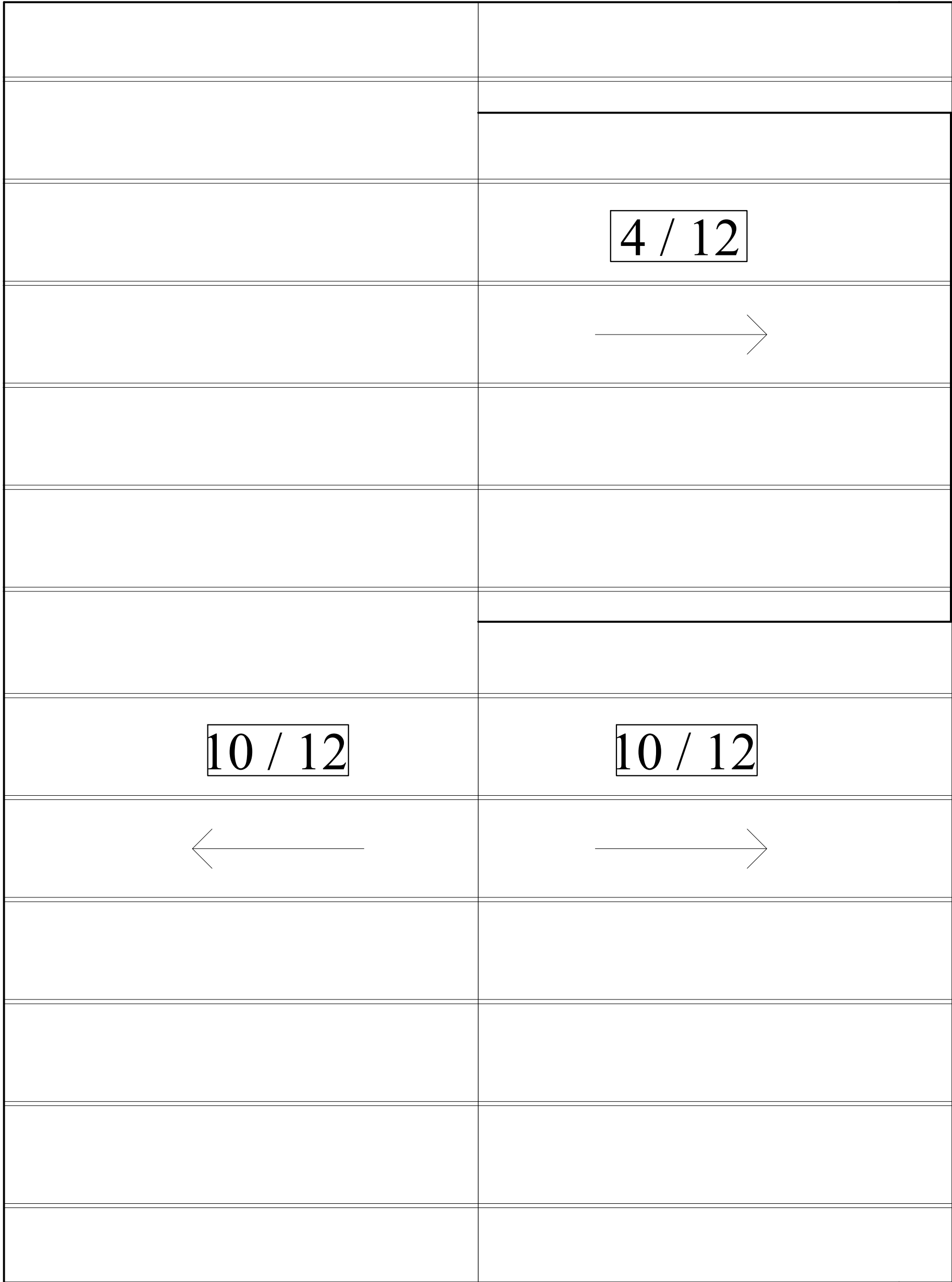
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Floor Plans

A-1.2



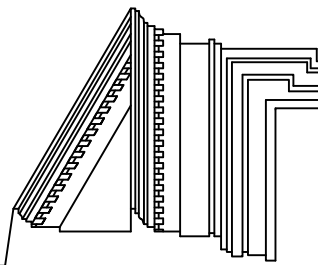


1 Roof Plan

Scale: 1/2" = 1'-0"

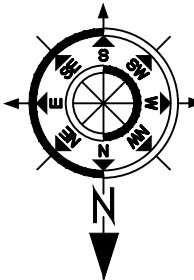
Revisions:

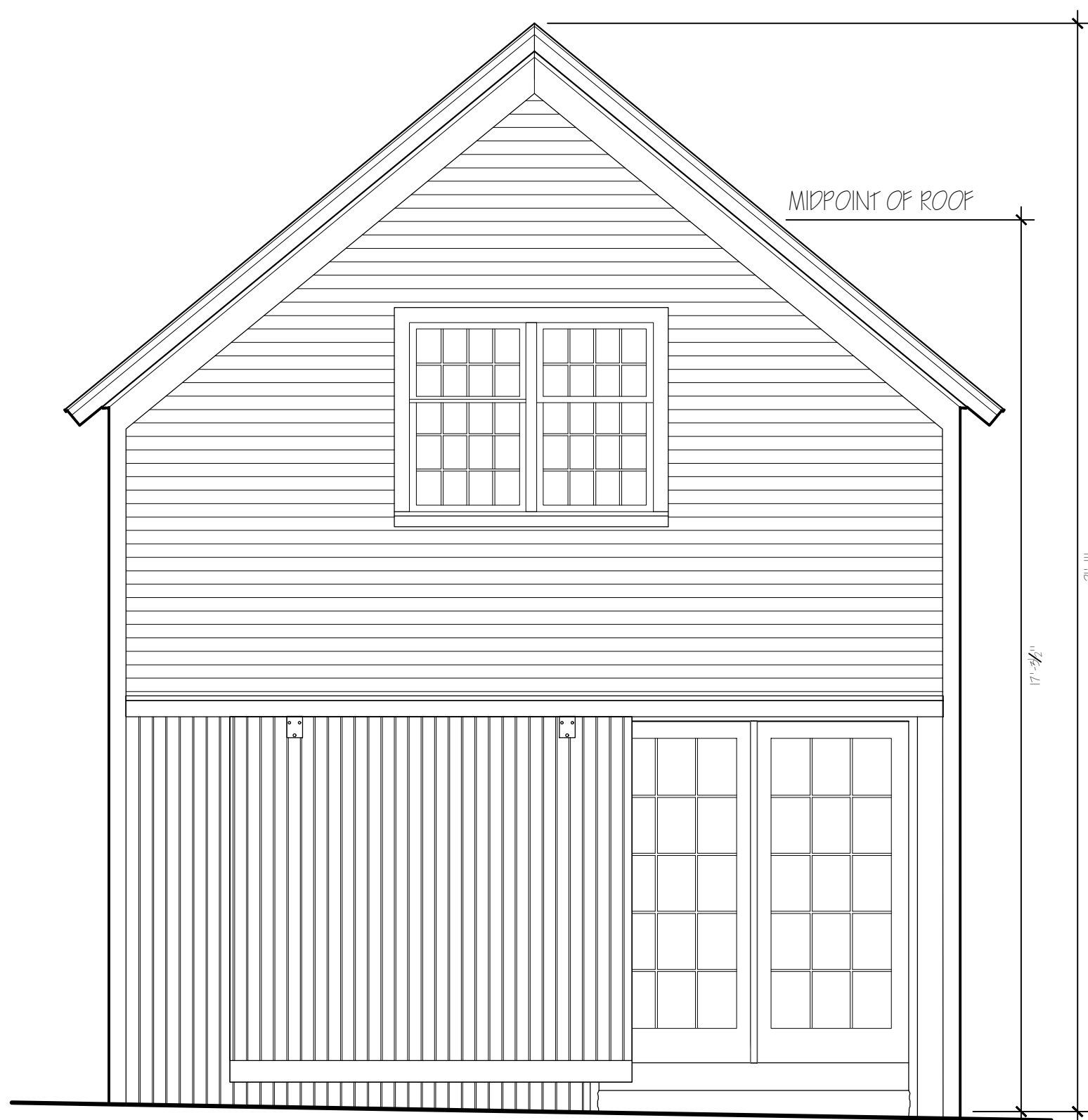
Drawn By:
Date: 31 October 2022



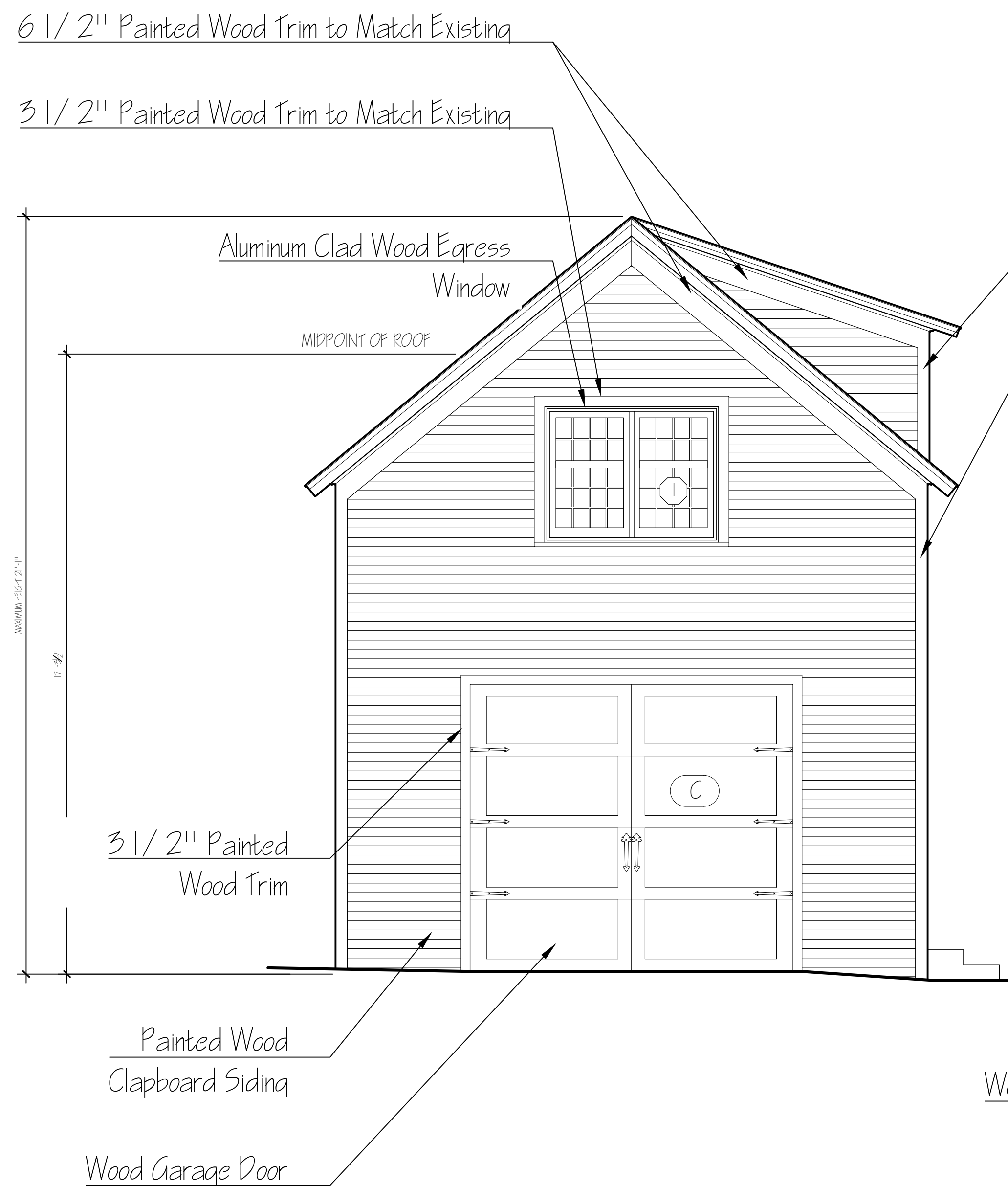
Plan

A-1.4

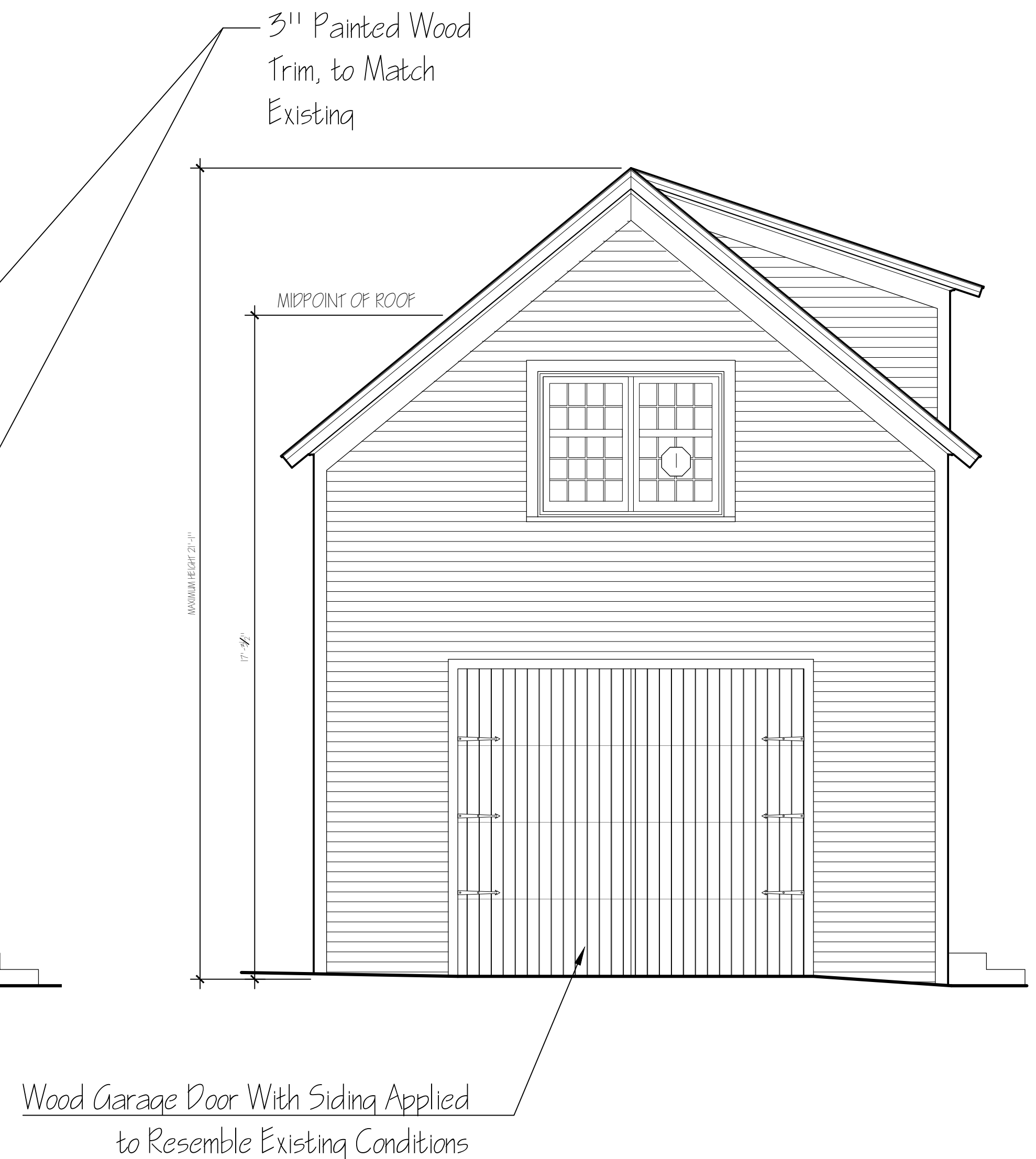




① North Elevation - Existing
Scale: 1/2" = 1'-0"



② North Elevation - Proposed, Option 1
Scale: 1/2" = 1'-0"

