

Burlington Design Advisory Board

645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DAB
Phone: (802) 865-7188

Ron Wanamaker
Emily Morse
Jay White
Jack Qualey
Gabriel Stadecker
Kathleen Ryan, Alt
Michael Alvanos, Alt



DESIGN ADVISORY BOARD Tuesday, December 27, 2022 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137

Passcode: 796731

Or Telephone: US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

Agenda

Session I – 3:00 PM – 3:30 PM

ZP-22-554; 31 Volz Street (RM, Ward 3C) Philip & Katherine Geraghty / Steve Guild

Within the front portion of the existing duplex, combine the second floor unit with portions of the first floor unit into one unit; duplex use to remain. Additionally, construct a new dormer above the ground level porch for additional second floor living space. (Project Manager, Mary O'Neil)

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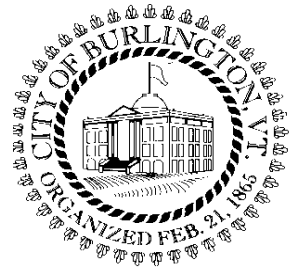
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The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status, crime victim status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at (802) 540-2505.

Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

*William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Ryan Morrison, Associate Planner
Joseph Cava, Planning Technician
Celeste Crowley, Permit Administrator
Theodore Miles, Zoning Specialist
Charlene Orton, DPI Administrator*



MEMORANDUM

To: The Design Advisory Board
From: Ryan Morrison, Associate Planner / Mary O'Neil
RE: ZP-22-554, 31 Volz Street
Date: December 27, 2022

File: ZP-22-554

Location: 31 Volz Street

Zone: RM **Ward:** 3C

Parking District: Neighborhood

Date application accepted: 10.11.22

Applicant/ Owner: Steve Guild / Philip & Katherine Geraghty

Request: Within the front portion of the existing duplex, combine the 2nd floor unit with a portion of the 1st floor unit into 1 unit; duplex use to remain. Additionally, construct a new dormer above the ground level porch for additional 2nd floor living space.

Background:

- **Zoning Permit 93-430;** remove existing one story rear addition on single family home with "mother-in-law" apartment; replace with a two-story addition. May 1993.
- **Zoning Permit 95-483;** rear attic window, area remains storage; amend condition of ZP 93-430 regarding the addition height. June 1995.
- **Zoning Permit 09-760CA;** construct rear porch and lengthen driveway. October 2009.
- **Zoning Permit 11-1076CA;** replacement windows. June 2011.
- **Zoning Permit 12-1046CA;** replacement windows. May 2012.

Overview: 31 Volz Street is an existing two unit residence that is listed as a contributing resource on the 2000 City of Burlington Historic Sites and Structures Survey. As such, it is considered eligible for historic listing, and the standards of Section 5.4.8 apply.

Although the applicant asserts there are currently three units on site, the 1993 permit allowed for an expansion of an existing single family home with a mother-in-law unit. The 1995 permit refers to the property as an "existing duplex." The City recognizes 2 units on site. There will be some internal reconfiguring with the end result of 2 units. The front portion of the structure will consist of a two-story unit, and the other unit will occupy two-stories in the rear portion. The proposal includes a new dormer shed roof over the existing entrance porch that will create additional living space in the upper floor of the front unit. A third floor "loft" bedroom (unpermitted) will be closed off. Living space on the third floor via ladder cannot be approved due to life safety code.

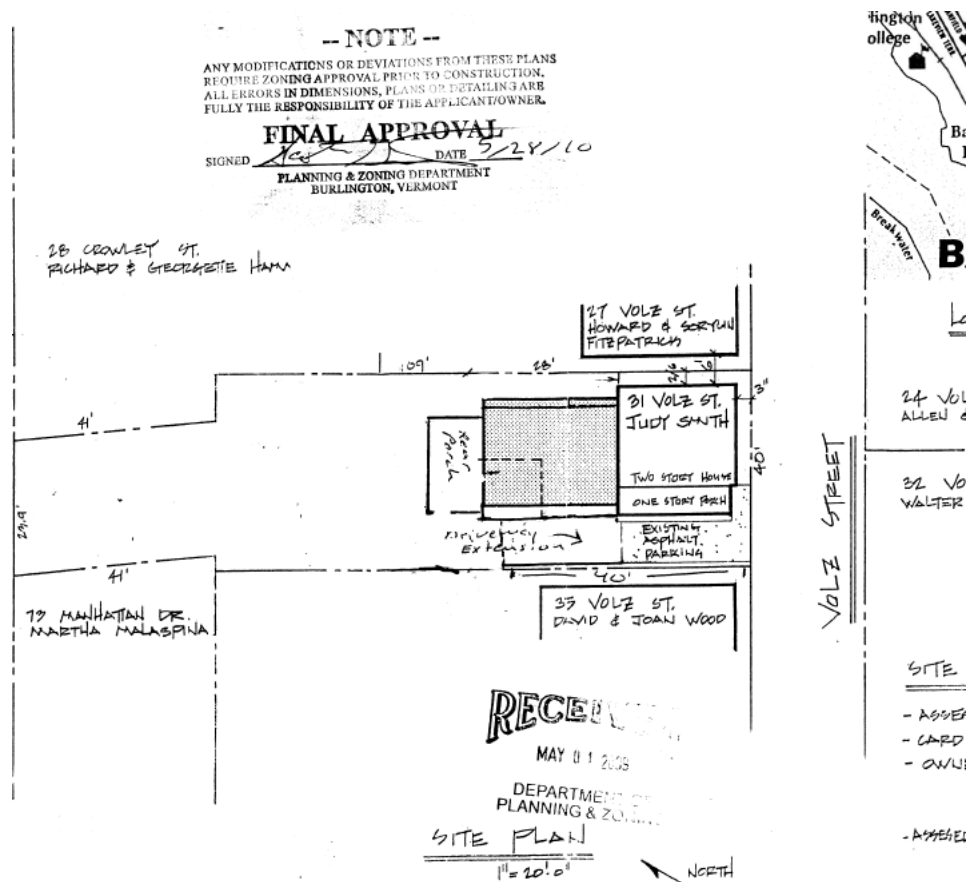
The historic listing for the c. 1890 structure offers the following:

1 ½ story, gable roof house with patterned slate shingles. A large gable roof addition has been built on rear (south) façade. Entrance moved to shed roof addition on east façade. Fenestration has been altered.

On November 22, 2022, the Design Advisory Board reviewed this application and tabled the application for the applicant to provide revised plans showing how the dormer addition integrates with the overall structure. Revised plans have been submitted showing the interaction between the new dormer and the structure's rear portion.

Re-review of the submission information brings additional discrepancies to light:

As the applicant has not provided a complete site plan, it is not clear if the addition will alter lot coverage. Here is the 2010 approved site plan, where coverage was assessed as 41.3%. If the extended dormer/porch increases lot coverage (eliminating the bonus allowance of the open porch, below) then the proposal cannot be considered as it exceeds allowable coverage for the zoning district. A revised site plan, with coverage calculation, will be required to assure it is within allowable limits.



The “existing” building elevations are incorrect; the window on the west elevation has a deck with an exterior staircase (unpermitted, and within a required setback.) Although the application proposes removal of the deck/stairs, it never received permit review and approval.



Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

No significant natural features are identified within the plan.

(b) Topographical Alterations:

Not applicable.

(c) Protection of Important Public Views:

Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

See Section 5.4.8, below.

(e) Supporting the Use of Renewable Energy Resources:

No part of this application precludes the use of wind, water, solar, geothermal or other renewable energy resource.

(f) Brownfield Sites:

Not applicable.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

The covered porch of the front entrance will provide space for resident shelter in inclement weather.

(h) Building Location and Orientation:

No change is proposed to the building location or orientation.

(i) Vehicular Access:

Not applicable.

(j) Pedestrian Access:

No change is proposed to the pedestrian access. The front stoop immediately adjacent to the street will remain.

(k) Accessibility for the Handicapped:

Not applicable.

(l) Parking and Circulation:

Not applicable.

(m) Landscaping and Fences:

Not applicable.

(n) Public Plazas and Open Space:

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

The project description does not include any definition of lighting. If any light fixtures are proposed they shall be included on revised elevation drawings, and fixture information and illumination levels shall be provided.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

Not applicable.

Part 3: Architectural Design Standards

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

The new dormer above the existing ground level entrance porch will increase the massing of the structure on the east side. The addition of a dormer that consumes more than 50% of the roof will alter the height calculation of the front of the building, however is not proposed to exceed 35'. Of the seven houses on Volz Street, 6 have attached one story porches. 53 Manhattan Drive, at the entrance to Volz, has a one story porch as well.

The dormer alteration will significantly alter the character of the existing structure, and is inconsistent with the remainder of the houses on the street.

2. Roofs and Rooflines.

The existing structure has an emblicated (patterned) slate roof. The new shed-roof dormer will be slightly setback behind the front wall of the structure and will shroud the east half of the historic roof. Nearby structures are predominantly gable-roofed, with the exception of one hip-roofed residence across the street.

3. Building Openings

Openings on the front façade, largely altered with a permits issued in 2011 will remain as existing. 14 windows were replaced with a zoning permit in 2012.

The new dormer will have two upper-story windows (double hung) on the east wall. A ground level window will remain further back, along the porch wall.

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

See Section 5.4.8.