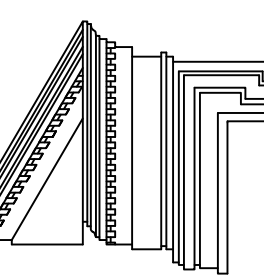


③ North Elevation - Proposed, Option 2
Scale: 1/2" = 1'-0"

Revisions:

Drawn By:
Date: 31 October 2022

S E Y M O U R
447 Main Street
Burlington, VT
R A M S A Y G O U R D A R C H I T E C T S
7190 Main Street • Manchester Center, VT
(802) 362-1480 • FAX (802) 362-0179



Exterior Elevation

A-2.1



① West Elevation - Existing

Scale: 1/2" = 1'-0"



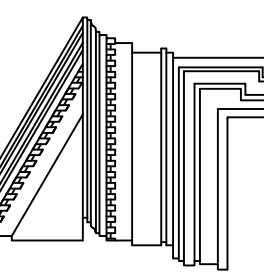
② West Elevation - Proposed

Scale: 1/2" = 1'-0"

Revisions:

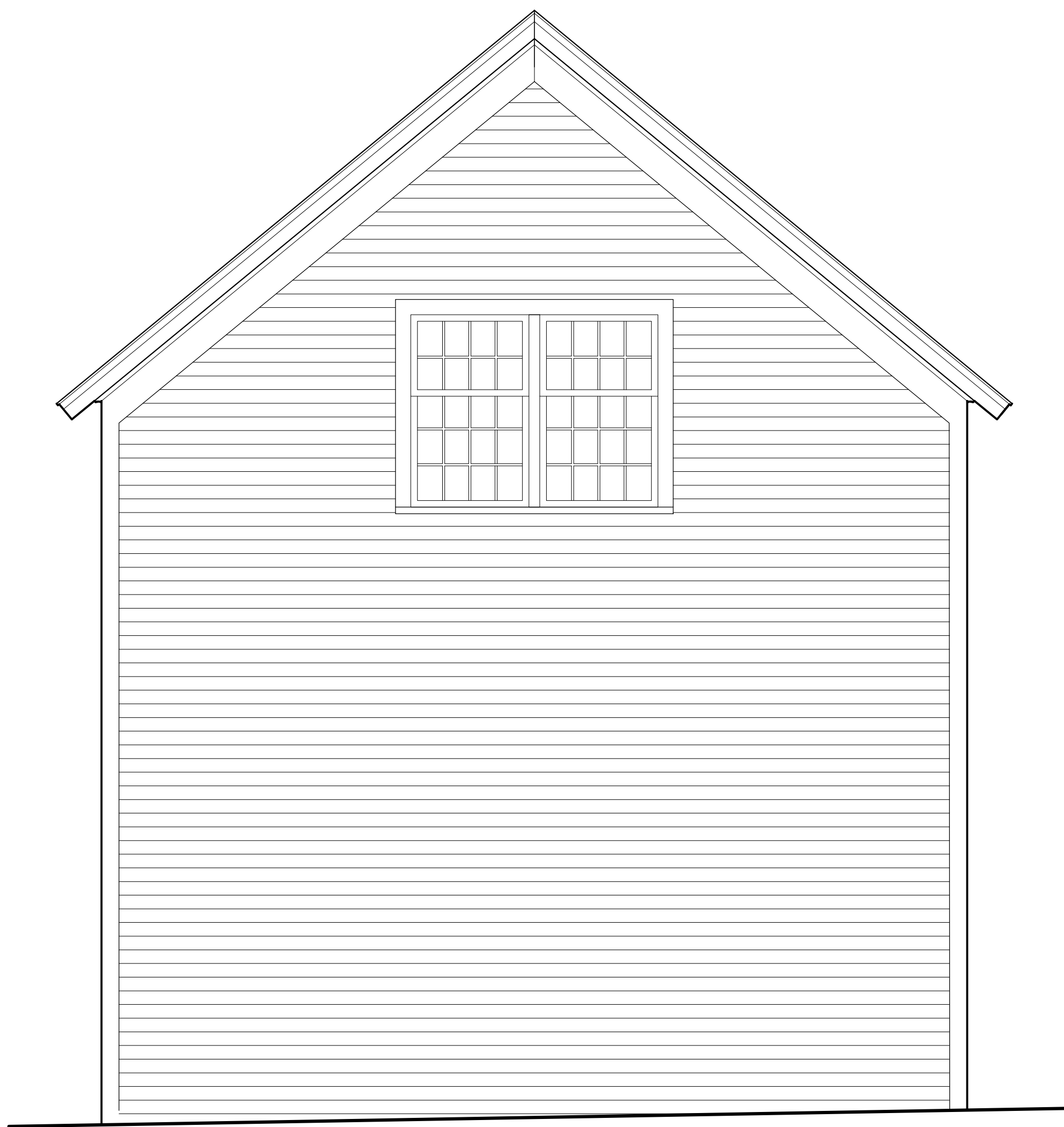
Drawn By:
Date: 31 October 2022

S E Y M O U R
447 Main Street
RAMSAY GOURD ARCHITECTS
7190 Main Street • Manchester Center, VT
(802) 362-1480 • FAX (802) 362-0179



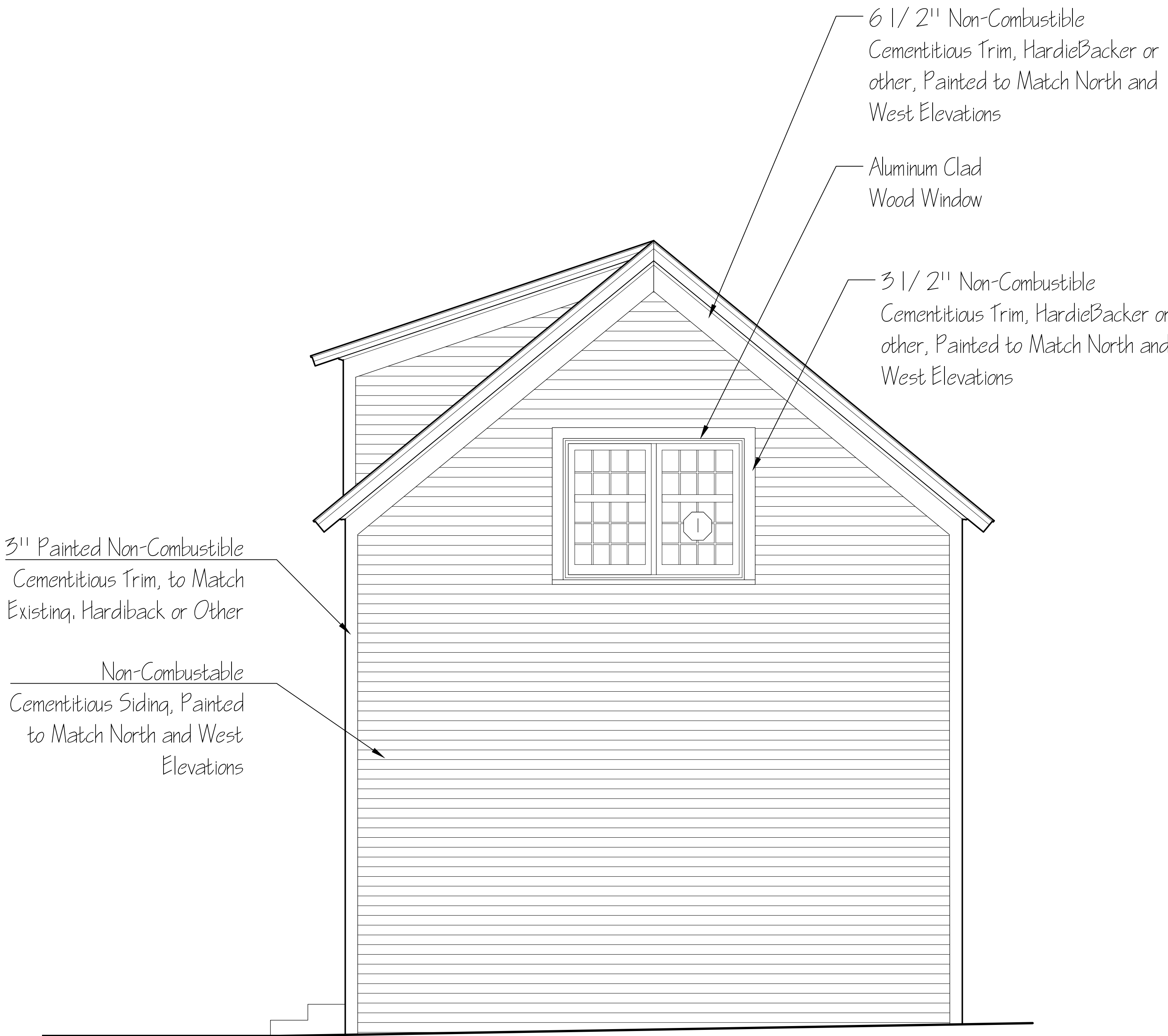
Exterior Elevation

A-2.2



① South Elevation - Existing

Scale: 1/2" = 1'-0"



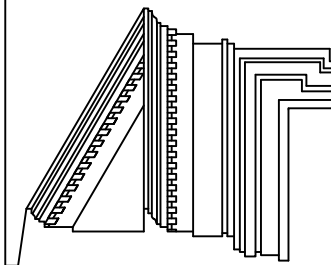
② South Elevation - Proposed

Scale: 1/2" = 1'-0"

Revisions:

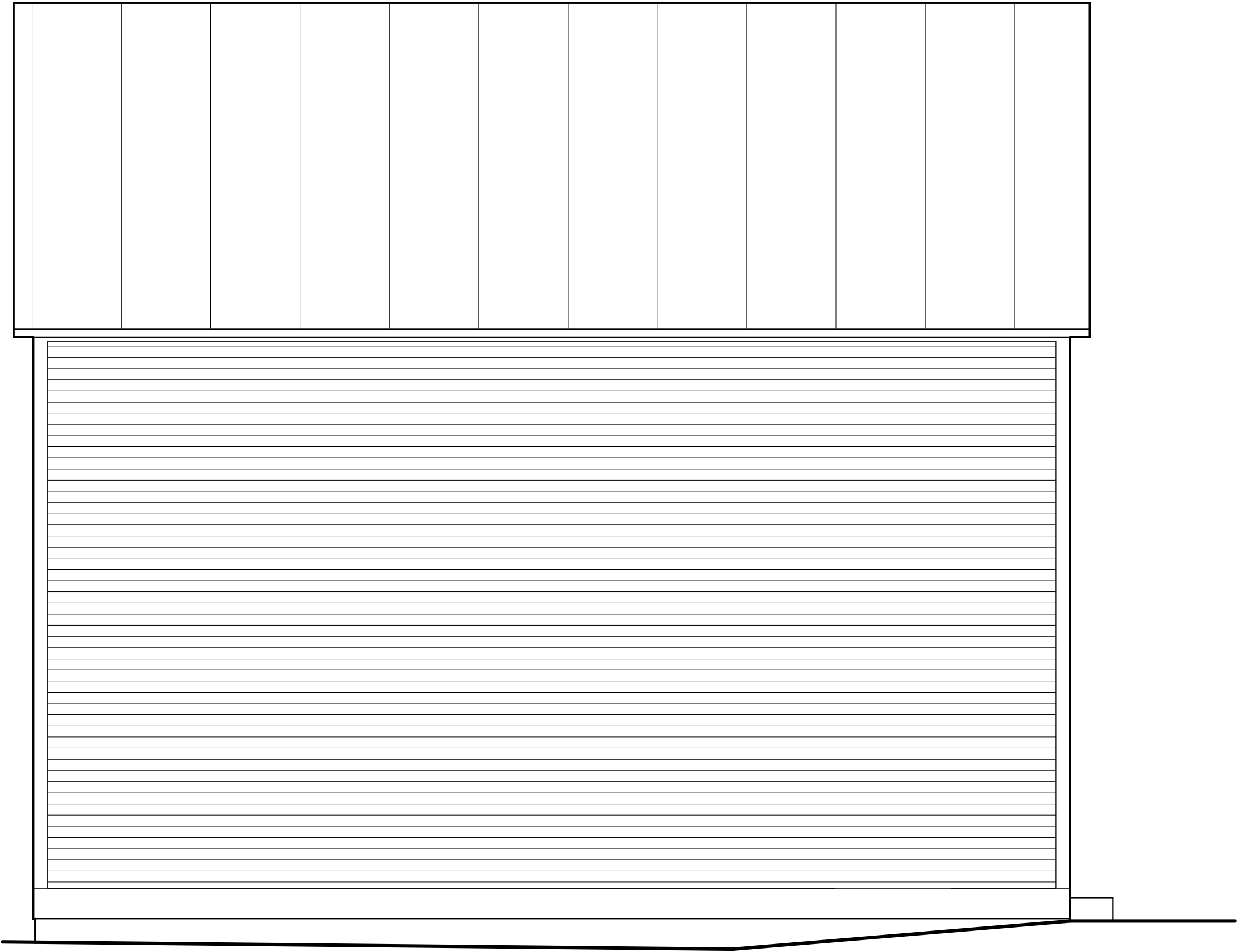
Drawn By:
Date: 31 October 2022

S E Y M O U R
447 Main Street
Weston, VT
R A M S A Y G O U R D A R C H I T E C T S
7190 Main Street • Manchester Center, VT
(802) 362-1480 • FAX (802) 362-0179



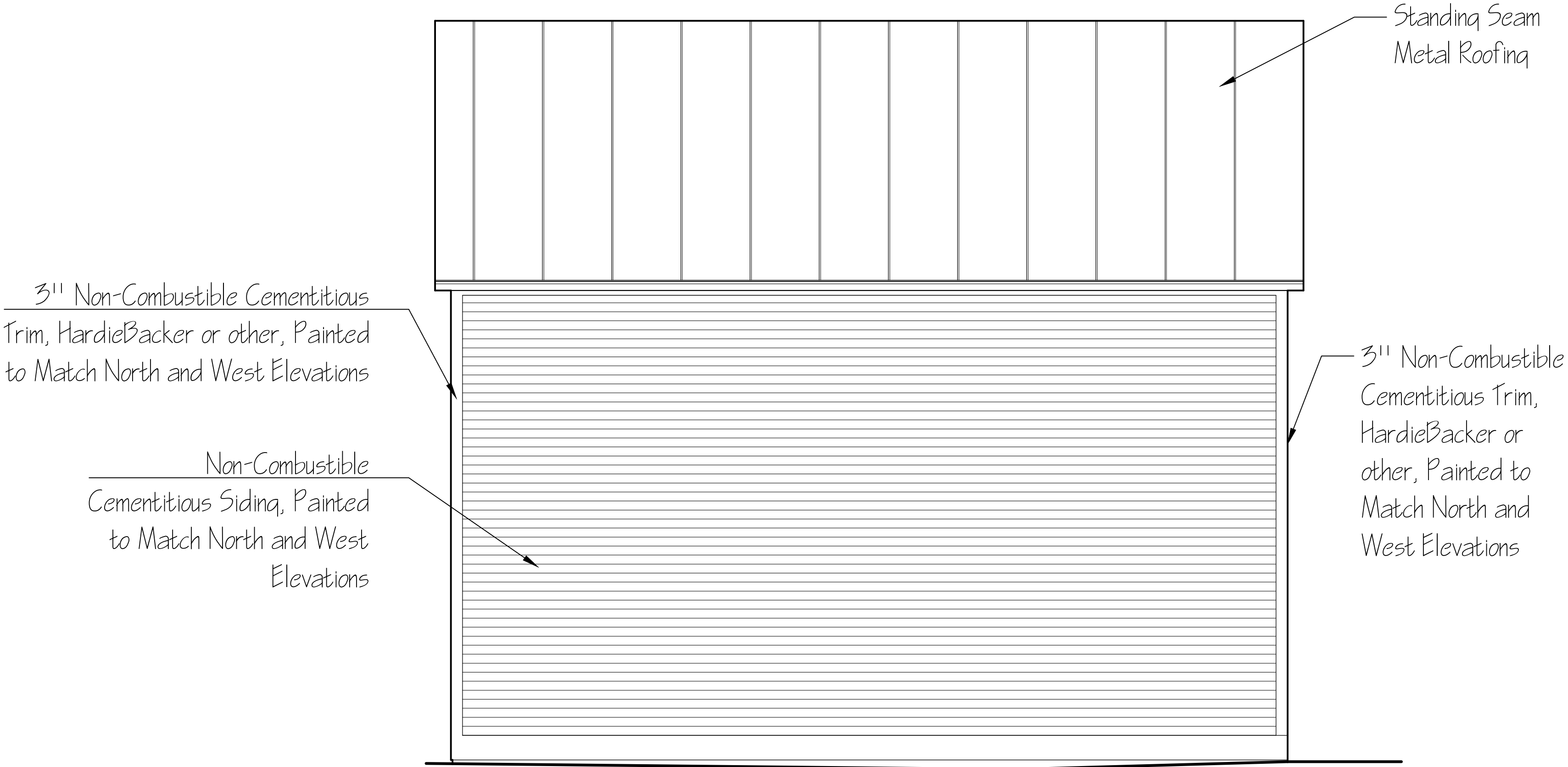
Exterior Elevation

A-2.3



① East Elevation - Existing

Scale: 1/2" = 1'-0"



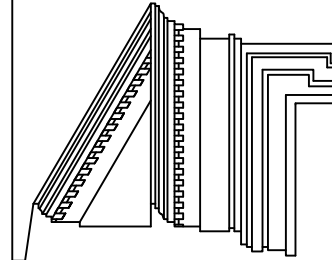
② East Elevation - Proposed

Scale: 1/2" = 1'-0"

Revisions:

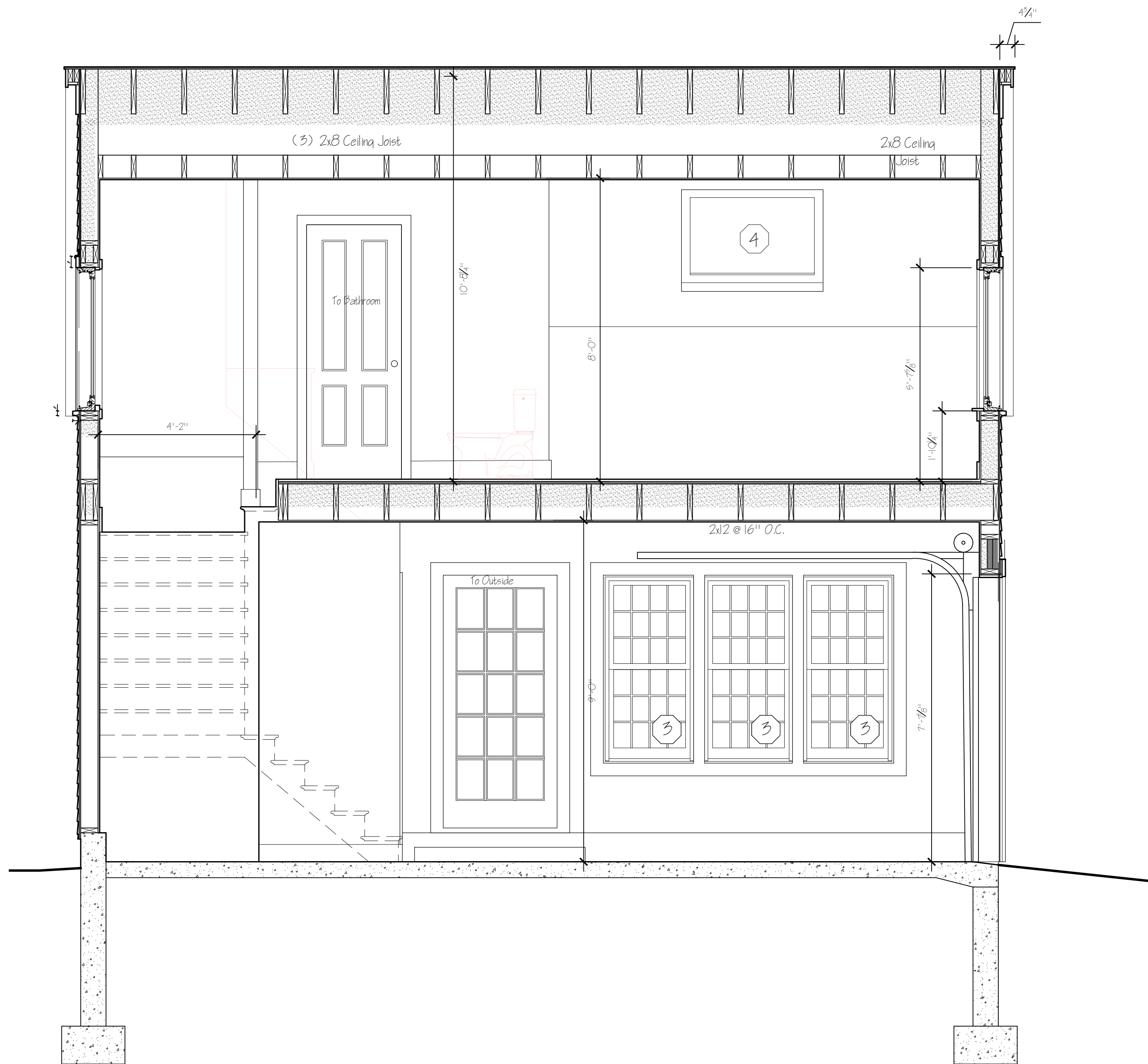
Drawn By:
Date: 31 October 2022

S E Y M O U R
447 Main Street
Burlington, VT
RAMSAY GOURD ARCHITECTS
7190 Main Street • Manchester Center, VT
(802) 362-1480 • FAX (802) 362-0179



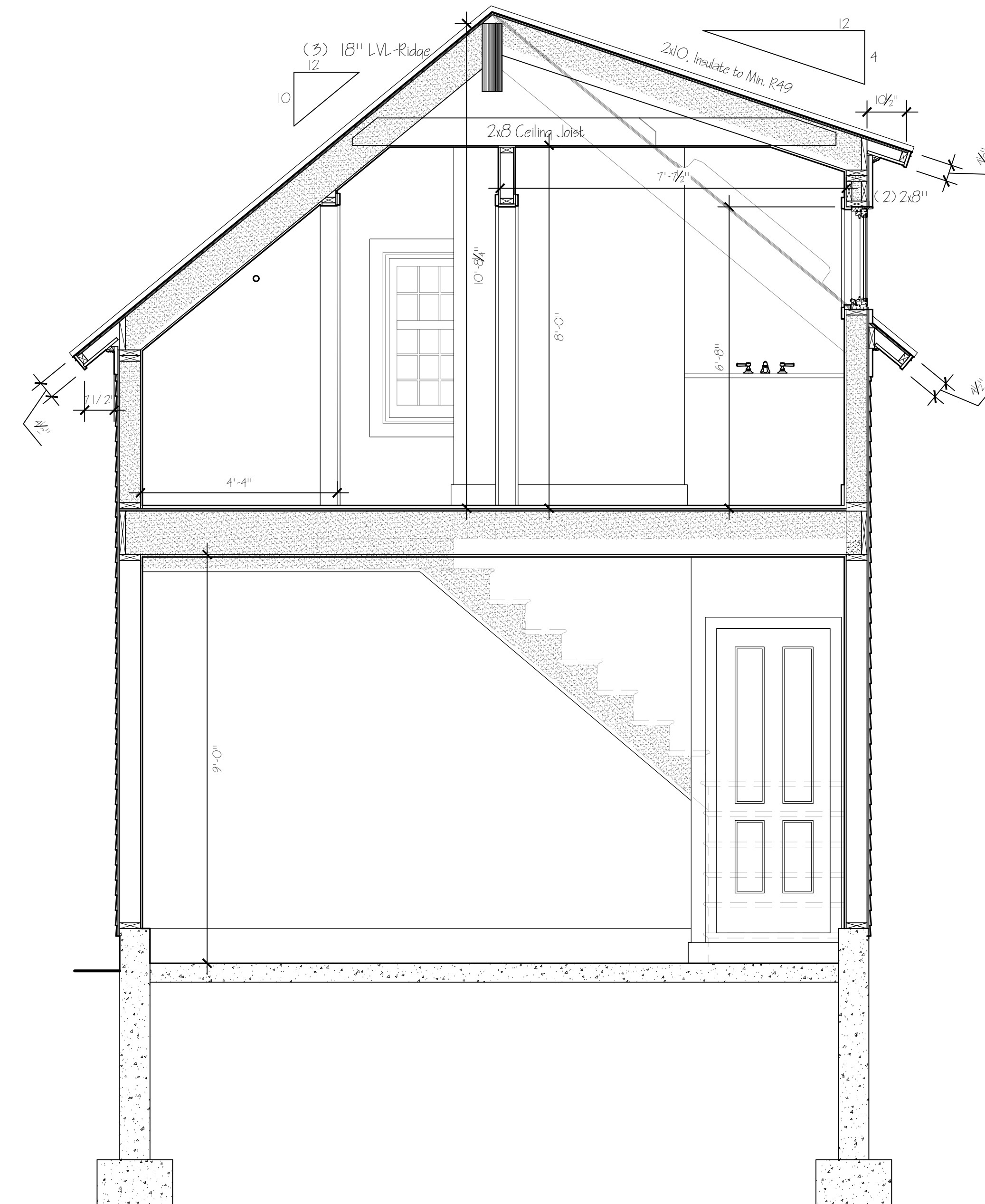
Exterior Elevation

A-2.4



1 Building Section

Scale: 1/2" = 1'-0"



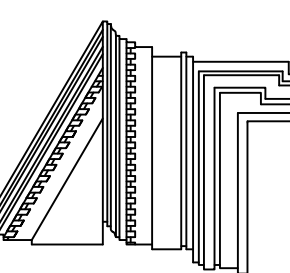
2 Building Section

Scale: 1/2" = 1'-0"

Revisions:

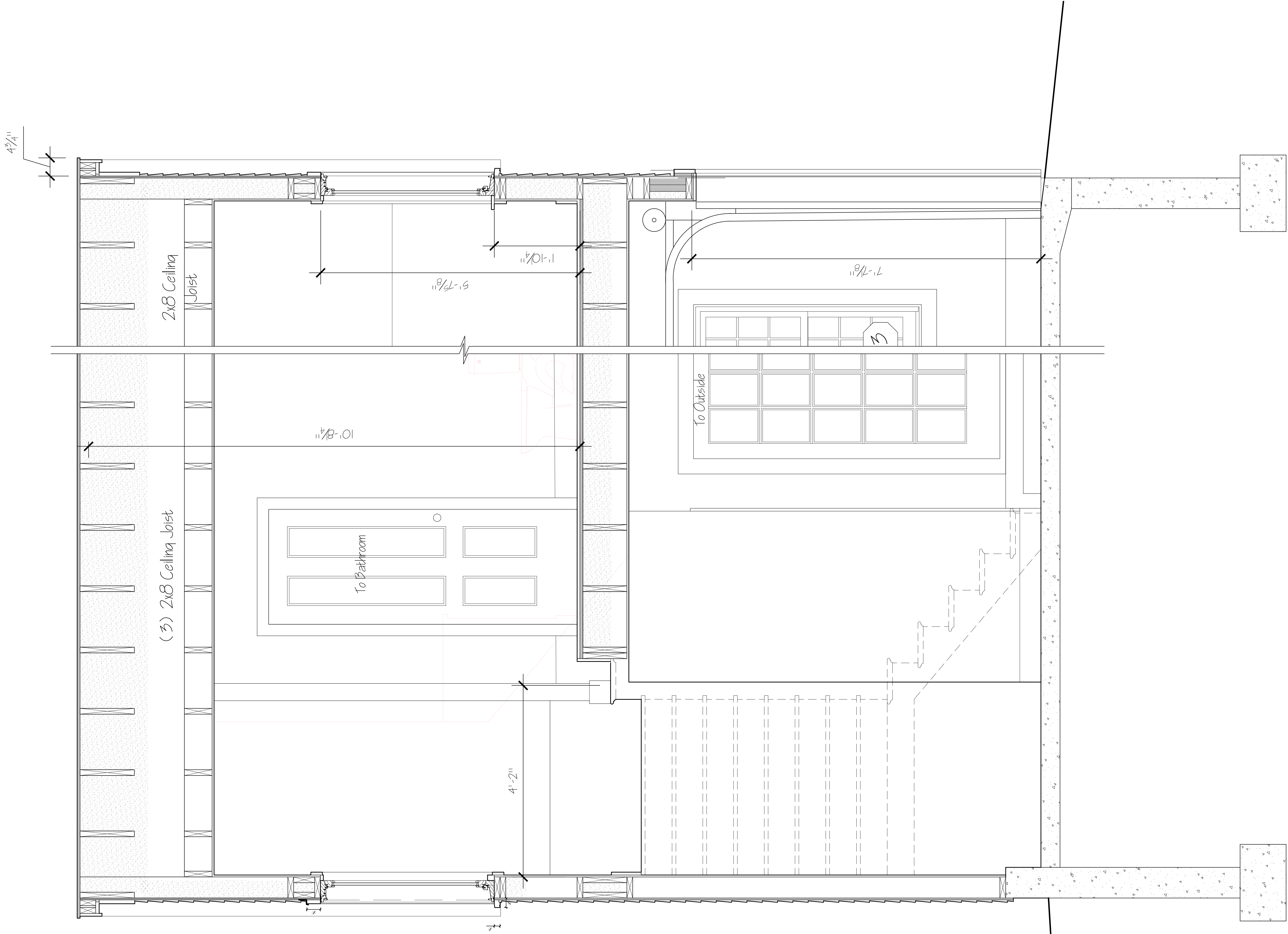
Drawn By:
Date: 31 October 2022

S E Y M O U R
447 Main Street
Burlington, VT
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7190 Main Street • Manchester Center, VT
(802) 362-1480 • FAX (802) 362-0179



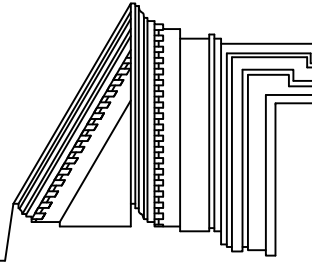
Sections

A-3.1



1 Building Section

Scale: 1" = 1'-0"



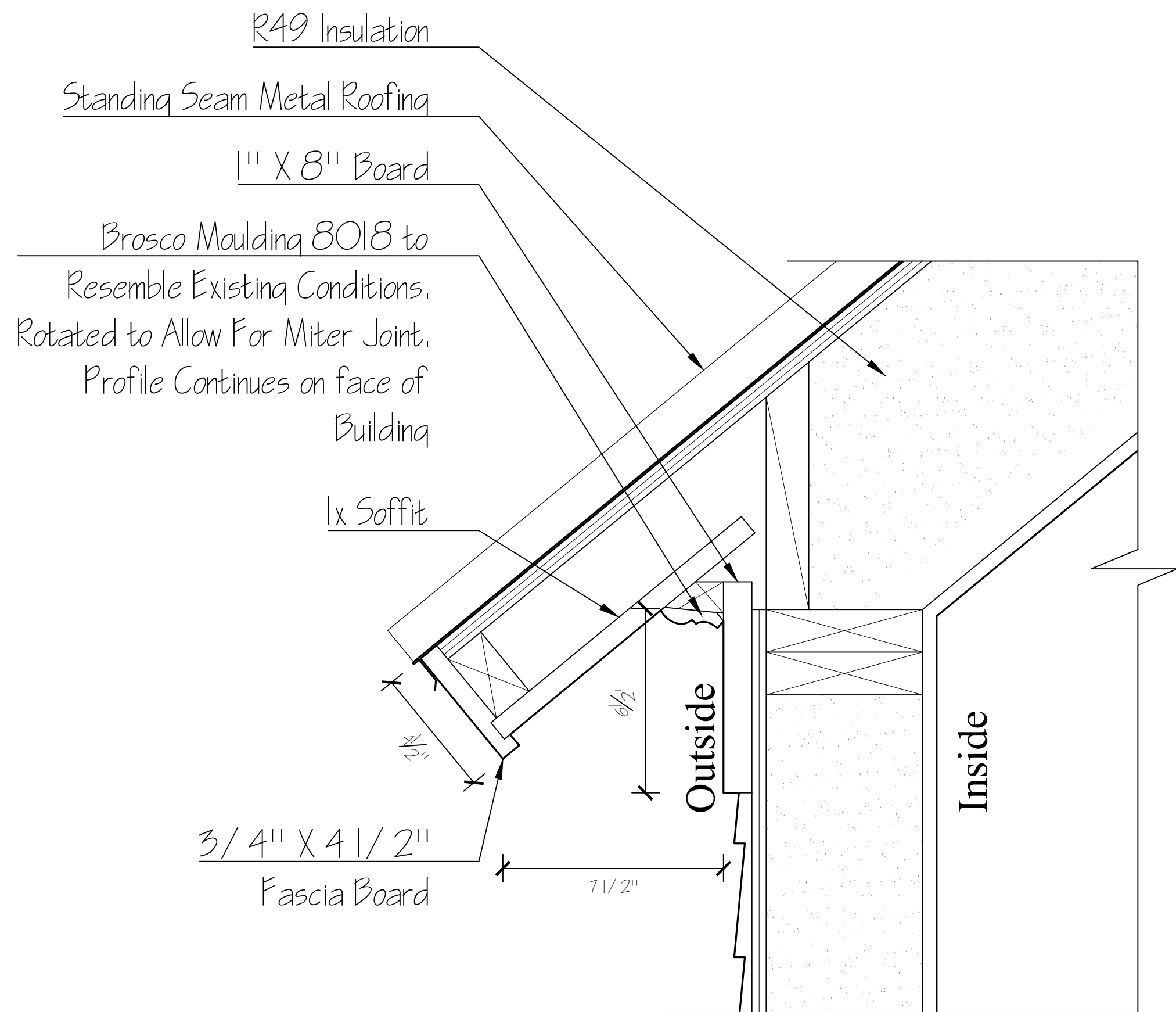
Sections

A-3.2

S E Y M O U R
447 Main Street
RAMSAY GOURD ARCHITECTS
7190 Main Street • Manchester Center, VT
(802) 362-1480 • FAX (802) 362-0179
Burlington, VT