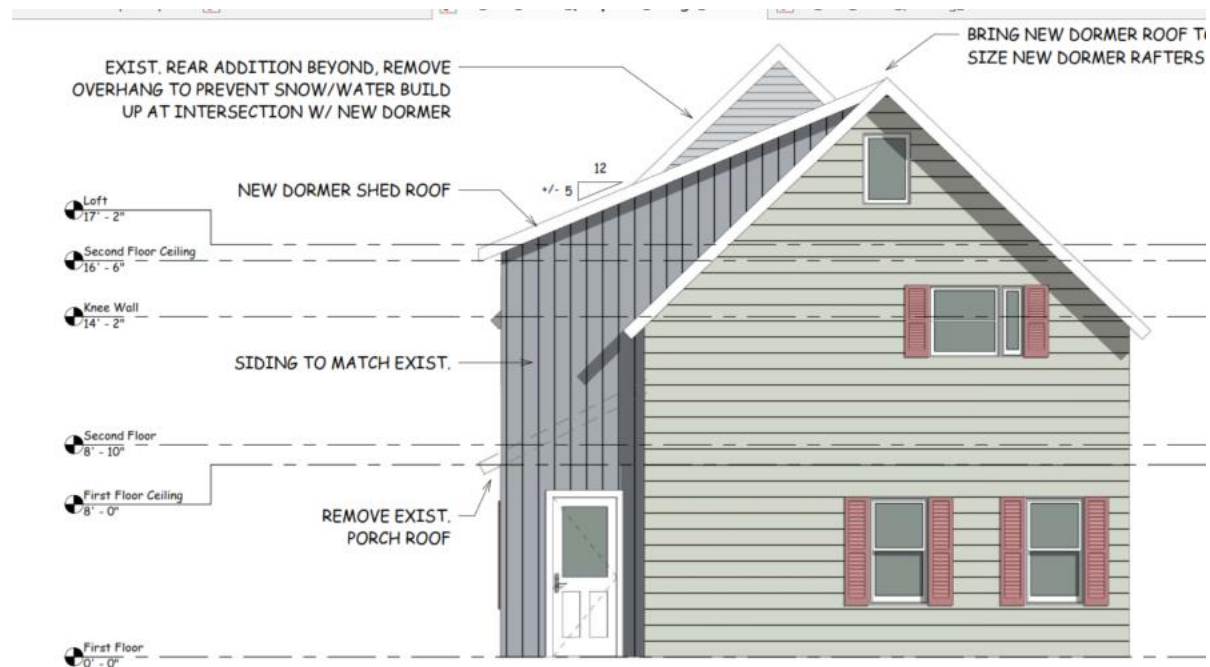
(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

The existing duplex and neighboring homes on this side of Volz Street each have about a 2 ft setback from the street edge. The proposal will maintain the existing street edge, only with the addition of the dormer above the existing side porch. The plans indicate that the porch/dormer will be setback about a foot behind the front wall of the main structure.

The design of attaching a full dormer on top of an existing enclosed porch presents a massive change in massing, and a rather cold presentation to the street. Other than an identifiable entry, there is little welcoming to the much altered primary façade.



(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Owners of historic structures are encouraged to consult with an architectural historian in order to determine the most appropriate repair, restoration or replacement of historic building materials as outlined by the requirements of Art 5, Sec. 5.4.8.

Siding appears to be aluminum on the main structure, and T1-11 on the attached porch. The proposed dormer will be clad with siding to match the existing porch's siding (T1-11), and roofed with asphalt shingles. The plans also indicate that existing skylights on the west side will be removed and infilled with roofing to match – slate.

As of this date, no additional information on replacement windows has been submitted.

(f) Reduce energy utilization:

The dormer and windows will be required to meet the Residential Energy Building Standards.

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

Not applicable.

(i) Make spaces secure and safe:

All development is required to meet applicable building and life safety code, as defined by the building inspector. The third floor “loft” may not be used for habitable living space.

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,

To promote the adaptive re-use of historic buildings and sites.

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

(b) Standards and Guidelines:

The following development standards, following the Secretary of the Interior's Standards for the Treatment of Historic Properties, shall be used in the review of all applications involving historic buildings and sites subject to the provisions of this section and the requirements for Design Review in Art 3, Part 4. The Secretary of the Interior's Standards are basic principles created to help preserve the distinctive character of a historic building and its site. They are a series of concepts about maintaining, repairing and replacing historic features, as well as designing new additions or making alterations. These Standards are intended to be applied in a reasonable manner, taking into consideration economic and technical feasibility.

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

31 Volz Street was constructed circa 1890 as a residence. Permit history reveals that the use was a single family home with an accessory apartment in 1993, but identified as a duplex in 1995. The definition of this as a 3 unit dwelling is not supported by the permitting record. It may continue as a two unit structure..

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

While nothing will be removed from the existing structure, the new dormer will attach to the existing roof, which is covered with patterned slate. It will almost entirely cover the historic slate roofing on the east side of the gable roof. A small portion of the slate roof on this side will remain where the dormer does not cover it. As a result, the existing east-side roof will be altered. The slate roofing on the west side of the gable roof will remain. The application refers to removal of skylights with slate infill. (See plan A-3).

- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The application proposes a dormer above an existing porch which, in and of itself, is not original to the historic structure but repeats a characteristic evident on 6 out of 7 residences on the street. The dormer will increase the massing on one side and cover up the existing roof's slate on the east side.

- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The one story porch is a characteristic addition present on 6 out of 7 homes on the street.

- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The dormer sitting atop the enclosed porch substantially changes the massing of the structure, more noticeable still as the houses are so closely situated and immediately attendant to the street. The addition will also result in the loss of the characteristic patterned slate roof.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

Not applicable.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Not applicable.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

There are no known archaeological resources at this site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

It is unknown whether the existing, one story porch has the structural ability to support the additional structure proposed, as a full second story expansion. Plans note the need for assessment by a structural engineer. In massing, however, the addition significantly alters the existing home and the identifiable spatial relationships of the building; increasing the loss of historic integrity of the building.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

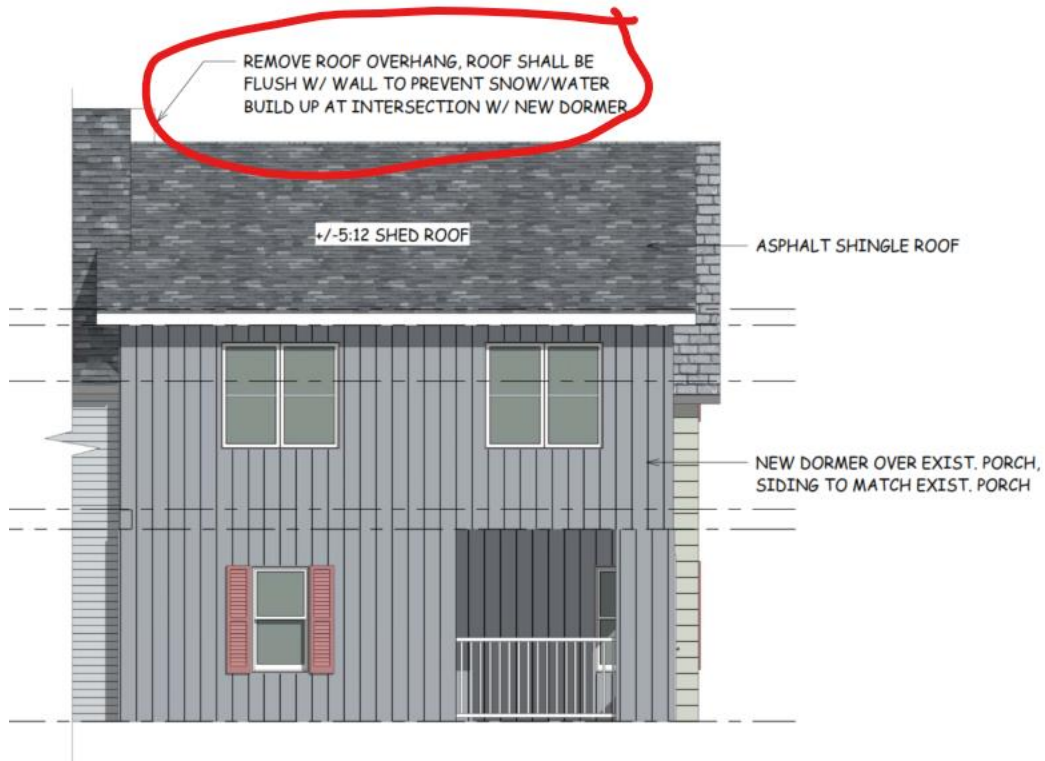
Although unlikely, it may be possible to consider the reversibility of the proposal.

Item's for the Board's Consideration:

- The last site plan approval recognized 41.3% lot coverage. That calculation reflects bonus coverage for open amenities. (The maximum base coverage in this zoning district is 40%.) If the open front porch (which was identified as 11'1" x 5'7") was the open amenity that allowed coverage to exceed 40%, adding a dormer/2nd story above eliminates that bonus. The application, therefore, exceeds allowable lot coverage.

- The applicant has provided no information on lighting fixtures, siding, windows, and doors.
- The removal of the roof overhang may forestall design complications, but has the likelihood of introducing more difficulties with snow and rain activity with moisture intrusion on the existing home. Roof overhangs have a purpose of throwing moisture

away
from the
building
(and the



foundation.)

Burlington Design Advisory Board

Department of Permitting and Inspections

645 Pine Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/DPI/Boards/Design-Advisory-Board/>

Telephone: (802) 865-7188

Ron Wanamaker

Emily Morse

Jack Qualey

Gabriel Stadecker

Jay White

Kathleen Ryan, Alternate

Michael Alvanos, Alternate



DESIGN ADVISORY BOARD Tuesday November 22, 2022 3:00 PM

Minutes

Present: Emily Morse, Jay White, Gabe Stadecker (remote)

Absent: Ron Wanamaker, Jack Qualey, Michael Alvanos (alternate), Kathleen Ryan (alternate)

Staff present: Ryan Morrison

Guests: Warren Irish (remote), Philip Geraghty (remote)

Agenda

Session I – 3:00 PM – 3:30 PM

ZP-22-554; 31 Volz Street (RM, Ward 3C) Philip & Katherine Geraghty / Steve Guild

Within the front portion of the existing duplex, combine the 2nd floor unit with portions of the 1st floor unit into 1 unit; duplex use to remain. Additionally, construct a new dormer above the ground level porch for additional 2nd floor living space. (Project Manager, Ryan Morrison)

Motion by: Jay White – I move we table the project and request that the applicant provide revised plans that show how the proposed dormer integrates with the overall structure.

2nd – Emily Morse

Vote 3-0.

Motion carries.

Session II – 3:30 PM – 4:00 PM

Review and approve 2023 meeting schedule.

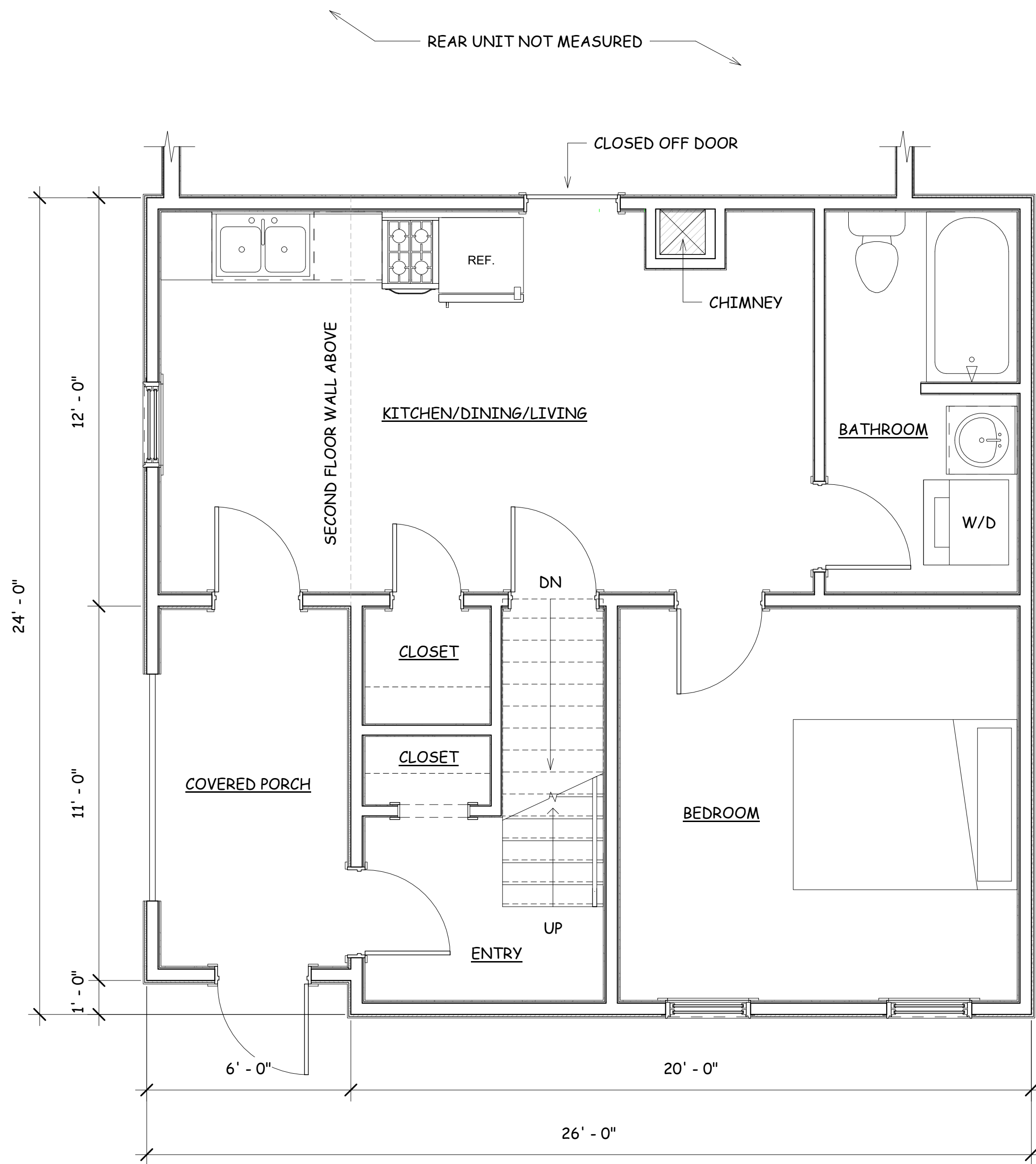
Motion by: Emily Morse – I move that we approve the 2023 DAB meeting schedule.

2nd – Jay White

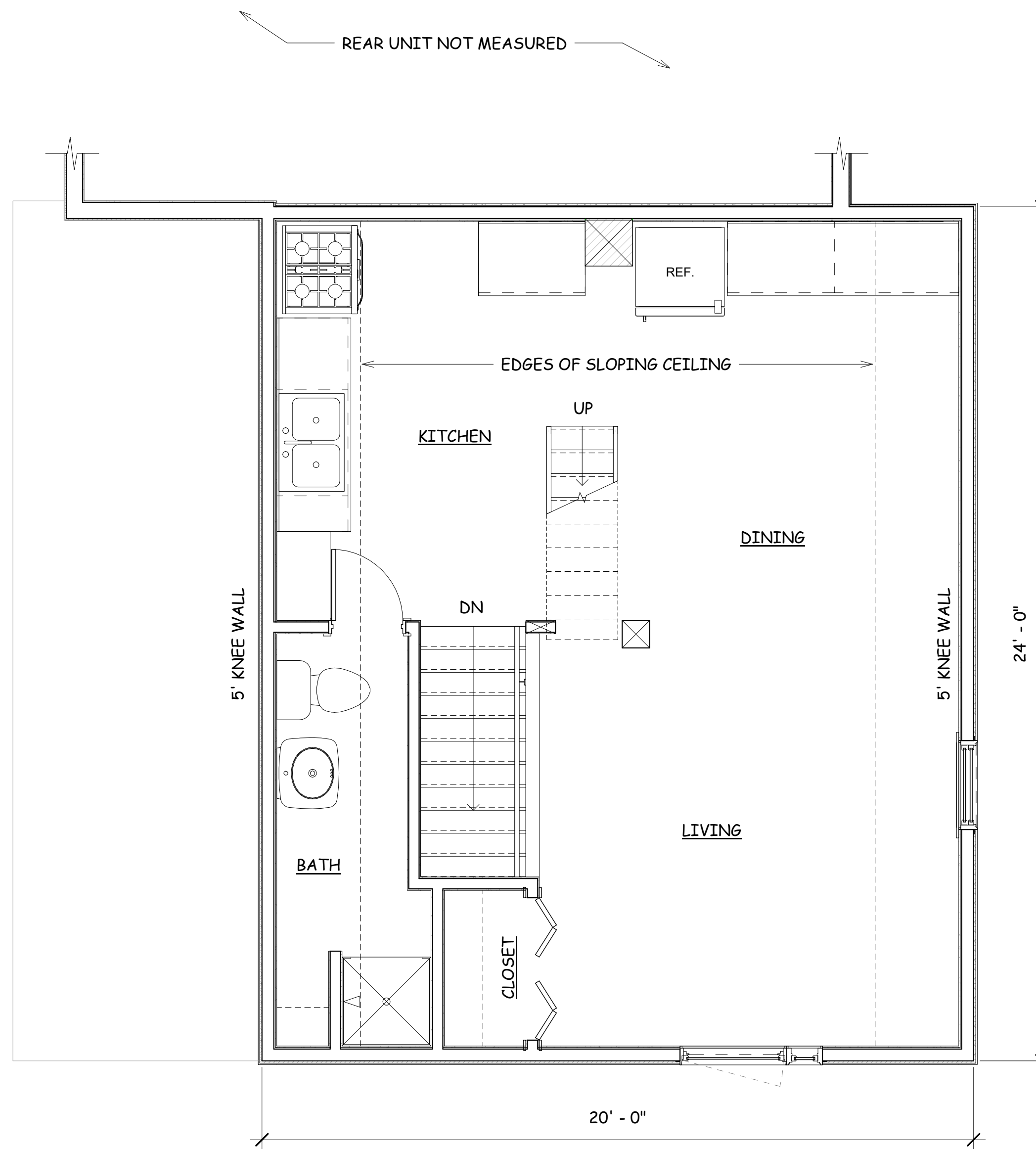
Vote 3-0

Motion carries.