Drawn By:
Date: 31 October 2022

Revisions:



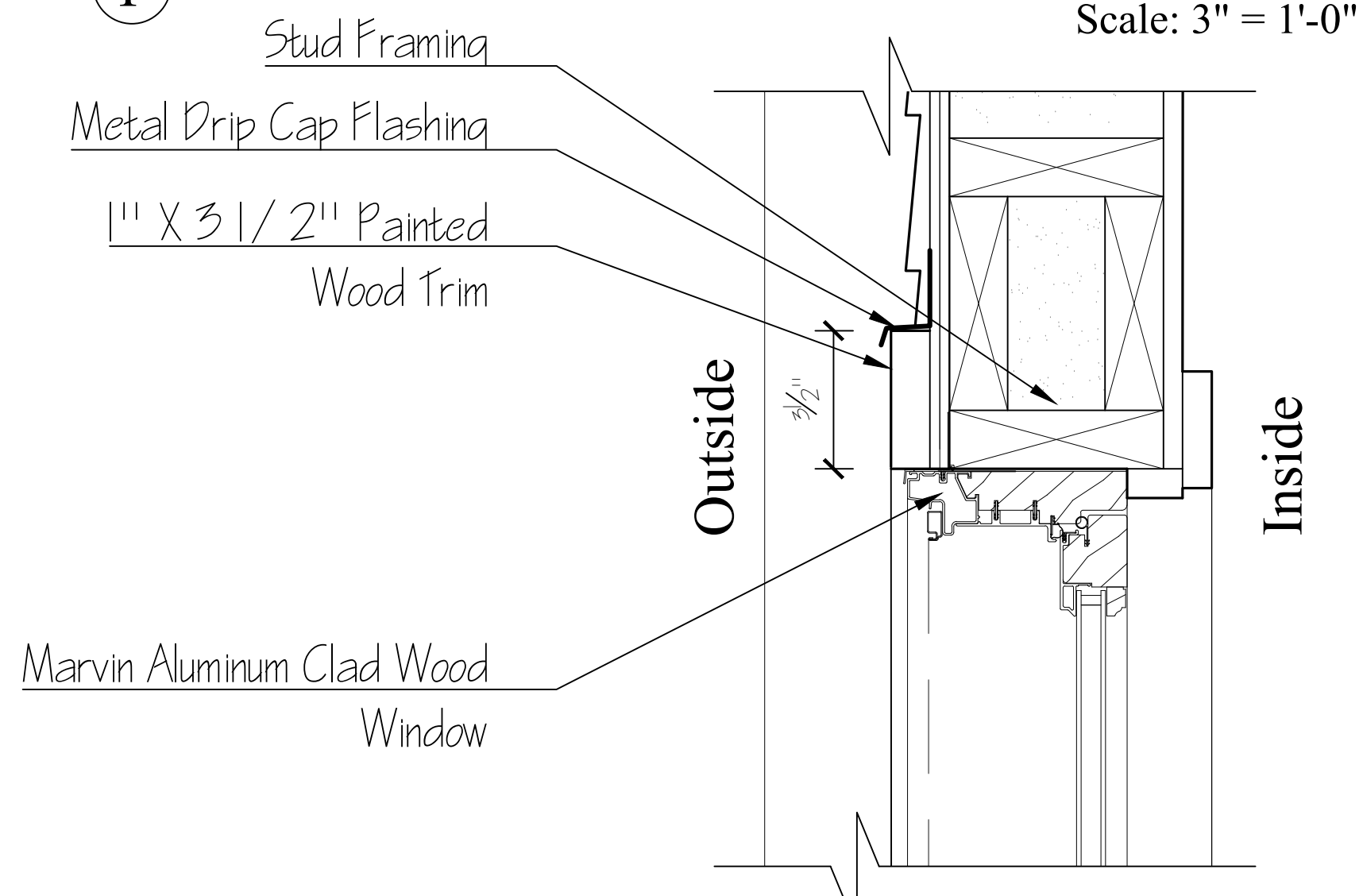
① Typical Eave Detail

Scale: 3" = 1'-0"



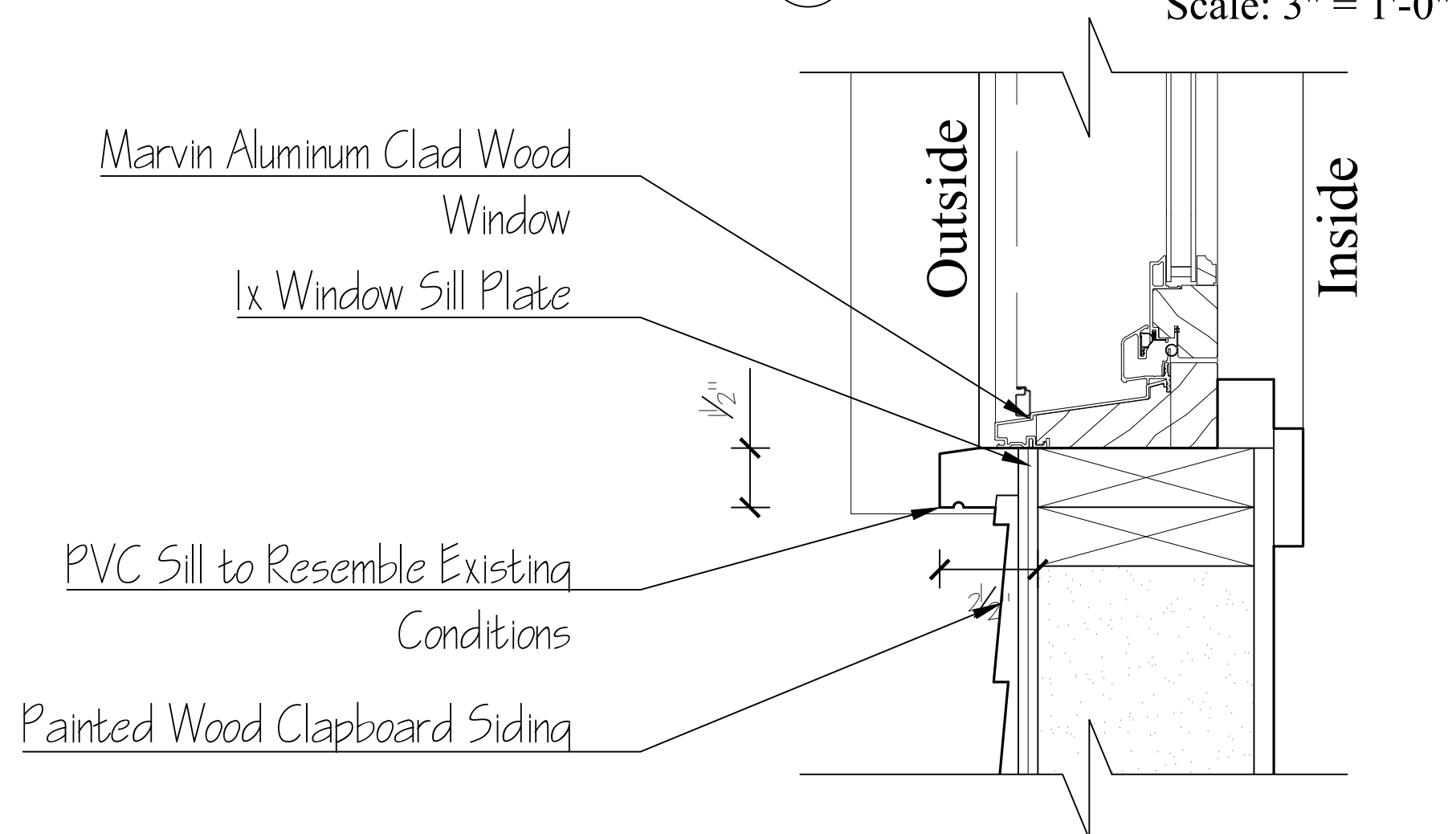
② Typical Eave Detail, Existing

Scale: NTS



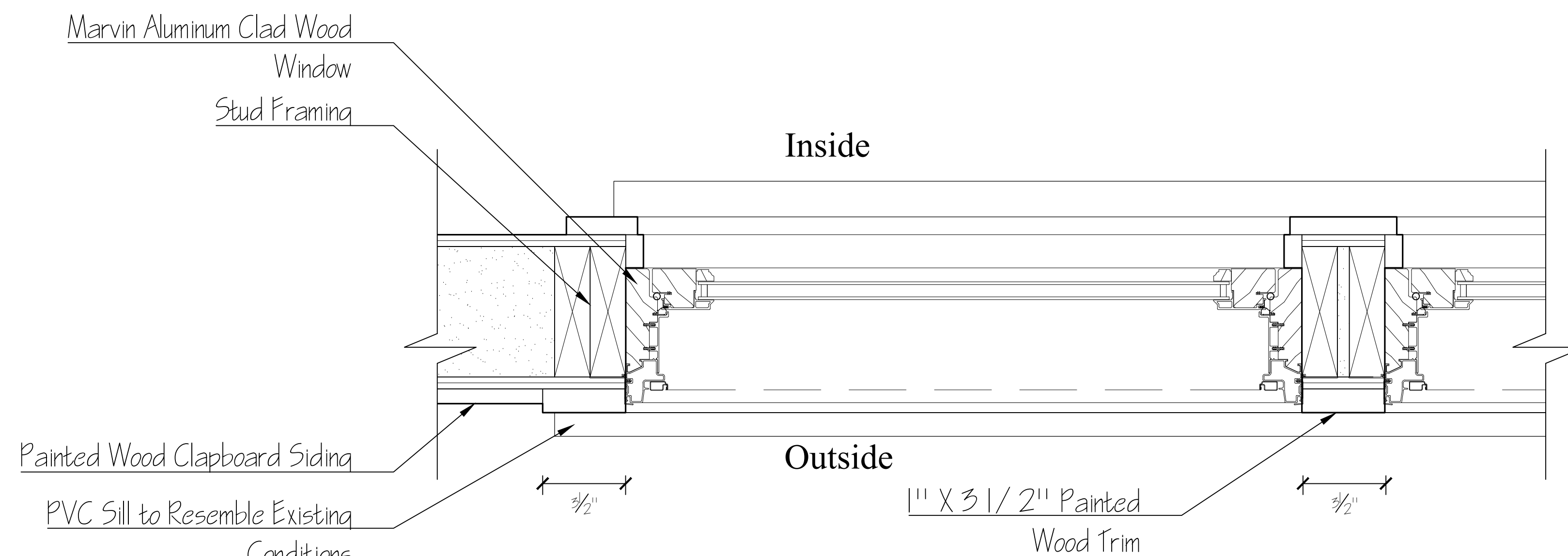
③ Window Head Detail

Scale: 3" = 1'-0"



④ Window Sill Detail

Scale: 3" = 1'-0"



⑤ Window Plan Detail

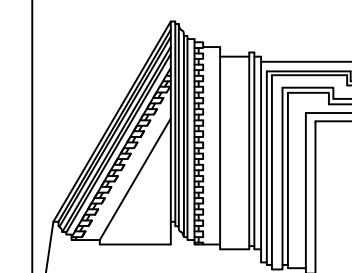
Scale: 3" = 1'-0"

Revisions:

Drawn By:

Date: 31 October 2022

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447 Main Street
Burlington, VT
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(802) 362-1480 • FAX (802) 362-0179



Sections

A-4.1

DESIGN ADVISORY BOARD

January - December 2023

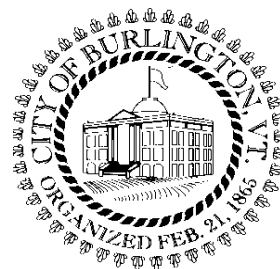
Regularly Scheduled Meetings - 2nd and 4th Tuesdays

Date of Meeting	Day of Week	Time	Location	Application Deadline Wed 4pm
January 10, 2023	Tuesday	3:00 PM	DPI Conference Room	December 28, 2022
January 24, 2023	Tuesday	3:00 PM	DPI Conference Room	January 11, 2023
February 14, 2023	Tuesday	3:00 PM	DPI Conference Room	February 1, 2023
February 28, 2023	Tuesday	3:00 PM	DPI Conference Room	February 15, 2023
March 14, 2023	Tuesday	3:00 PM	DPI Conference Room	March 1, 2023
March 28, 2023	Tuesday	3:00 PM	DPI Conference Room	March 15, 2023
April 11, 2023	Tuesday	3:00 PM	DPI Conference Room	March 29, 2023
April 25, 2023	Tuesday	3:00 PM	DPI Conference Room	April 12, 2023
May 9, 2023	Tuesday	3:00 PM	DPI Conference Room	April 26, 2023
May 23, 2023	Tuesday	3:00 PM	DPI Conference Room	May 10, 2023
June 13, 2023	Tuesday	3:00 PM	DPI Conference Room	May 31, 2023
June 27, 2023	Tuesday	3:00 PM	DPI Conference Room	June 14, 2023
July 11, 2023	Tuesday	3:00 PM	DPI Conference Room	June 28, 2023
July 25, 2023	Tuesday	3:00 PM	DPI Conference Room	July 12, 2023
August 8, 2023	Tuesday	3:00 PM	DPI Conference Room	July 26, 2023
August 22, 2023	Tuesday	3:00 PM	DPI Conference Room	August 9, 2023
September 12, 2023	Tuesday	3:00 PM	DPI Conference Room	August 30, 2023
September 26, 2023	Tuesday	3:00 PM	DPI Conference Room	September 13, 2023
October 10, 2023	Tuesday	3:00 PM	DPI Conference Room	September 27, 2023
October 24, 2023	Tuesday	3:00 PM	DPI Conference Room	October 11, 2023
November 14, 2023	Tuesday	3:00 PM	DPI Conference Room	November 1, 2023
November 28, 2023	Tuesday	5pm	DPI Conference Room	November 15, 2023
December 12, 2023	Tuesday	5pm	DPI Conference Room	November 29, 2023
December 26, 2023	Tuesday	5pm	DPI Conference Room	December 13, 2023

Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Joseph Cava, Planning Technician
Celeste Crowley, Permit Administrator
Theodore Miles, Zoning Specialist



MEMORANDUM

To: The Historic Preservation Review Committee
From: Mary O'Neil, AICP, Principal Planner
RE: 67-71 North Street
Date: November 8, 2022

EBI Project #
6122009734

Location: 67-71 North Street

Zone: NMU **Ward:** 3C
Date received: Notice of Section 106 Invitation to Comment: 10.18.2022

Applicant/ Owner: PHE Inc. (Bissonnette properties)

Request: Verizon Wireless proposes to collocate antennas at a top height of 34' above grade on the 27' building. Review is invited as part of the Section 106 process, and the proposed project's potential effect to historic properties.

Background: Original wireless telecom installation was reviewed by the CLG/HPRC August 25, 2015.

Overview: To comply with Section 106 of the National Historic Preservation Act (NHPA) of 1966, Cellco Partnership/Verizon Wireless has retained EBI to evaluate proposed wireless telecommunication facilities for any adverse effect it may have on historic properties. This is a co-location; telecom equipment was installed in 2015; this application proposes modifications.

The subject property is listed on the National Register of Historic Places within the North Street Historic District. Built between 1894 and 1900, the building is an Italianate two story brick veneer structure on the corner of Park and North Streets. Originally constructed with a commercial storefront facing North Street, the storefront has been infilled. What had been a tobacco store and three apartments is now entirely residential. The building remains a strong visual cornerstone for the block. The following is the narrative from the National Park Service, Department of the Interior.



23) 71 North Street / c. 1894-1900

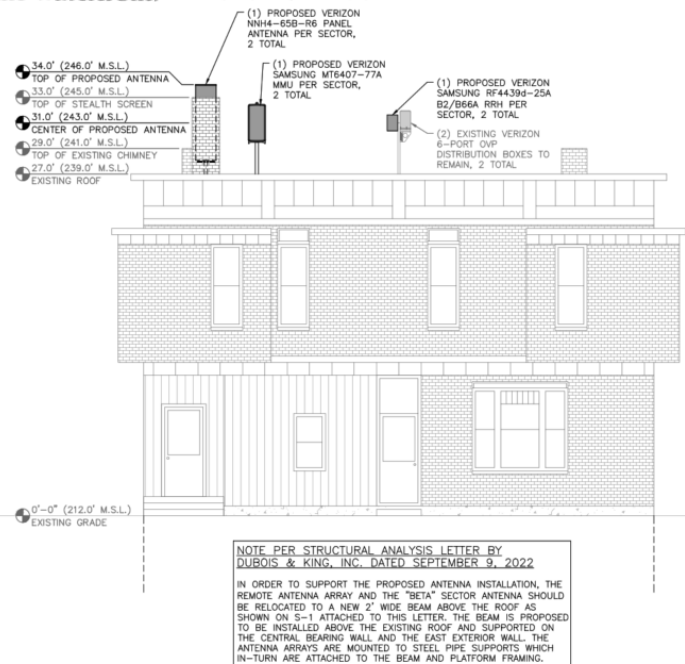
This Italianate style, two story, 4x4 bay rectangular block has oriels on the second story corners of the facade. The foundation is stone, the walls are covered with brick veneer and the roof has built up covering. The cornice is embellished with scrolled, paired brackets with smaller brackets placed in between the larger brackets. The oriel windows are embellished with scrolled brackets, as is a wall cornice separating the first and second floors on the east and north facades. Both cornices also feature decorative panels. The north facade features a Chicago style window adorned with a row of poly-chromed fixed panes above the center window. The center entry faces north, is slightly recessed, is wood with a plain surround and features a transom light. Other windows are 1/1 with molded cornice caps. A canted entrance, located at the northeast corner, used to serve as the main store entry but has since been boarded over with vertical siding and remodeled into an apartment. Porches are located on the rear elevation.

This replaced a building that originally fronted North Champlain Street and this reorientation reflects the commercial vitality of North Street around the turn of the century. The building

serves as a visual cornerstone for the block. It originally housed a tobacco store and three apartments let to industrial laborers employed on the waterfront.



2015 application



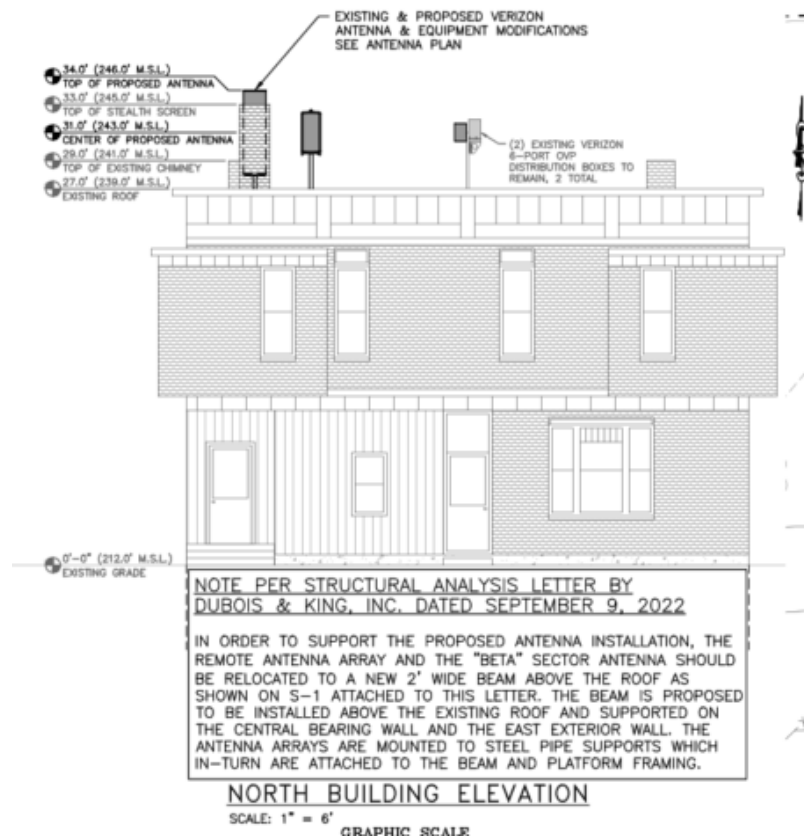
2022 application

At present two rooftop antennas rise 7' above the roofline encased within false brick chimneys. A radio head mounting frame is on the center of the roof. There is a ground mounted auxiliary generator and interior (basement) equipment cabinets.

In order to support the proposed antenna installation, the remote antenna array and the "BETA" sector antenna are proposed to be relocated to a new 2' wide beam above the roof as shown on Plan S-1 (last page of the submission.) The beam is proposed to be installed above the existing

roof and supported on the central bearing wall and the east exterior wall. The antenna arrays are mounted to steel Pipe supports which are attached to the beam and platform framing.

Here is the proposed north building elevation, with telecom installation:



There is no attached structural analysis letter from Dubois & King as referenced on Plan C-1, Notes. There is no explanation of what "adjust chimney" may entail, as described on Plan C-2, although the 2015 application noted that the chimneys were false.

As a Certified Local Government, Burlington is a consulting party to the Section 106 Review. The Historic Preservation Review Committee, acting on behalf of the CLG is charged with determining the following:

Does the proposed project constitute an Adverse Effect? From 36 CFR Part 800, *Protection of Historic Properties*, §800.5 as published in the Federal Register, Vol. 64 No. 95 / Rules and Regulations:

1. *Criteria of Adverse Effect.* An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative.
2. *Examples of adverse effects.* Adverse effects on historic properties include, but are not limited to:
 - i. Physical destruction of or damage to all or part of the property;
 - ii. Alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines;
 - iii. Removal of the property from its historic location;
 - iv. Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance;
 - v. Introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features;
 - vi. Neglect of a property resulting in its deterioration or destruction;
 - vii. Transfer, lease or sale of property ...

Applying the criteria of effect and adverse effect.

When applying the criteria of *effect* and *adverse effect*, there are three possible findings:

- **No effect.** There is no effect of any kind (neither harmful nor beneficial) on the historic property;
- **No adverse effect.** There could be an effect, but the effect would not be harmful to those characteristics that qualify the property for inclusion in the National Register; or
- **Adverse effect;** There could be an effect, and that effect could diminish the integrity of such characteristics.

The CLG's responsibility in a finding of:

- **No effect** - Notify the State Historic Preservation Officer (SHPO), compile documentation.
- **Effect is found** - Notify SHPO, seek concurrence. Forward to Council if advised.
- **No adverse effect** - Notify SHPO, seek concurrence. Forward to Council if advised.
- **Adverse effect** – Notify SHPO. Begin Consultation process between agency (FCC), SHPO and Council for Historic Preservation.

October 18, 2022

City of Burlington Department of Permitting and Inspections
Attn: Mary O'Neil, AICP, Senior Planner
645A Pine Street
P.O. Box 849
Burlington, VT 05402
(802) 865-7556
mconeil@burlingtonvt.gov

Subject: Invitation to Comment
16831059 / BURL N CHAMPLAIN I VT - A
67/71 North Street, Burlington, Chittenden County, Vermont 05401
EBI Project #6122009734

Dear Mary O'Neil:

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc., on behalf of Cellco Partnership and its controlled affiliates doing business as Verizon Wireless (Verizon Wireless), provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Verizon Wireless proposes to collocate antennas at a top height of 34 feet above grade on the 27-foot building (34 feet overall height). Please refer to the attached plans for additional details.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at 21 B Street, Burlington, MA 01803, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days.

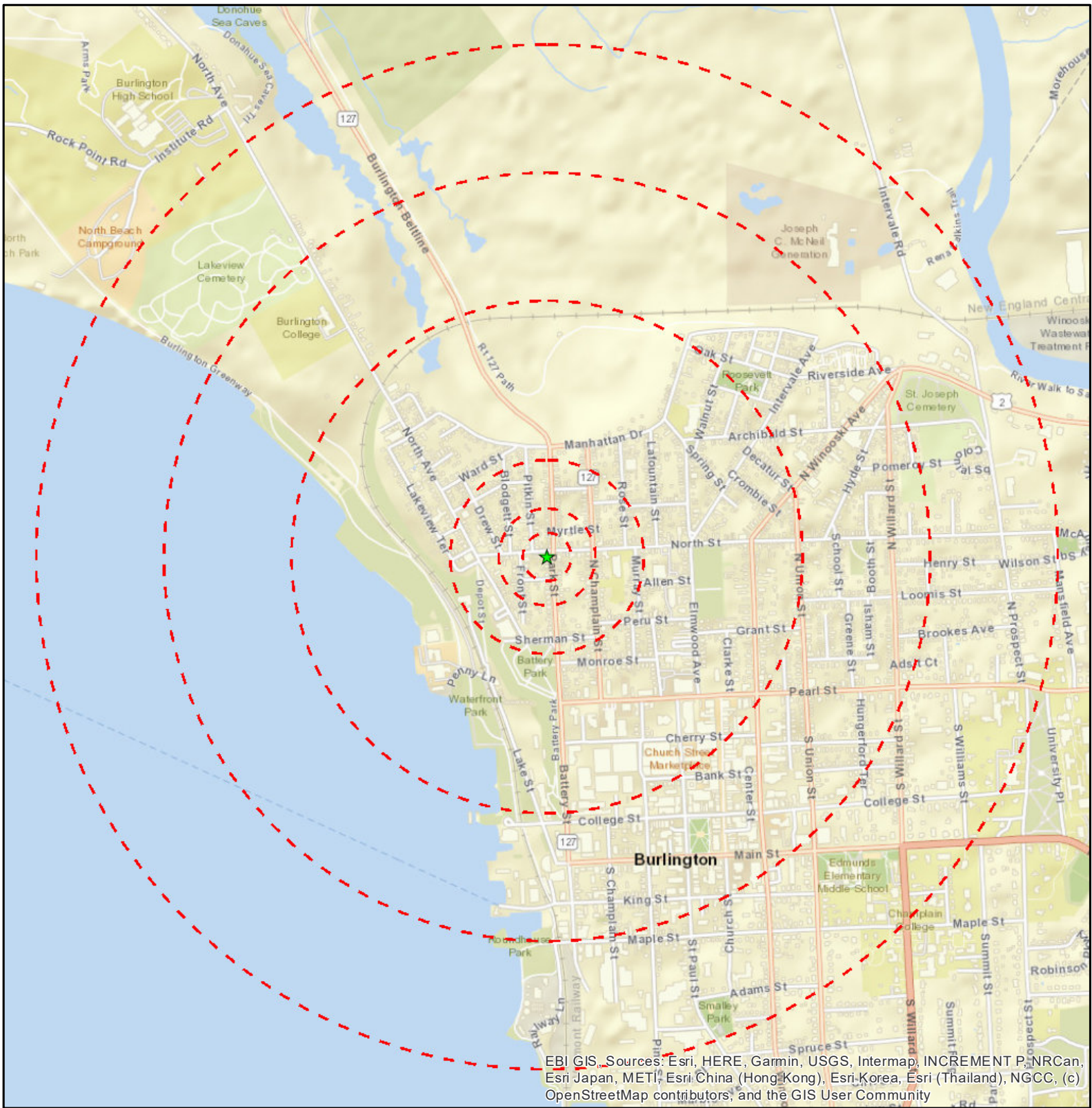
Note that this project will be entered into the Federal Communication Commission's e106 System, which will send notifications of the project throughout the Section 106 process.

Respectfully Submitted,



Jennifer L. Davis
Senior Architectural Historian
P: 203-231-6643
jdavis@ebiconsulting.com

Attachments - Drawings and Maps



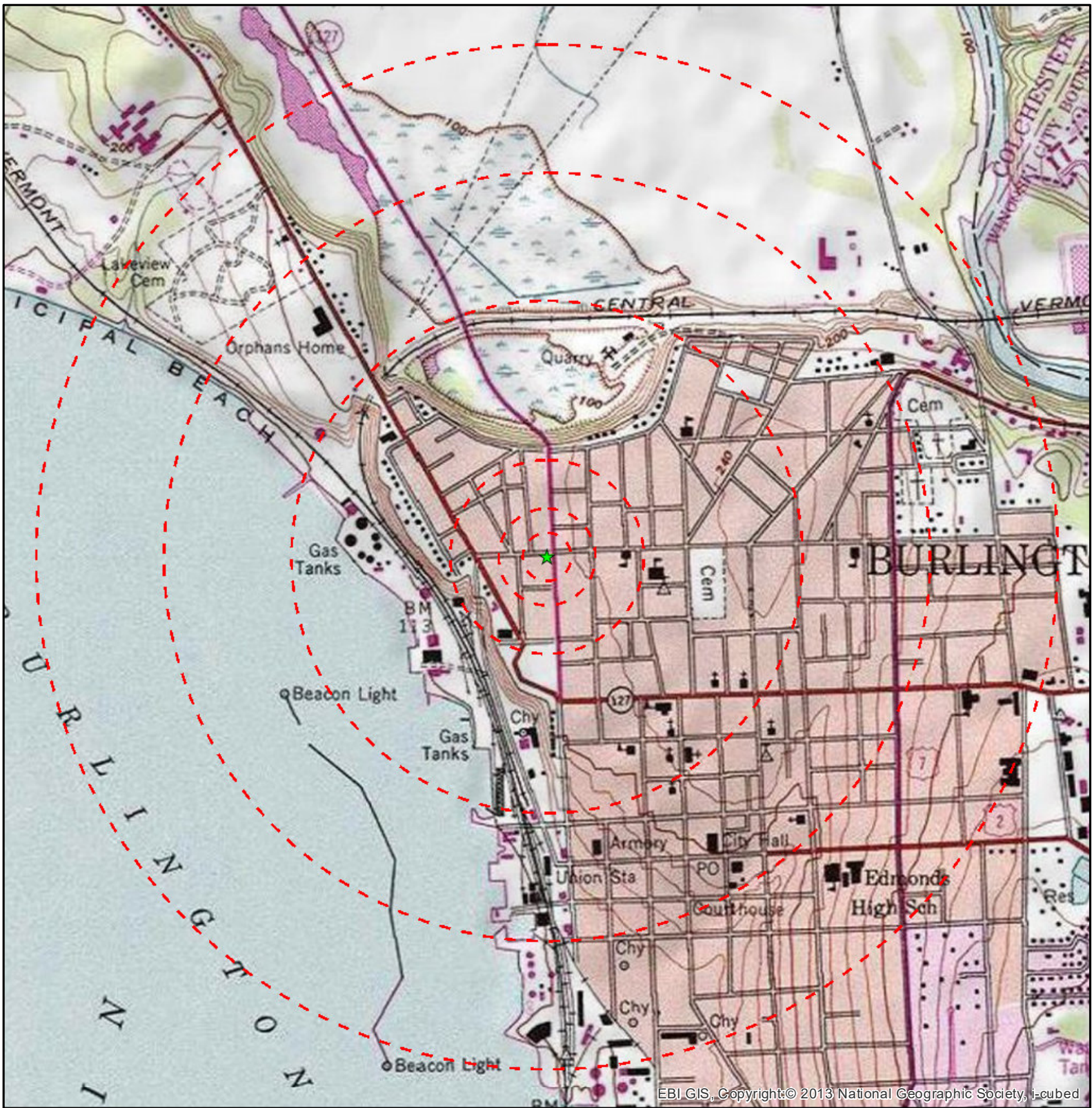
Legend

- ★ Project Site
- Site Radius at 250', 500', 1000', 1/2, 3/4 & 1 mile

Date: 10/3/2022

Figure 1: Site Location Map

16831059 BURL N CHAMPLAIN 1 VT - A
 67/71 NORTH STREET
 BURLINGTON, VT 05401



Legend

- ★ Project Site
- Site Radius at 250', 500', 1000', 1/2, 3/4 & 1 mile

USGS 24K Quad: Burlington, VT 1986

Date: 10/3/2022

Figure 2 - Topographic Map

16831059 BURL N CHAMPLAIN 1 VT - A
67/71 NORTH STREET
BURLINGTON, VT 05401

PN: 6122009734



VERIZON WIRELESS

SITE CONSTRUCTION DRAWINGS

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING
DIMENSIONS & CONDITIONS ON THE JOB SITE &
SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S
REPRESENTATIVE IN WRITING OF DISCREPANCIES
BEFORE PROCEEDING WITH THE WORK OR BE
RESPONSIBLE FOR SAME.