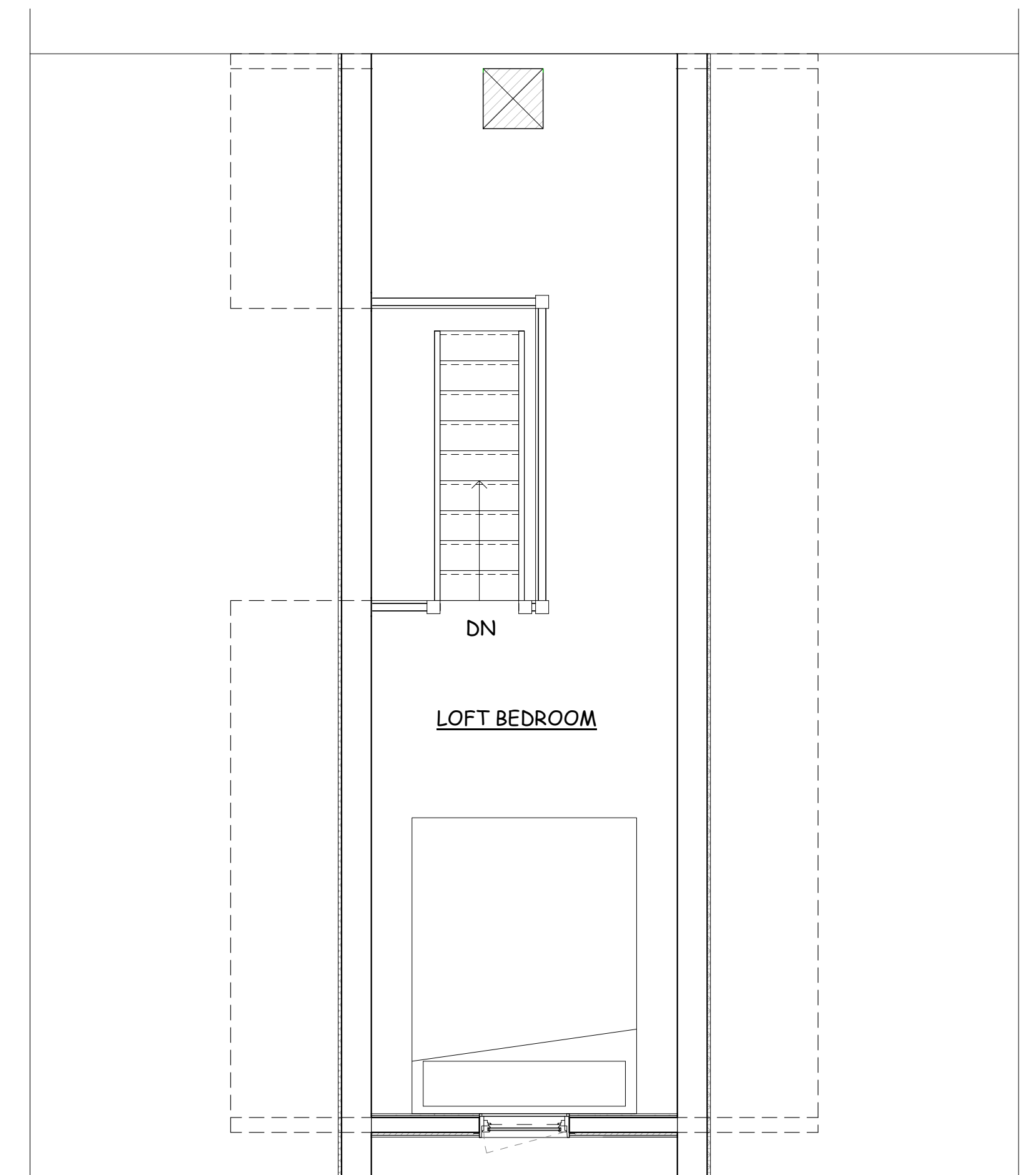
Adjournment: 3:40 PM.



① EXISTING FIRST FLOOR PLAN
3/8" = 1'-0"



② EXISTING SECOND FLOOR PLAN
3/8" = 1'-0"



③ EXISTING LOFT PLAN
3/8" = 1'-0" *PLAN SHOWN @ 3' CUT HT.*

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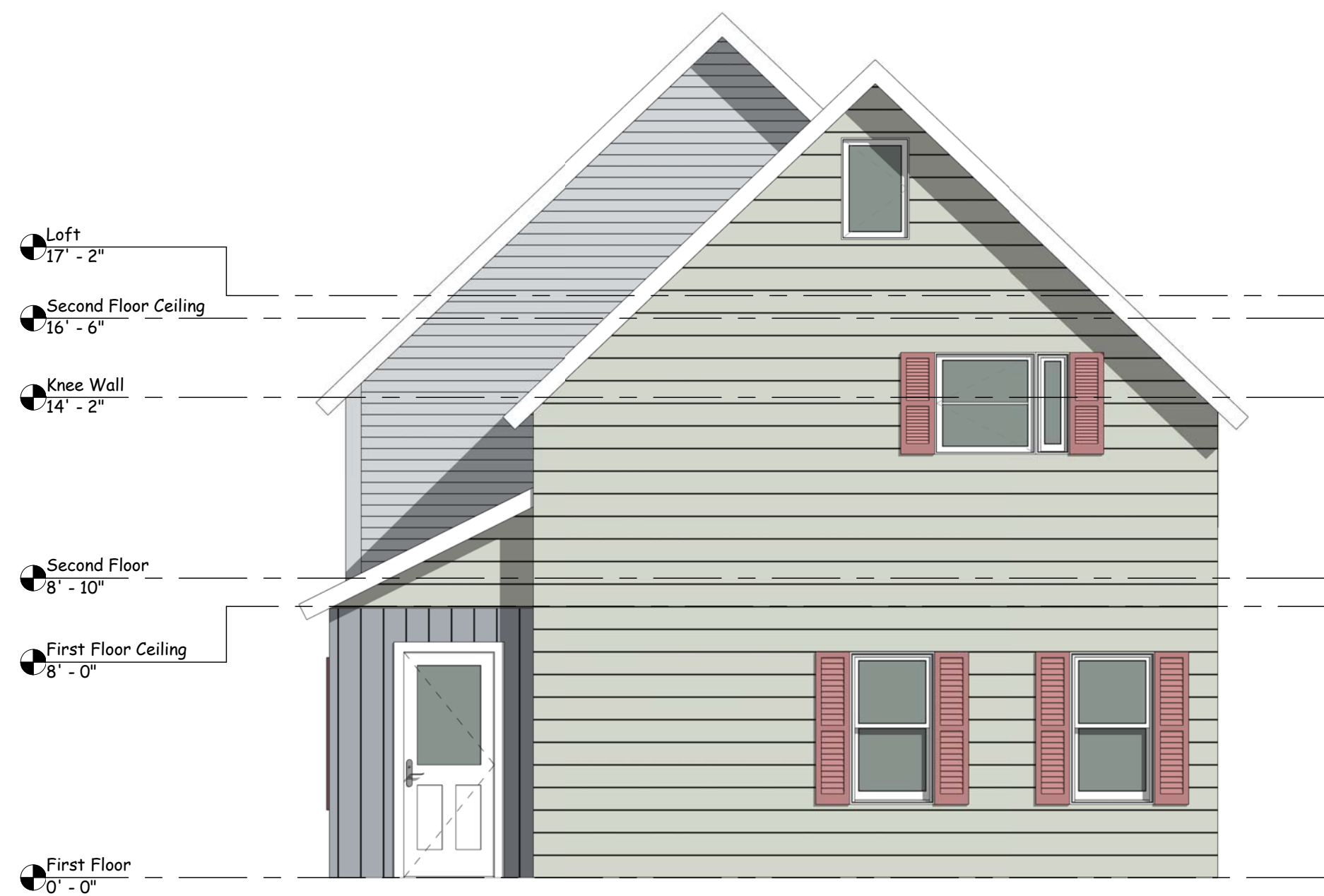
PHIL GERAGHTY
31 VOLZ STREET
BURLINGTON, VERMONT

SCALE: 3/8" = 1'-0"
DATE: 11/30/2022
DRAWN BY: WGI/BH
CHECKED BY: SG
PROJECT: 31 VOLZ

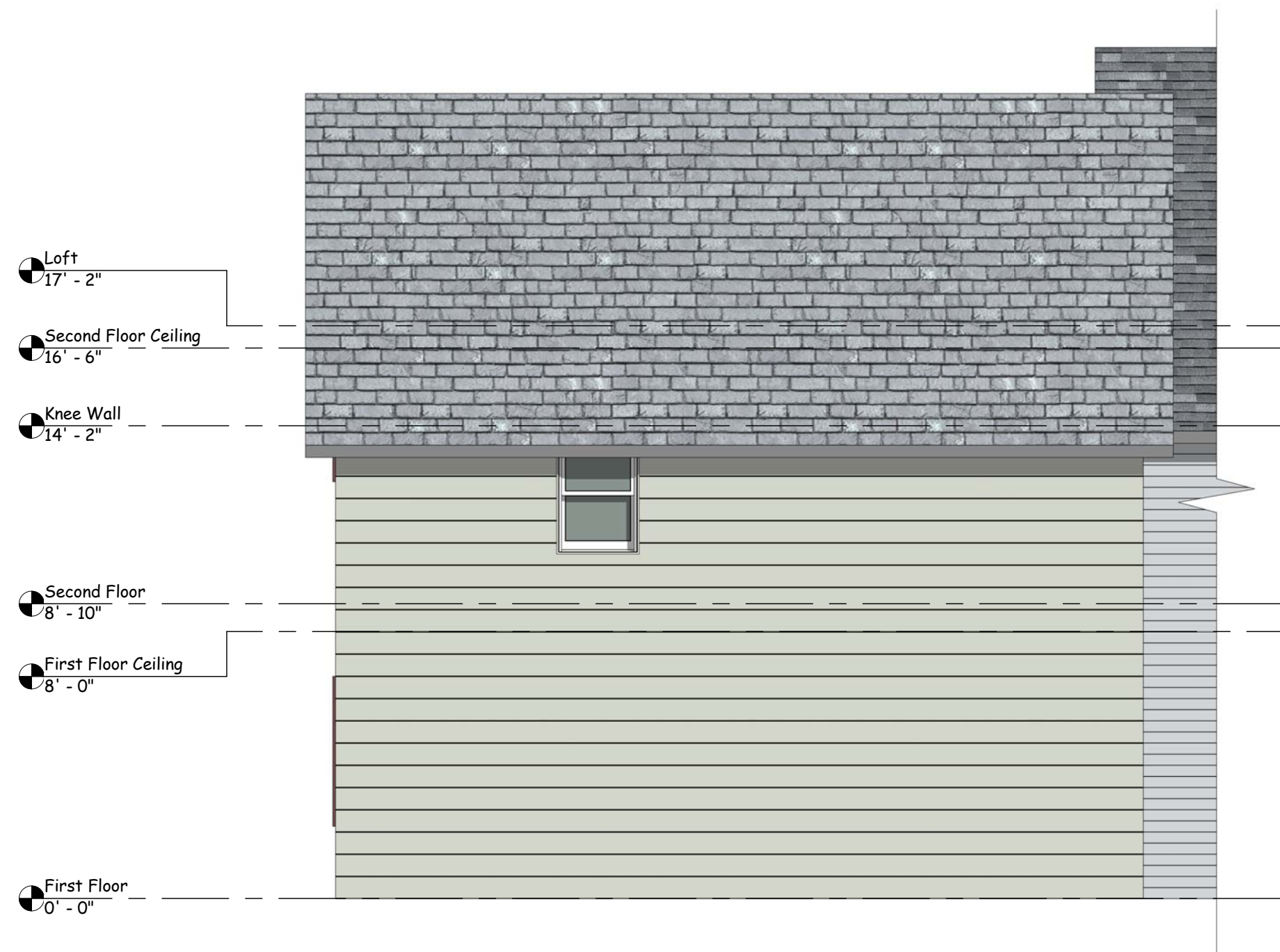
SHEET TITLE:
EXISTING
FLOOR
PLANS

A-1

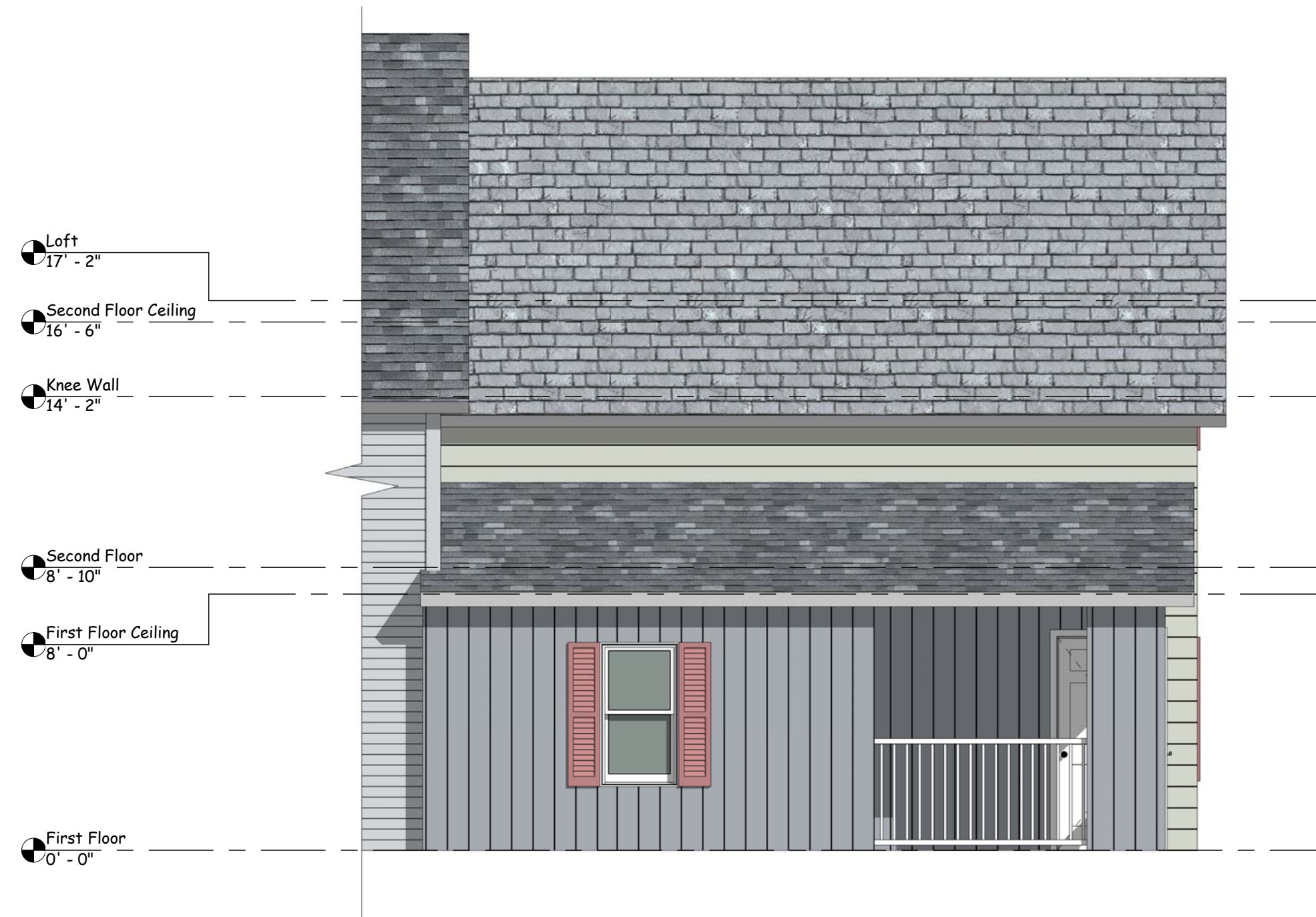
11/30/2022 3:17:36 PM



① NORTH ELEVATION
1/4" = 1'-0"



② WEST ELEVATION
1/4" = 1'-0"



③ EAST ELEVATION
1/4" = 1'-0"

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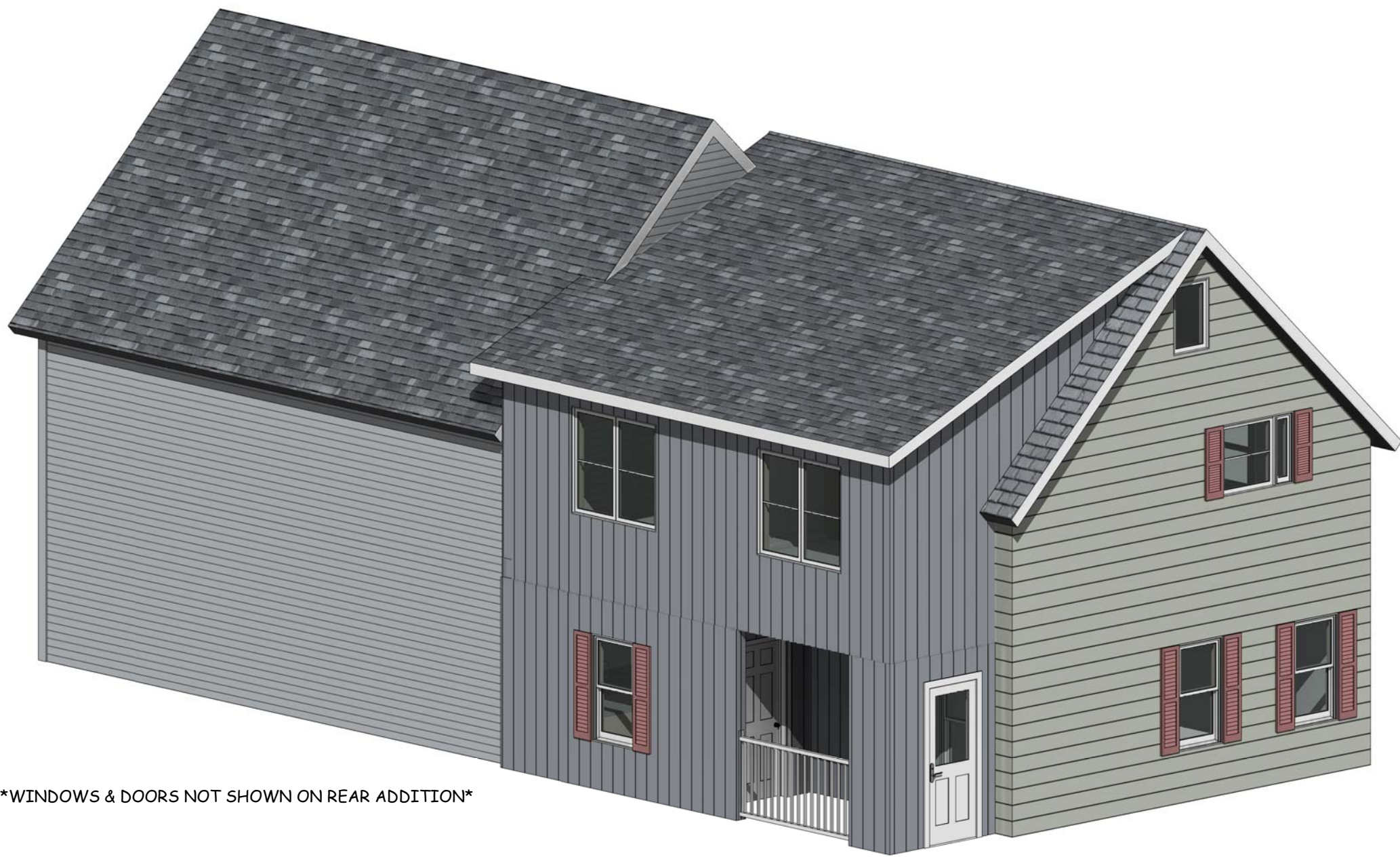