SHEET INDEX

SHEET T-1	TITLE SHEET
SHEET C-1	ROOF PLAN & BUILDING ELEVATION
SHEET C-2	ANTENNA PLAN, DETAILS & NOTES
SHEET C-3	ANTENNA DETAILS & NOTES
SHEET S-1	STRUCTURAL ROOF FRAMING PLAN, SECTIONS & NOTES

SITE NAME: BURL N. CHAMPLAIN 1 VT

PROPERTY OWNER: ALPH REALTY, INC.
C/O BISSONETTE PROPERTIES
100 NORTH STREET
BURLINGTON, VT 05401

ADDRESS: 67-71 NORTH STREET
BURLINGTON, VT 05401

COORDINATES: 44° 29' 03.76"± N
73° 13' 10.35"± W

APPLICANT: BELL ATLANTIC MOBILE SYSTEMS OF ALLENTOWN, INC. AND CELLCO PARTNERSHIP
C/O BRIAN SULLIVAN, ESQ., MURPHY SULLIVAN KRONK
P.O. BOX 4485, 275 COLLEGE STREET
BURLINGTON, VT 05401-4485 802-861-7000

SCOPE OF WORK: PROPOSED ANTENNA & EQUIPMENT MODIFICATIONS TO AN EXISTING VERIZON WIRELESS
31'± ROOFTOP INSTALLATION.

NOTES

GENERAL NOTES

1. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
3. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.
4. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
6. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER.
7. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
8. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
9. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
10. ALL STRUCTURAL STEEL WORK SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS. ALL STRUCTURAL STEEL SHALL BE ASTM A36 ($F_y = 36$ ksi) UNLESS OTHERWISE NOTED. PIPES SHALL BE ASTM A53 TYPE E ($F_y = 36$ ksi). ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED. TOUCHUP ALL SCRATCHES AND OTHER MARKS IN THE FIELD AFTER STEEL IS ERECTED USING A COMPATIBLE ZINC RICH PAINT.
11. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. CONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.

12. THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION, ANY CONSTRUCTION WORK BY CONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
13. SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
14. APPLICABLE BUILDING CODES:
SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF THE CONTRACT AWARD SHALL GOVERN THE DESIGN.
BUILDING CODE: VERMONT STATE BUILDING CODE & TIA--222, REVISION G
ELECTRICAL CODE: REFER TO ELECTRICAL DRAWINGS
LIGHTNING CODE: REFER TO ELECTRICAL DRAWINGS

CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE
FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE
REQUIREMENTS FOR STRUCTURAL CONCRETE;

AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)

MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION;

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL
STANDARDS FOR STEEL

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

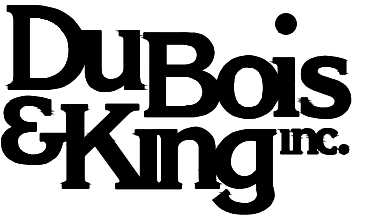
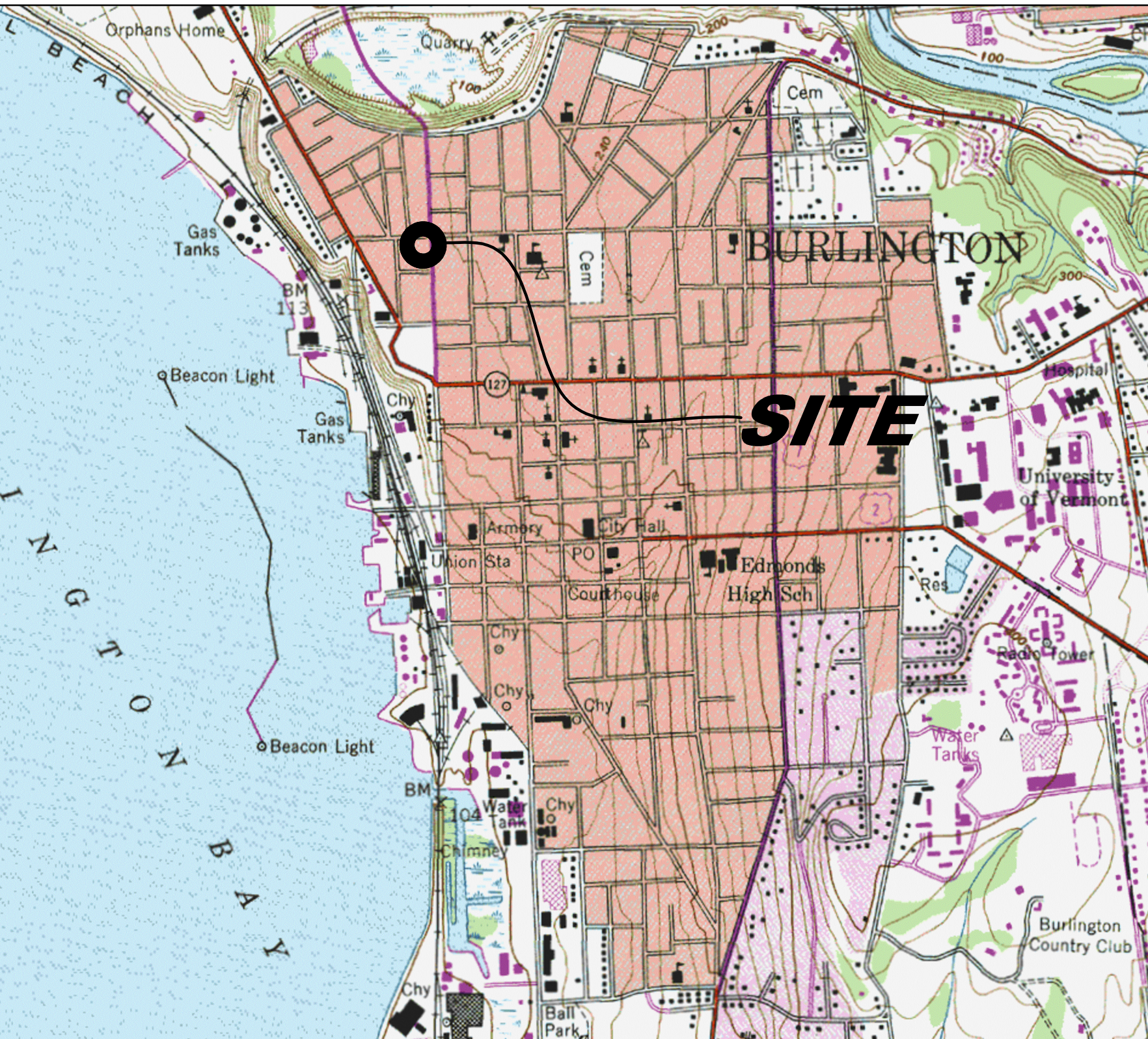
ELECTRICAL & GROUNDING NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.
2. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.
3. THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATION INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.

4. GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
5. ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
6. GROUNDING SHALL COMPLY WITH NEC ART. 250.
7. GROUND COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURER'S COAX CABLE GROUNDING KITS SUPPLIED BY PROJECT OWNER.
8. USE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
9. ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
10. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 7 FEET OF PROPOSED EQUIPMENT OR CABINET TO MASTER GROUND BAR.
11. CONNECTIONS TO MGB SHALL BE ARRANGED IN THREE MAIN GROUPS: SURGE PRODUCERS (COAXIAL CABLE GROUND KITS, TELCO AND POWER PANEL GROUND); (GROUNDING ELECTRODE RING OR BUILDING STEEL); NON-SURGING OBJECTS (EGB GROUND IN BTS UNIT).
12. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
13. APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUND CONNECTIONS.
14. BOND ANTENNA MOUNTING BRACKETS, COAXIAL CABLE GROUND KITS, AND ALNA TO EGB PLACED NEAR THE ANTENNA LOCATION.
15. BOND ANTENNA EGB'S AND MGB TO WATER MAIN.
16. TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION.
17. BOND ANY METAL OBJECTS WITHIN 7 FEET OF PROPOSED EQUIPMENT OR CABINET TO MASTER GROUND BAR.

LOCATION MAP

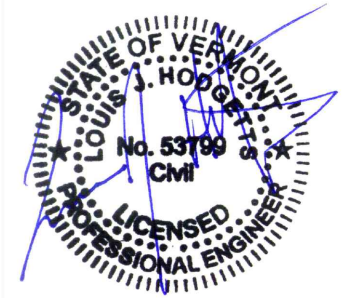
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PROFESSIONAL SEAL

[illegible]

PROJECT ID: 20222343362
PROJECT TYPE: 5GSB6
LOCATION CODE: 468486

**BURL
N. CHAMPLAIN
1 VT**

67-71 NORTH ST
BURLINGTON, VT
05401

SHEET TITLE

TITLE SHEET

CONSTRUCTION PLANS

DRAWN BY JWP	DATE SEPT. 2022
CHECKED BY GJO	D&K PROJECT # 422557L2
ROJ. ENG. LJH	D&K ARCHIVE #

SHEET NUMBER

T-1



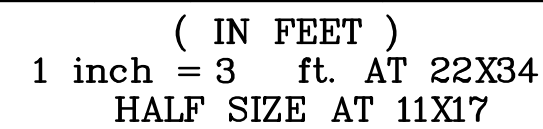
**BURL
N. CHAMPLAIN
1 VT**

SHEET TITLE

CONSTRUCTION PLANS

SHEET NUMBER

I:\4\410800X - Civil Proposals\Antenna Modifications\422557 VZW Burlington N Champlain\dwg\ANTMO\C22557_ANTMO.dwg



1. PLANS ARE BASED ON DUBOIS & KING, INC. CONSTRUCTION DRAWINGS DATED AUGUST 17, 2016.
2. REFER TO STRUCTURAL ANALYSIS LETTER BY DUBOIS & KING, INC. DATED SEPTEMBER 9, 2022 AND STRUCTURAL ROOF FRAMING PLAN, SECTIONS & NOTES BY DUBOIS & KING, INC. DATED SEPTEMBER 9, 2022 FOR REQUIRED MODIFICATIONS.



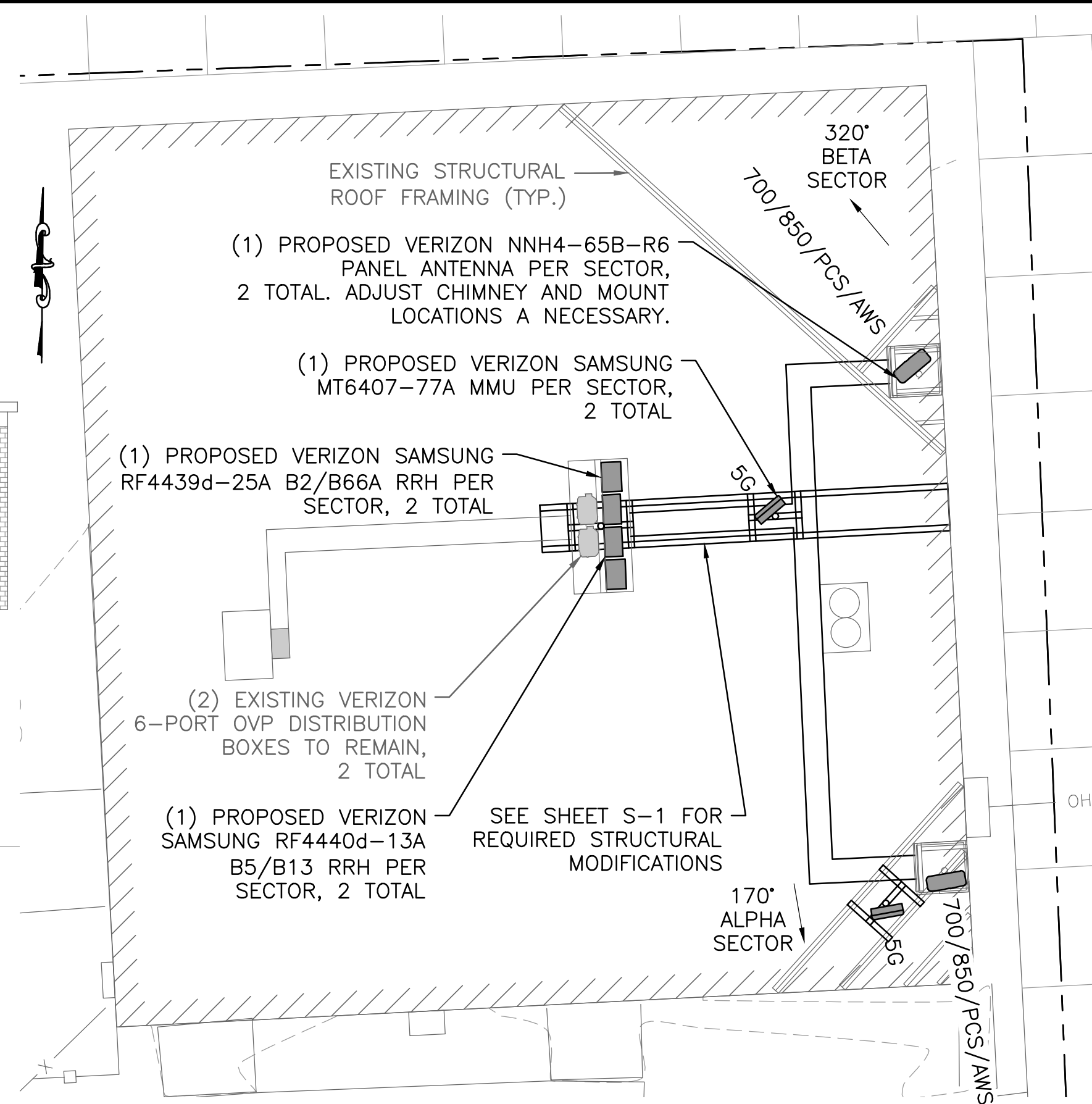
IN ORDER TO SUPPORT THE PROPOSED ANTENNA INSTALLATION, THE REMOTE ANTENNA ARRAY AND THE "BETA" SECTOR ANTENNA SHOULD BE RELOCATED TO A NEW 2' WIDE BEAM ABOVE THE ROOF AS SHOWN ON S-1 ATTACHED TO THIS LETTER. THE BEAM IS PROPOSED TO BE INSTALLED ABOVE THE EXISTING ROOF AND SUPPORTED ON THE CENTRAL BEARING WALL AND THE EAST EXTERIOR WALL. THE ANTENNA ARRAYS ARE MOUNTED TO STEEL PIPE SUPPORTS WHICH IN-TURN ARE ATTACHED TO THE BEAM AND PLATFORM FRAMING.