PHIL GERAGHTY
31 VOLZ STREET
BURLINGTON, VERMONT

SCALE: 1/4" = 1'-0"
DATE: 11/30/2022
DRAWN BY: WGI
CHECKED BY: SG
PROJECT: 31 VOLZ

SHEET TITLE:
EXTERIOR
ELEVATIONS

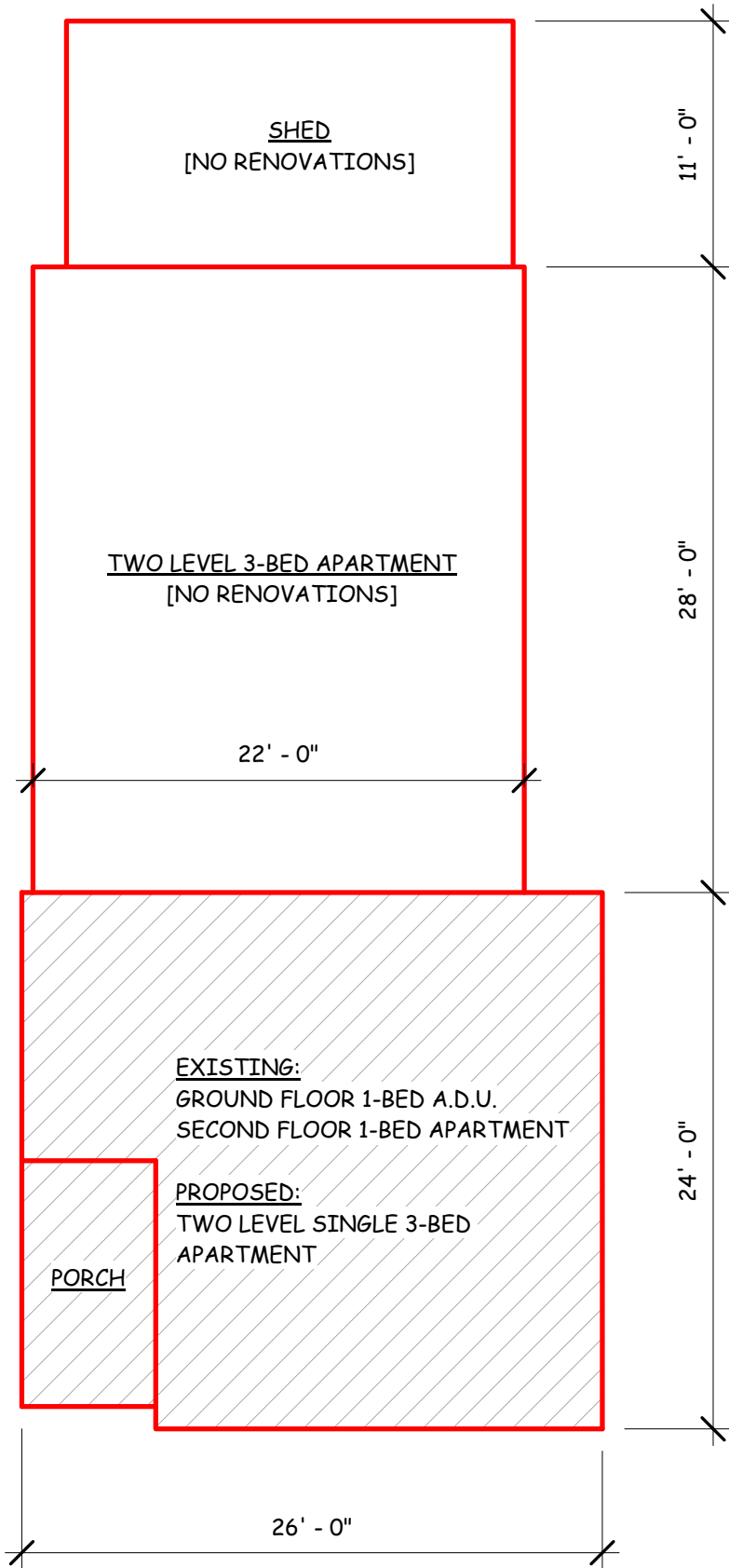
A-2



WINDOWS & DOORS NOT SHOWN ON REAR ADDITION

31 VOLZ STREET

BURLINGTON, VERMONT



SCHEMATIC BUILDING KEY

ARCHITECTURAL NOTES:

- 1) ALL DIMENSIONS ARE TO FACE OF INTERIOR WALL STUD AND EXTERIOR WALL STUD. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO ARCHITECT/DESIGNER.
- 2) PLUMBING FIXTURES, APPLIANCES, CABINETS AND LIGHTING FIXTURES TO BE DETERMINED BY OWNER.
- 3) CONTRACTOR TO COMPLY WITH LOCAL BUILDING CODES & VERMONT ENERGY CODES.
- 4) ALL BATHROOM WALLS & CEILINGS TO BE 5/8" TYPE X MOISTURE RESISTANT GWB, BATHROOM WALLS TO BE SOUND INSULATED (VERIFY W/ OWNER)
- 5) ALL HEADERS OVER OPENINGS TO BE SIZED BY ENGINEER OR G.C.
- 6) G4 DESIGN STUDIOS IS NOT RESPONSIBLE FOR FRAMING DETAILS, STRUCTURAL DETAILS, FINISH WORK, MILLWORK, WEATHER TIGHT CONSTRUCTION, FINISH GRADING OR CONCRETE WORK.
- 7) GENERAL CONTRACTOR TO COORDINATE WITH CONCRETE CONTRACTOR AND OWNER FOR PENETRATIONS THROUGH CONCRETE SLAB/WALLS.
- 8) IF OWNER/CONTRACTOR MAKE CHANGES DURING THE CONSTRUCTION PROCESS WITHOUT WRITTEN AUTHORIZATION FROM G4 DESIGN STUDIOS (G4), G4 IS NOT LIABLE FOR ERRORS OR OMISSIONS THAT MAY OCCUR DURING CONSTRUCTION.
- 9) OWNER TO SELECT WINDOW MANUFACTURER, VERIFY WITH OWNER PRIOR TO ORDERING WINDOWS.
- 10) GENERAL CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR HVAC SYSTEM.
- 11) GENERAL CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR & OWNER FOR LOCATIONS OF OUTLETS, LIGHTING FIXTURES, CABLE, INTERNET & LIGHT SWITCH LOCATIONS.

2020 VERMONT RESIDENTIAL BUILDING ENERGY STANDARDS:

NEW CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING R-VALUES (BASED ON PACKAGE 4: CAVITY ONLY)

CEILING:	R-60 (ATTIC), R-49 (SLOPE)
WOOD FRAME WALLS:	R-20 (CAVITY)
COMMON WALL INSULATION:	R-10
FLOOR:	R-38
BASEMENT/CRAWL SPACE WALL:	R-20 (CONTINUOUS) OR R-13+10
SLAB EDGE:	R-15 (FOR 48") OR R-10 (PERIMETER) + R-7.5 (UNDER ENTIRE REST OF SLAB)
HEATED SLAB:	R-15 (EDGE & UNDER)
FENESTRATION (WINDOW & DOOR):	U-0.28 MAX.
SKYLIGHT:	U-0.55 MAX.
AIR LEAKAGE:	≤ 3.0 ACH50 (TESTED)
DUCT LEAKAGE:	INSIDE THERMAL BOUNDARY
PERCENT HIGH EFFICACY LAMPS:	100%

CONTRACTOR TO COMPLY WITH LISTED THERMAL VALUES AND WITH ALL ADDITIONAL REQUIREMENTS OF THE 2020 VTRBES

DRAWING FOR CONSTRUCTION

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PHIL GERAGHTY
31 VOLZ STREET
BURLINGTON, VERMONT

SCALE: As indicated
DATE: 10/10/2022
DRAWN BY: WGT
CHECKED BY: G4
PROJECT: 31 VOLZ

SHEET TITLE:

COVER/CODE



A-1

11/30/2022 3:20:05 PM

APPLICABLE CODES, STANDARDS, AND REGULATIONS:

- VERMONT FIRE & BUILDING SAFETY CODE 2015 (VTFB)
- NFPA 101 LIFE SAFETY CODE 2015 (NFPA 101)
- NFPA 1 UNIFORM FIRE CODE 2015 (NFPA 1)
- VERMONT ELECTRICAL SAFETY RULES 2017 (VTCL)
- VERMONT PLUMBING RULES 2018 (VTPL)
- VERMONT ACCESS RULES 2012 (VTAR)
- VERMONT RESIDENTIAL BUILDING ENERGY STANDARDS 2020 (VTRBES)

BUILDING SUMMARY:

EXISTING 3-DWELLING UNIT BUILDING TO BE CONVERTED TO 2-DWELLING UNIT BUILDING. REAR UNIT NOT TO BE ALTERED, FRONT DWELLING UNITS TO BE CONVERTED INTO A SINGLE 3-BEDROOM UNIT. EXISTING 3RD FLOOR SLEEPING LOFT TO BE CLOSED OFF.

BUILDING IS NOT SPRINKLERED

CONSTRUCTION TYPE: 5B

APPLICABLE CODE SECTIONS (NFPA 101):

BUILDING REHABILITATION: CHP. 43

ONE-AND-TWO-FAMILY DWELLINGS: CHP. 24

BUILDING REHABILITATION SPECIFIC CODE REQUIREMENTS (NFPA 101 - CHP. 43):

43.2.2.1.4 - CLASSIFICATION OF WORK BEING PERFORMED SHALL BE CONSIDERED "RECONSTRUCTION"

43.6.3.1 - WALLS SEPARATING DWELLING UNITS THAT DO NOT CONTINUOUSLY RUN FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING ACTING AS FIRE BARRIERS SHALL BE CONSTRUCTED TO PROVIDE A CONTINUOUS FIRE SEPARATION

43.6.3.2 - THE FOLLOWING SHALL APPLY TO WORK REQUIRED BY 43.6.3.1:

(1) IT SHALL BE PERFORMED ON THE SIDE OF THE WALL OF THE DWELLING UNIT THAT IS PART OF THE REHABILITATION WORK AREA.

(2) IT SHALL NOT BE REQUIRED TO BE CONTINUOUS THROUGH CONCEALED FLOOR SPACES.

43.6.5.2 - SMOKE ALARMS COMPLYING WITH THE REQUIREMENTS OF OTHER SECTIONS OF THIS CODE APPLICABLE TO NEW CONSTRUCTION FOR THE OCCUPANCY SHALL BE PROVIDED.

ONE-AND-TWO FAMILY DWELLINGS SPECIFIC CODE REQUIREMENTS (NFPA - CHP. 24):

24.2.2.1.1 - EVERY SLEEPING ROOM AND EVERY LIVING AREA SHALL HAVE NOT LESS THAN ONE PRIMARY MEANS OF ESCAPE AND ONE SECONDARY MEANS OF ESCAPE

24.2.2.1.2 - A SECONDARY MEANS OF ESCAPE SHALL NOT BE REQUIRED WHERE ONE OF THE FOLLOWING CONDITIONS IS MET:

(1) THE BEDROOM OR LIVING AREA HAS A DOOR LEADING DIRECTLY TO THE OUTSIDE OF THE BUILDING AT OR TO THE FINISHED GROUND LEVEL.

24.2.2.3.3 - THE SECONDARY MEANS OF ESCAPE SHALL BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS, OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 sqft. THE WIDTH SHALL BE NOT LESS THAN 20", AND THE HEIGHT SHALL BE NOT LESS THAN 24". THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" ABOVE THE FLOOR. SUCH MEANS OF ESCAPE SHALL BE ACCEPTABLE WHERE ONE OF THE FOLLOWING CRITERIA IS MET:

(1) THE WINDOW SHALL BE WITHIN 20' OF THE FINISHED GROUND LEVEL.

(2) THE WINDOW OR DOOR SHALL BE DIRECTLY ACCESSIBLE TO FIRE DEPARTMENT RESCUE APPARATUS AS APPROVED BY THE AHJ.

(3) THE WINDOW OR DOOR SHALL OPEN ONTO AN EXTERIOR BALCONY.

(4) (N/A TO PROJECT)

24.2.4.1 - DOORS IN THE PATH OF TRAVEL OF A MEANS OF ESCAPE AND DOORS SERVING A ROOM NOT EXCEEDING 70 sqft. SHALL BE NOT LESS THAN 28" WIDE.

24.2.4.2 - BATHROOM DOORS AND DOORS SERVING A ROOM NOT EXCEEDING 70 sqft. SHALL BE NOT LESS THAN 24" WIDE.

24.2.4.3 - DOORS SHALL BE NOT LESS THAN 6'-6" IN NOMINAL HEIGHT.

24.2.6.1 - THE WIDTH OF HALLWAYS SHALL BE NOT LESS THAN 36"

24.2.6.2 - THE HEIGHT OF HALLWAYS SHALL BE NOT LESS THAN 7'-0" NOMINAL, WITH CLEARANCE BELOW PROJECTIONS FROM THE CEILING OF NOT LESS THAN 6'-8" NOMINAL.

24.3.3.2 - INTERIOR WALL AND CEILING FINISH MATERIALS COMPLYING WITH SECTION 10.2 SHALL BE CLASS A, CLASS B, OR CLASS C.

24.3.4.1.1 - SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH 9.6.2.10 IN ALL OF THE FOLLOWING LOCATIONS:

(1) ALL SLEEPING ROOMS

(2) OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS

(3) ON EACH LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS

VERMONT FIRE & BUILDING SAFETY CODE SPECIFIC REQUIREMENTS:

101:24.2.5.7 - STAIR RISER HEIGHTS AND TREAD DEPTHS: MAXIMUM RISER HEIGHTS OF 7 3/4" AND MINIMUM TREAD DEPTHS OF 10" SHALL BE PERMITTED IN NEW CONSTRUCTION.

101:24.3.4.1.3 - SMOKE ALARMS MUST BE HARDWIRED INTO THE BUILDING ELECTRICAL SYSTEM WITH EXCEPTION OF EXISTING SLEEPING ROOMS.

101:24.3.4.2 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.12.1 OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. AN ADDITIONAL CARBON MONOXIDE ALARM SHALL BE INSTALLED IN ANY SLEEPING ROOM THAT CONTAINS A FUEL-BURNING APPLIANCE.

101:24.3.5.1 - NO SPRINKLER PROTECTION REQUIRED

101:24.6 - NEW ONE-TWO FAMILY DWELLINGS SHALL BE PROVIDED WITH A 1-HOUR FIRE RESISTANCE RATING DWELLING UNIT SEPARATION IN ACCORDANCE WITH 30.3.7

CITY OF BURLINGTON CODE OF ORDINANCES SPECIFIC REQUIREMENTS:

18-84

a) EACH HABITABLE ROOM SHALL HAVE ONE WINDOW OPENING TO THE OUTDOORS WHICH CAN BE OPENED. THE MINIMUM VENTILATION OF THE OPENED WINDOW AREA SHALL BE 4% OF THE FLOOR AREA

b) SLEEPING ROOMS SHALL HAVE WINDOWS MEASURING NO LESS THAN 8% OF THE FLOOR AREA

c) EVERY BATHROOM OR TOILET ROOM SHALL HAVE ONE WINDOW OPENING TO THE OUTDOORS OR A FAN OR MECHANICAL DEVICE VENTED TO THE OUTDOORS.

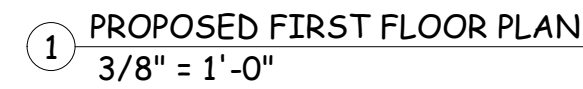
18-90 - EVERY DWELLING UNIT SHALL CONTAIN A MINIMUM HABITABLE FLOOR AREA OF NOT LESS THAN 150 sqft. FOR THE FIRST OCCUPANT, AND 100 sqft. FOR EACH ADDITIONAL OCCUPANT, UP TO A LIMIT OF THREE AND AT LEAST 50 sqft FOR EACH ADDITIONAL OCCUPANT AFTER FOUR.

18-91 - EACH ROOM OCCUPIED FOR SLEEPING PURPOSES BY ONE OCCUPANT SHALL CONTAIN AT LEAST 70 sqft. OF FLOOR AREA, AND EVERY ROOM OCCUPIED FOR SLEEPING PURPOSES BY MORE THAN ONE PERSON SHALL CONTAIN AT LEAST 50 sqft OF FLOOR AREA FOR EACH OCCUPANT.

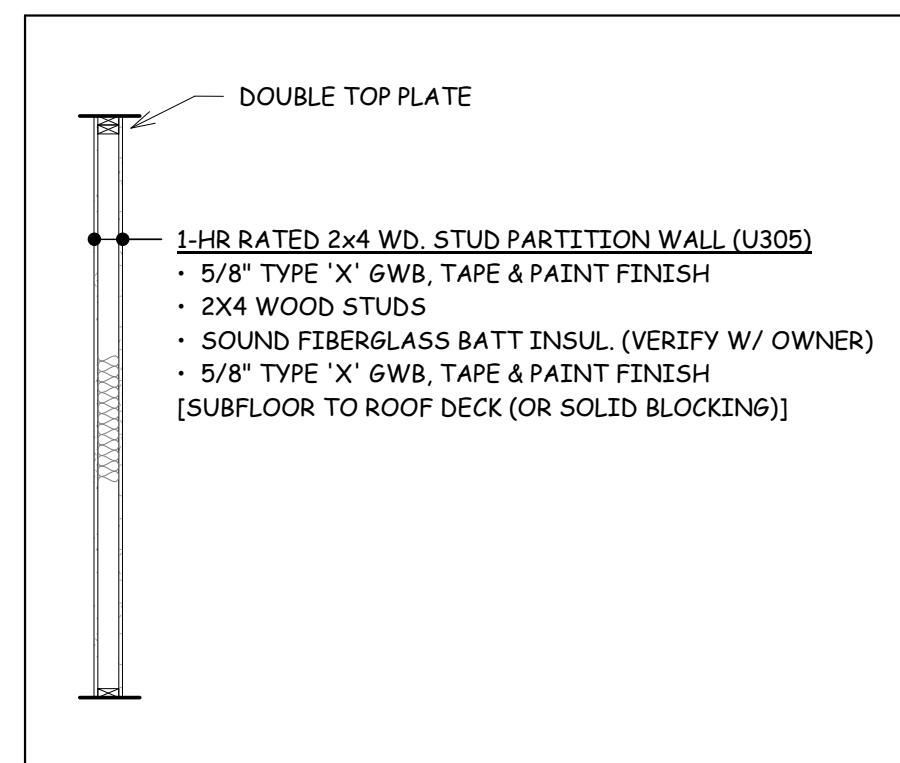
18-93 - AT LEAST 1/2 OF THE FLOOR AREA OF EVERY HABITABLE ROOM SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-0"; AND THE FLOOR AREA OF ANY PART OF ANY ROOM WHERE THE CEILING HEIGHT IS LESS THAN 6'-0" SHALL NOT BE CONSIDERED AS PART OF THE FLOOR AREA IN COMPUTING THE TOTAL FLOOR AREA OF THE ROOM TO DETERMINE MAXIMUM PERMISSIBLE OCCUPANCY.