(IN FEET)
1 inch = 4 ft. AT 22X34
HALF SIZE AT 11X17

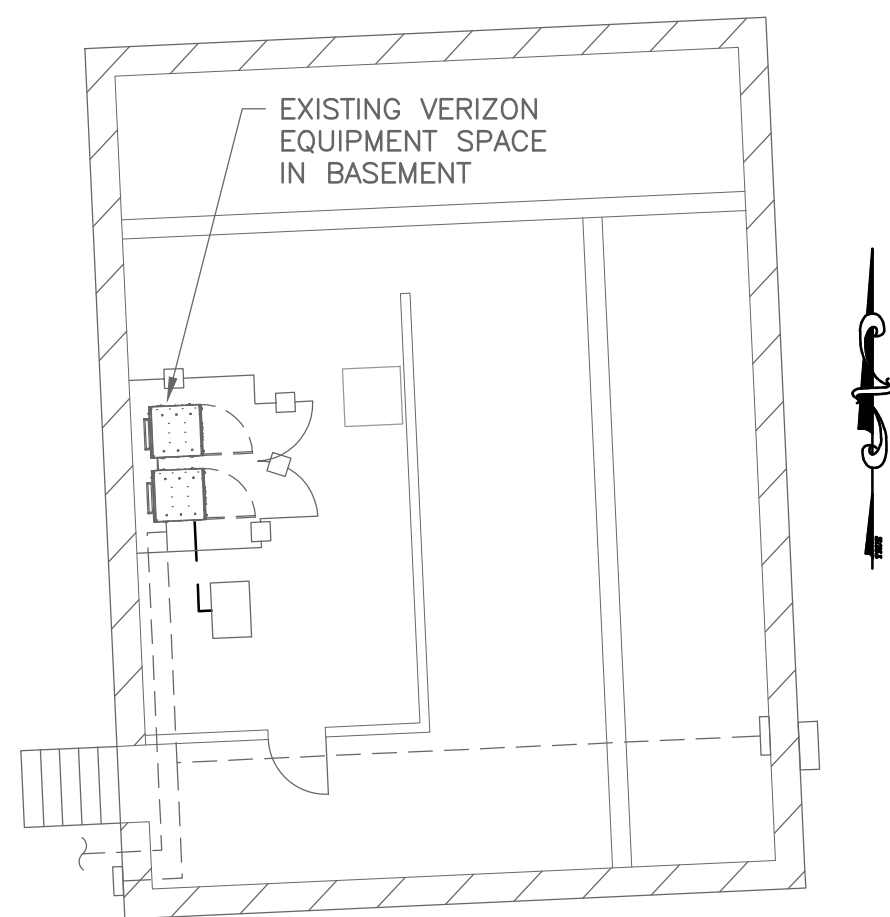


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SCALE: 1" = 6'



SCALE: 1" = 5'

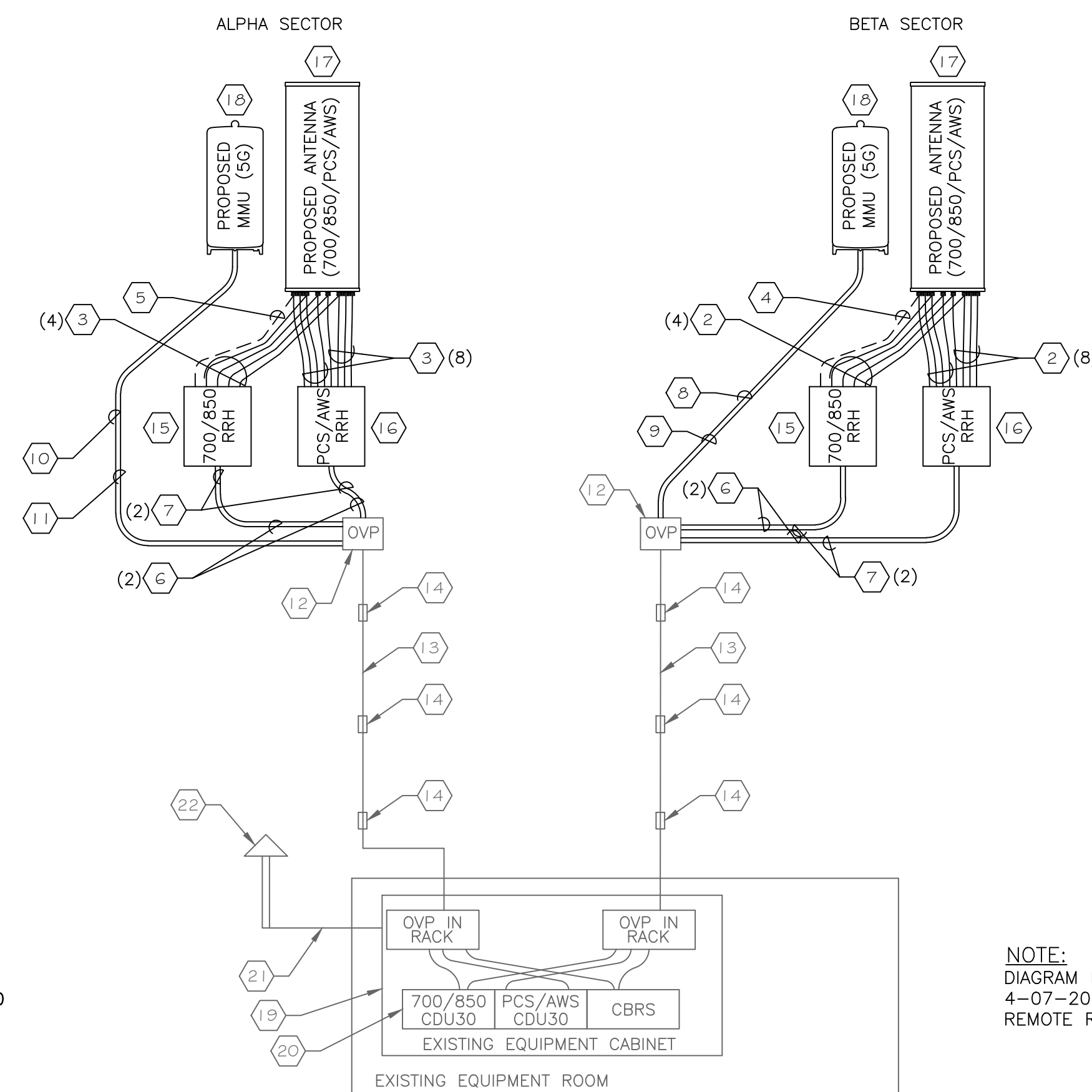


SCALE: 1" = 10'



1. CONTRACTOR SHALL REFER TO THE LATEST VERIZON WIRELESS RF DATA SHEET WHICH MAY INCLUDE ANTENNA SECTOR AZIMUTHS/ANTENNA CHANGES, ETC. THAT ARE REQUIRED AS PART OF THE PROJECT.
2. CONTRACTORS SHALL SECURE ALL CONTROL CABLES IN ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURERS INSTRUCTIONS. EXTERIOR CONTROL CABLES MAY BE TAPED OR TIE-WRAPPED TO EXISTING COAXIAL CABLES EVERY 4 FT. MAX. FOR HORIZONTAL RUNS. CONTRACTOR MAY USE HOISTING GRIPS AT TOP OF VERTICAL CABLE RUNS IN CERTAIN APPLICATIONS.
3. RET. CABLES SHALL BE ROUTED AND SECURED ON STRUCTURAL MEMBERS ONLY – DO NOT "LOOP" THE CABLES IN MID-AIR BETWEEN ANTENNAS.
4. CONTRACTOR SHALL VERIFY ALL CABLE LENGTHS PRIOR TO CONSTRUCTION.

BILL OF MATERIALS						
SITE NAME: BURL N. CHAMPLAIN 1 VT						
ITEM	DESCRIPTION	QTY	LENGTH	MODEL NUMBER	COMMENTS	SUPPLIED BY
1	PORT TERMINAL CAP	0	—	—	—	CONTRACTOR
2	1/2" CABLE JUMPERS	12	9m—29.52ft	—	—	VERIZON WIRELESS
3	1/2" CABLE JUMPERS	12	12m—39.36ft	—	—	VERIZON WIRELESS
4	RET CONTROL CABLE	1	9m—29.52ft	—	—	VERIZON WIRELESS
5	RET CONTROL CABLE	1	12m—39.36ft	—	—	VERIZON WIRELESS
6	POWER CABLE	4	10ft	—	—	VERIZON WIRELESS
7	FIBER CABLE	4	10ft	—	—	VERIZON WIRELESS
8	POWER CABLE	1	20ft	—	—	VERIZON WIRELESS
9	FIBER CABLE	1	20ft	—	—	VERIZON WIRELESS
10	POWER CABLE	1	40ft	—	—	VERIZON WIRELESS
11	FIBER CABLE	1	40ft	—	—	VERIZON WIRELESS
12	UPPER OVP	2	—	—	6-PORT (EXISTING TO REMAIN)	—
13	6x12 HYBRID CABLE	2	100ft	—	EXISTING TO REMAIN	—
14	GROUNDING KIT	6	—	GC—1	EXISTING TO REMAIN	CONTRACTOR
15	RRH	2	—	SAMSUNG RF4440d—13A ORAN B5/B13	700/850	VERIZON WIRELESS
16	RRH	2	—	SAMSUNG RF4439d—25A ORAN B2/B66A	PCS/AWS	VERIZON WIRELESS
17	ANTENNA	2	—	NNH4—65B—R6	700/850/PCS/AWS	VERIZON WIRELESS
18	MMU	2	—	SAMSUNG MT6407—77A	5G	VERIZON WIRELESS
19	EQUIPMENT CABINET	1	—	—	42" TALL (2) OVP EQUIPMENT CABINET	VERIZON WIRELESS
20	CDU30	1	—	—	700/850, PCS/AWS, CBRS (EXISTING TO REMAIN)	VERIZON WIRELESS
21	GPS CABLE (TO ROOF)	1	100ft	—	—	VERIZON WIRELESS
22	GPS ANTENNA	1	—	—	—	VERIZON WIRELESS



NOT TO SCALE

NOTE:
DIAGRAM BASED ON RFDS DATED
4-07-2022. SEE RFDS FOR ANTENNA AND
REMOTE RADIO-HEAD CONFIGURATION.

[illegible]

PROJECT ID: 20222343362
PROJECT TYPE: 5GSB6
LOCATION CODE: 468486

**BURL
N. CHAMPLAIN
1 VT**

67-71 NORTH ST
BURLINGTON, VT
05401

SHEET TITLE	
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ANTENNA PLAN, DETAILS & NOTES

CONSTRUCTION PLANS

DRAWN BY JWP	DATE SEPT. 2022
CHECKED BY GJO	D&K PROJECT # 422557L2
PROJ. ENG. LJH	D&K ARCHIVE #

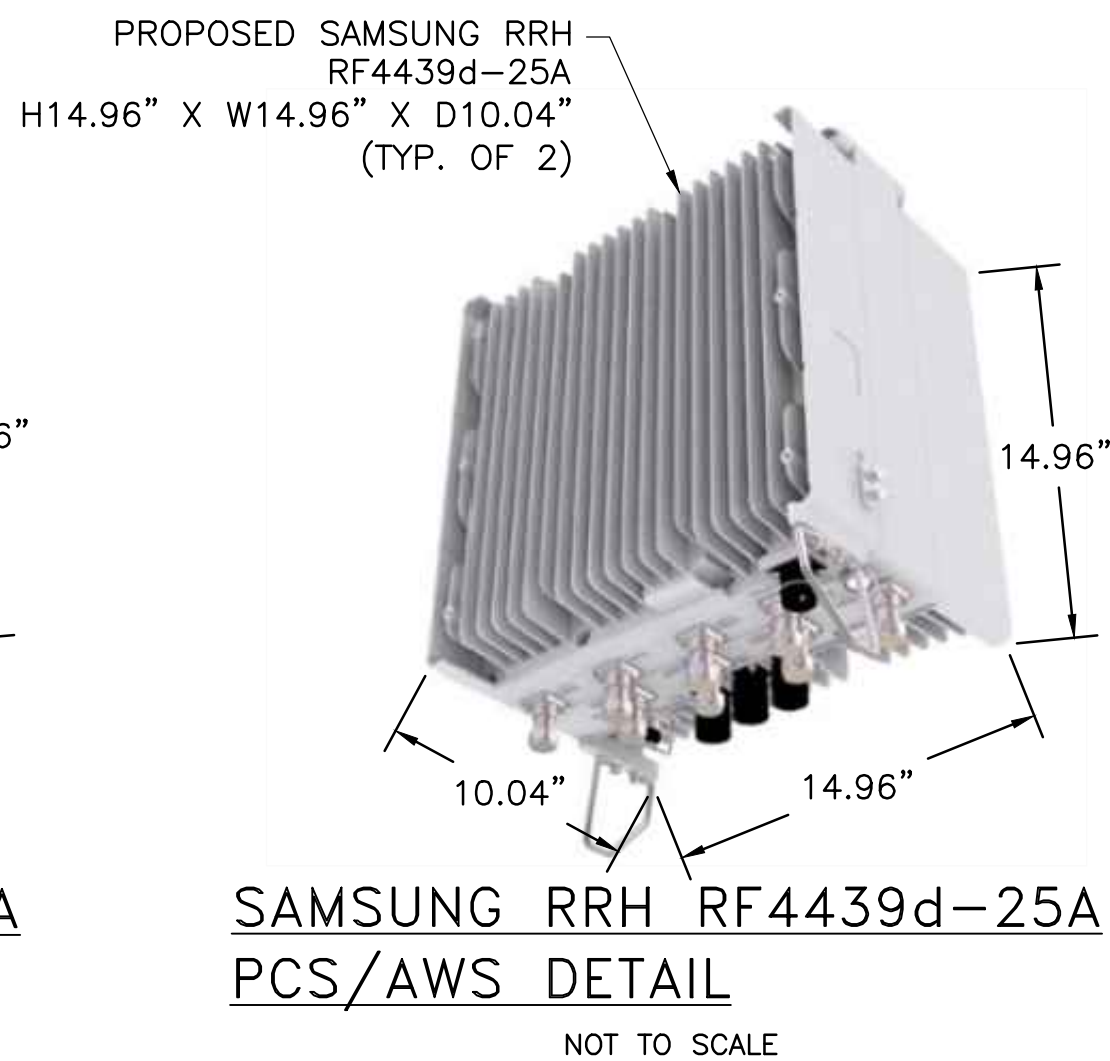
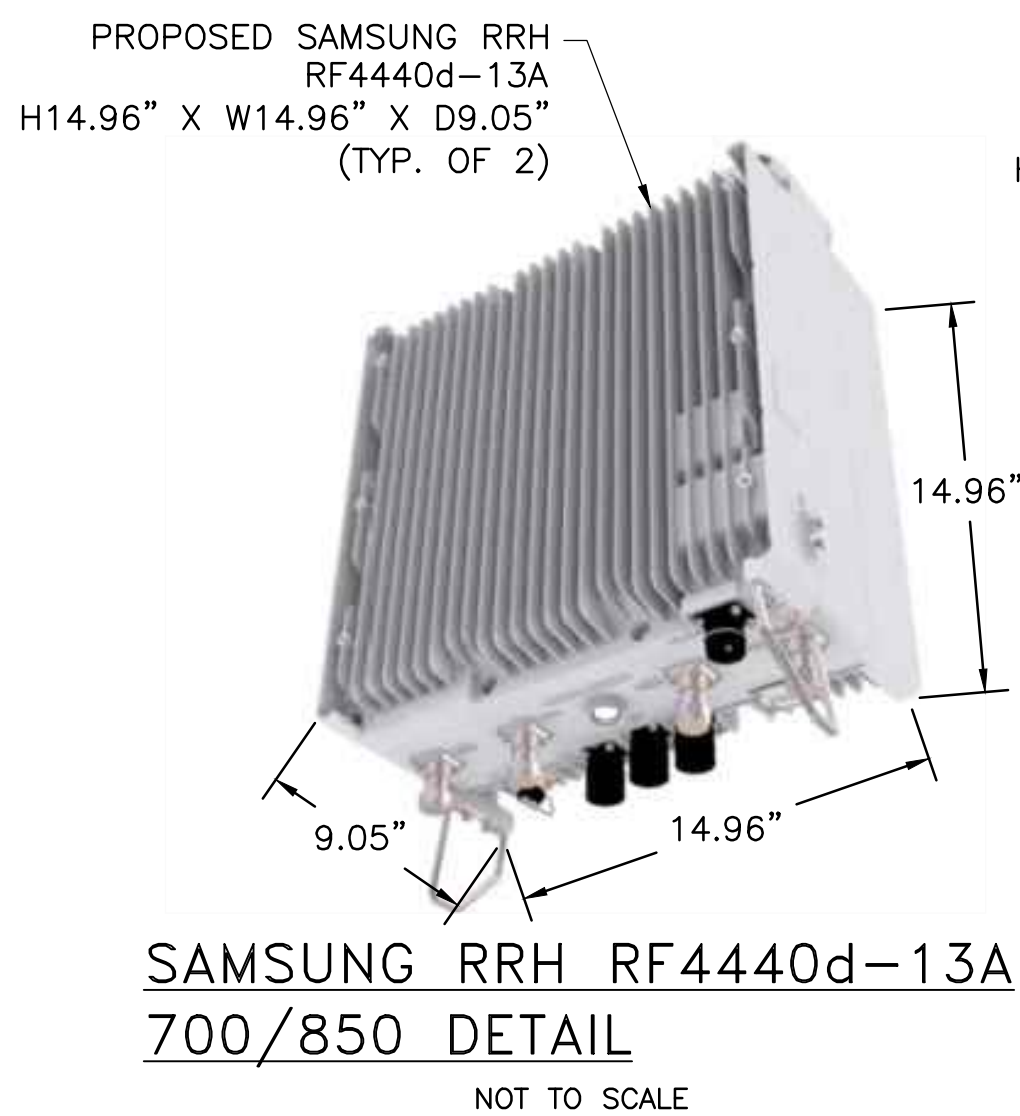
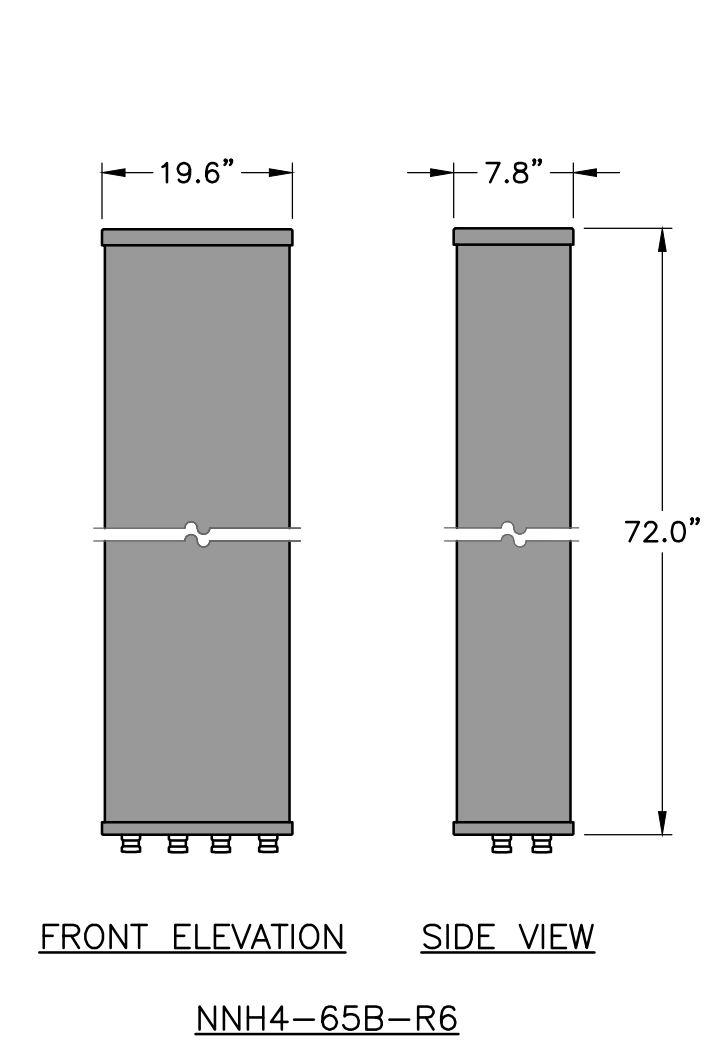
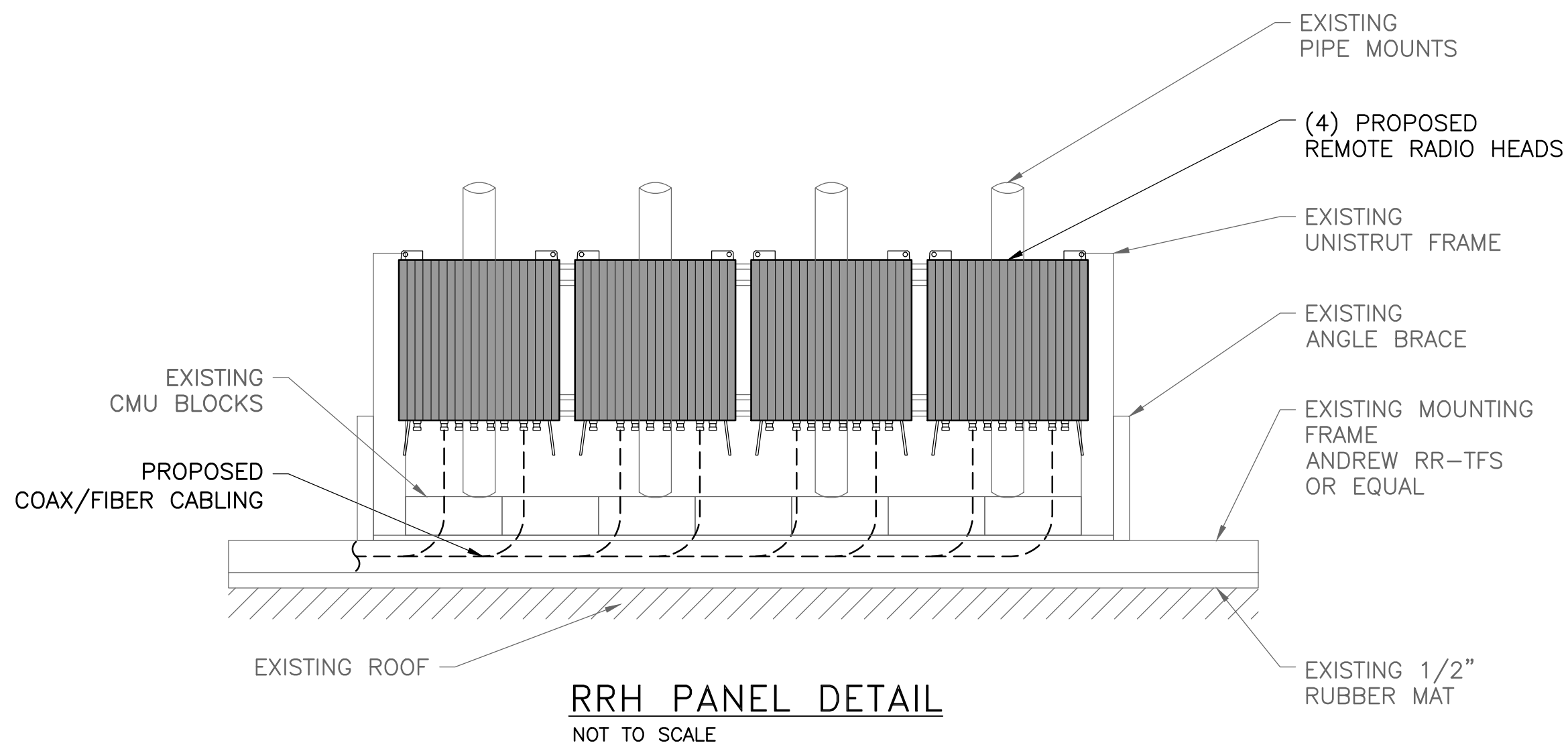
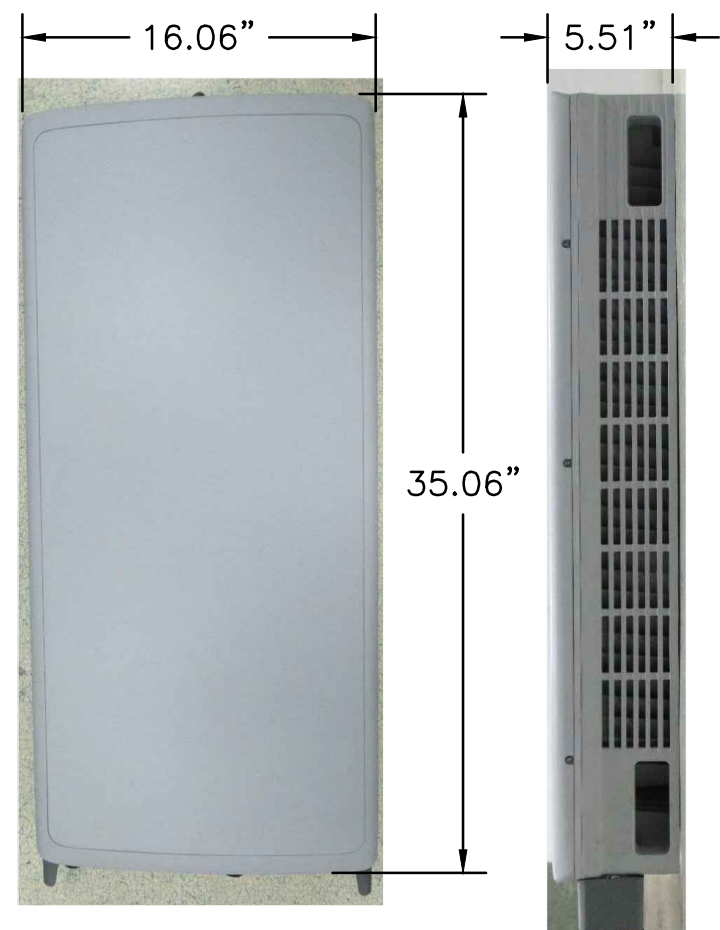
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C-2

ALPHA SECTOR

- REMOVE (1) SBHHH-1D65B PANEL ANTENNA, AND ASSOCIATED CABLES.
- REMOVE (1) UHBA B13 4x30 RRH, AND ASSOCIATED CABLES.
- REMOVE (1) UHIC B4 2x60-4R RRH, AND ASSOCIATED CABLES.
- INSTALL (1) SAMSUNG RF4440d-13A B5/B13 RRH, AS SHOWN ON PLANS.
- INSTALL (1) POWER CABLE FROM EXISTING 6-PORT OVP TO B5/B13 RRH.
- INSTALL (1) FIBER CABLE FROM EXISTING 6-PORT OVP TO B5/B13 RRH.
- INSTALL (1) SAMSUNG RF4439d-25A B2/B66A RRH, AS SHOWN ON PLANS.
- INSTALL (1) POWER CABLE FROM EXISTING 6-PORT OVP TO B2/B66A RRH.
- INSTALL (1) FIBER CABLE FROM EXISTING 6-PORT OVP TO B2/B66A RRH.
- INSTALL (1) NNH4-65B-R6 PANEL ANTENNA (700/850/PCS/AWS), AS SHOWN ON PLANS.
- INSTALL (1) SAMSUNG MT6407-77A MMU (5G), AS SHOWN ON PLANS.
- INSTALL (1) POWER CABLE FROM EXISTING 6-PORT OVP TO MMU.
- INSTALL (1) FIBER CABLE FROM EXISTING 6-PORT OVP TO MMU.
- INSTALL NEW RET CABLE FROM 700/850 RRH TO 700/850/PCS/AWS PANEL ANTENNA.
- INSTALL ½" ANTENNA JUMPERS, AS REQUIRED.

BETA SECTOR



- GENERAL NOTES:

1. INSTALL ALL EQUIPMENT, MOUNTING BRACKETS, AND HARDWARE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. GROUND DISTRIBUTION BOXES, MOUNTING PIPES, AND RRH'S IN ACCORDANCE WITH THE NEC ARTICLE 250 & THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
3. INSTALLED EQUIPMENT AND MOUNTING BRACKETS SHALL NOT INTERFERE WITH CLIMBING ACCESS NOR ANY INSTALLED SAFETY DEVICES.
4. EQUIPMENT TO BE INSTALLED AT VERIZON WIRELESS' RAD CENTER IN ACCORDANCE WITH TOWER ANALYSIS/ROOFTOP STRUCTURAL ANALYSIS (ANALYSIS BY OTHERS).

PROFESSIONAL SEAL

[illegible]

PROJECT ID: 20222343362
PROJECT TYPE: 5GSB6
LOCATION CODE: 468486

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N. CHAMPLAIN
1 VT**

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SHEET TITLE	
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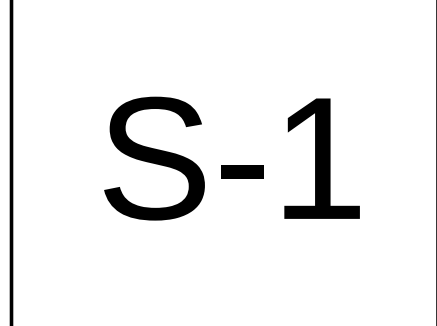
ANTENNA DETAILS & NOTES

CONSTRUCTION PLANS

DRAWN BY JWP	DATE SEPT. 2022
CHECKED BY GJO	D&K PROJECT # 422557L2
PROJ. ENG. LJH	D&K ARCHIVE #

SHEET NUMBER

C-3



Burlington Design Advisory Board

Department of Permitting and Inspections

645 Pine Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/DPI/Boards/Design-Advisory-Board/>

Telephone: (802) 865-7188

Ron Wanamaker

Emily Morse

Jack Qualey

Gabriel Stadecker

Jay White

Kathleen Ryan, Alternate

Michael Alvanos, Alternate



DESIGN ADVISORY BOARD Tuesday November 8, 2022 3:00 PM

Minutes

Present: Ron Wanamaker, Emily Morse, Gabe Stadecker, Kathleen Ryan (alternate)

Absent: Jay White, Jack Qualey, Michael Alvanos (alternate)

Staff present: Mary O'Neil

Guests: Marcus Gonzales, RGA; Sharon Bushor (remote); Andre Latulippe (remote); Jane Seymour (remote); Jennifer Davis (Remote); Andrew Davis (remote.)

Agenda

Session I – 3:00 PM – 3:30 PM

ZP-22-528; 447 Main Street (RL, Ward 6S) Jeremy Dressler & Jane Seymour / Marcus Gonzalez

Proposed demolition of existing carriage house to construct a new accessory structure. (Project Manager, Mary O'Neil)

Motion by: Emily Morse – I move we recommend this project for approval, with the following conditions:

- There be defined perimeter to the drive/parking area, to prevent parking lot creep.
- A methodology to contain trash, or move it indoors;
- Advise to take down juniper that appears to have caused structural rot.

2nd – Gabe Stadecker

Vote 3-0. (RW recused on this agenda item.)

Motion carries.

Session II – 3:30 PM – 4:00 PM

Review and approve 2023 meeting schedule.

Emily finds that some meetings are scheduled for 5:00 pm. Staff will see if this was a cut-and-paste error, and bring the calendar back for adoption.

Session III – 4:00 PM – 4:30 PM

HPRC review of telecommunications installation at 67-71 North Street.

2 votes “no effect” one vote for “No adverse effect.”

Adjournment: 4:25 PM.

The programs and services of the City of Burlington are accessible to people with disabilities. Individuals who require special arrangements to participate are encouraged to contact the Department of Planning & Zoning at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188 (TTY users: 865-7142).