18-95 - EACH FIRST AND SECOND FLOOR DWELLING UNIT SHALL HAVE ONE SAFE, CONTINUOUS AND UNOBSTRUCTED MEANS OF EGRESS FROM THE INTERIOR OF THE UNIT TO THE EXTERIOR AT A STREET OR TO A PUBLIC OPEN SPACE OR AREA AT GRADE.

- 1) TURN OFF ALL POWER AND UTILITIES BEFORE DEMOLITION BEGINS.
- 2) ALL FIRE EXTINGUISHERS ARE TO BE REMOVED AND STORED FOR FUTURE USE.
- 3) CONTRACTOR SHALL INSPECT AND CALL ATTENTION TO ANY HAZARDOUS MATERIALS DISCOVERED ON PROJECT SITE TO OWNER. ALL HAZARDOUS MATERIAL SHALL BE REMOVED AT OWNER'S EXPENSE. REMOVAL PROCESS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL AND COMPLY WITH ENVIRONMENTAL PROTECTION AGENCIES GUIDELINES.
- 4) WALLS, FIXTURES AND DOORS SHOWN DASHED ARE TO BE REMOVED.
- 5) WALLS AND DOORS SHOWN SOLID ARE TO REMAIN.
- 6) DOORS TO BE REMOVED ARE TO BE SAVED FOR REUSE, VERIFY WITH OWNER.
- 7) COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS FOR THE REMOVAL WORK OF THESE RESPECTIVE TRADES.
- 8) ALL EXISTING OPENINGS OR PENETRATIONS THROUGH THE FLOOR THAT OCCUR IN OPEN FLOOR SPACE OF THE COMPLETED WORK, SHALL BE PATCHED AND MADE SUITABLE TO RECEIVE THE SPECIFIED FINISH MATERIAL.
- 9) WHERE WALLS, FLOOR COVERING, CEILING SYSTEMS, MECHANICAL SYSTEMS, FINISH WORK, MILLWORK AND THE LIKE ARE REMOVED OR ALTERED IN WHOLE OR IN PART, THE RESULTING SURFACE SHALL BE REPAIRED AND PATCHED TO MATCH EXISTING OR MADE SUITABLE TO RECEIVE THE SPECIFIED FINISH MATERIAL.
- 10) ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK TO BE REMOVED SHALL BE CAPED BEHIND THE FINISHED PLANE (INCLUSIVE OF WALLS, CEILINGS AND FLOORS).
- 11) CONTRACTOR SHALL FURNISH AND MAINTAIN EXTERIOR RUBBISH CONTAINERS.
- 12) CONTRACTOR TO MAKE PROVISIONS FOR CEILING REMOVAL AND REPLACEMENT TO ACCOMMODATE MECHANICAL AND ELECTRICAL WORK ABOVE CEILINGS IN AREAS NOT DESIGNATED TO RECEIVE A NEW CEILING SYSTEMS, WHETHER OR NOT THE FULL SCOPE OF THIS WORK IS INDICATED ON THE DOCUMENTS.



DRAWINGS SHALL BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO DEMOLITION. VERIFY EXISTING BEARING WALL LOCATIONS AND THAT NO STRUCTURAL ELEMENTS ARE BEING REMOVED WITHOUT THE APPROVAL OF A STRUCTURAL ENGINEER.



LOFT STAIR TO BE REMOVED AND LOFT TO
BE CLOSED OFF BY FILLING IN OPENING

 = EXISTING WALL
  = REMOVED WALL

 = 1-HOUR FIRE RATED WALL
  = NEW WALL/INFILL

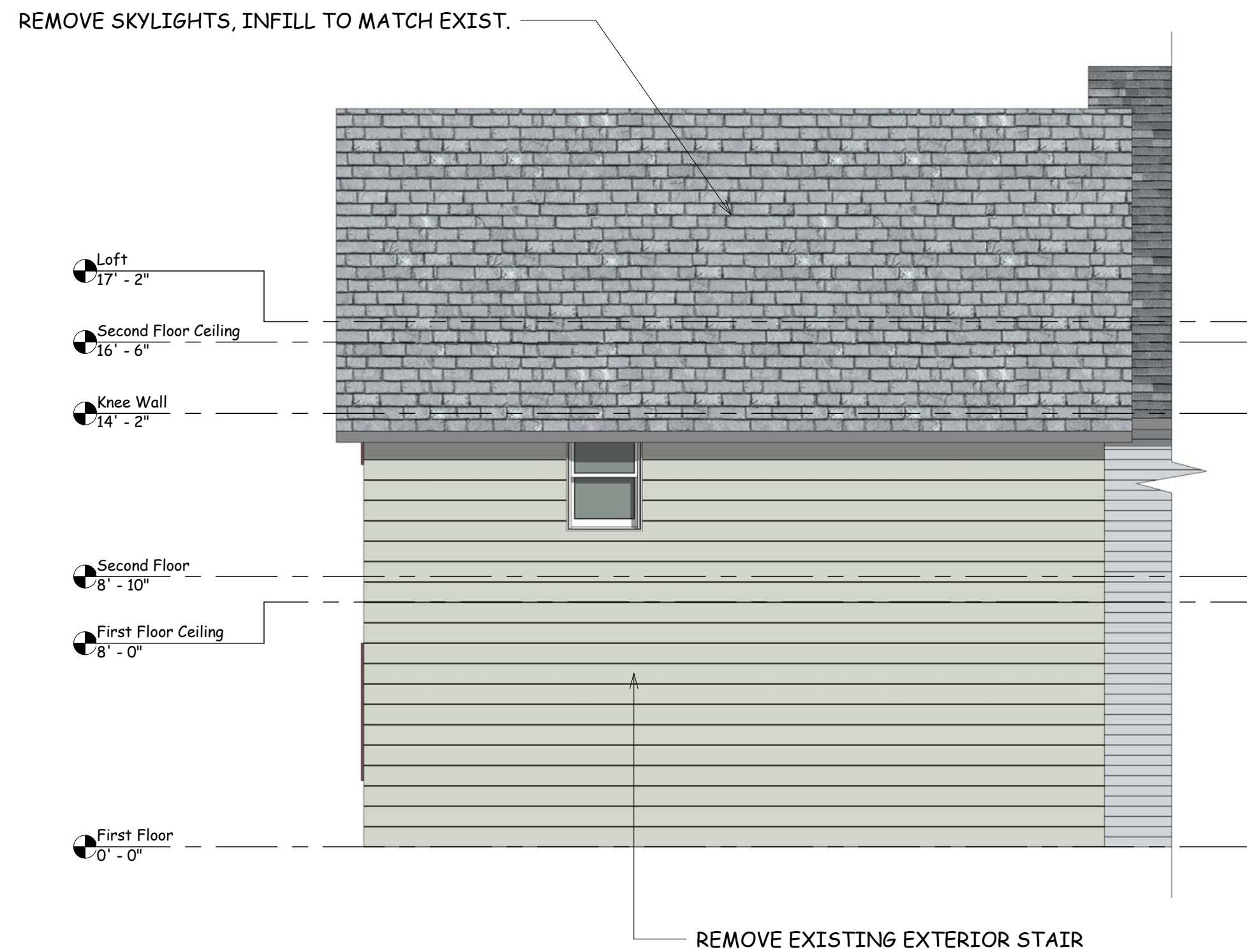
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11/06/2007 07:00:00 AM



① NORTH ELEVATION
1/4" = 1'-0"



② WEST ELEVATION
1/4" = 1'-0"



③ EAST ELEVATION
1/4" = 1'-0"

DRAWING FOR CONSTRUCTION

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PHIL GERAGHTY
31 VOLZ STREET
BURLINGTON, VERMONT

SCALE: 1/4" = 1'-0"
DATE: 10/10/2022
DRAWN BY: WGI
CHECKED BY: G4
PROJECT: 31 VOLZ

SHEET TITLE:

EXTERIOR
ELEVATIONS



A-3

11/30/2022 3:20:10 PM

Burlington Design Advisory Board

Department of Permitting and Inspections

645 Pine Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/DPI/Boards/Design-Advisory-Board/>

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Ron Wannamaker

Emily Morse

Jack Qualey

Gabriel Stadecker

Jay White

Kathleen Ryan, Alternate

Michael Alvanos, Alternate



DESIGN ADVISORY BOARD Tuesday December 27, 2022 3:00 PM

Minutes

Present: Jay White

Absent: Jack Qualey, Emily Morse, Gabe Stadecker, Ron Wannamaker, Kathleen Ryan (alternate), Michael Alvanos (alternate)

Staff present: Scott Gustin

Guests: Steve Guild, Warren Irish, & Philip Geraghty

Agenda

Session I – 3:00 PM – 3:30 PM

ZP-22-554; 31 Volz St (RM, Ward 3C) Philip & Katherine Geraghty / Steve Guild

Within the front portion of the existing duplex, combine the second floor unit with portions of the first floor unit into one unit; duplex use to remain.

Additionally, construct a new dormer above the ground level porch for additional second floor living space.

Steve Guild, Warren Irish, & Philip Geraghty appeared on behalf of this item.

As the Board lacked a quorum, no review or recommendation was made.