



DRB Agenda - Tuesday, September 19, 2023, 5:00 PM,

645 Pine Street, Front Conference Room or Remote on Zoom:

Please click the link below to join the webinar:

Zoom: <https://us02web.zoom.us/j/83225696227?pwd=SGQ0bTdnS000Wkc3c2J4WWw1dzMxUT09>

Webinar ID: 832 2569 6227

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1. Agenda

2. Communications

3. Minutes

4. Consent Agenda

Subject	4.1. ZPF-23-63; 16 South Winooski Avenue (FD5, Ward 8) Ronald McDonald House Charities / Kristine Bickford Alternative compliance to replace existing four-foot-high fence with new 4.8-foot-high perimeter fencing. (Project Manager, Garret King)
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Meeting	September 19, 2023 - DRB Agenda - Tuesday, September 19, 2023, 5:00 PM,
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Category	4. Consent Agenda
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Department	Planning
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Type

Subject	4.2. ZP-23-298; 15 Hayward Street (RM, Ward 5) Sandra Delaney / Karen Miller Driveway renovation to reconstruct retaining wall within two feet of property boundary line. (Project Manager, Mary O'Neil)
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Meeting	September 19, 2023 - DRB Agenda - Tuesday, September 19, 2023, 5:00 PM,
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Category	4. Consent Agenda
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Department	Planning
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Type

5. Public Hearing

Subject	5.1. ZP-23-98; 41 Kingsland Terrace (RL, Ward 6) Deidre Donovan / Horace Mitchell Conditional use approval to demolish existing garage to construct ADU. (Project Manager, Mary O’Neil)
Meeting	September 19, 2023 - DRB Agenda - Tuesday, September 19, 2023, 5:00 PM,
Category	5. Public Hearing
Department	Planning
Type	

6. Adjournment

Subject	6.1. Motion to adjourn
Meeting	September 19, 2023 - DRB Agenda - Tuesday, September 19, 2023, 5:00 PM,
Category	6. Adjournment
Department	Council and Board
Type	
Recommended Action	

te Place

Lot 2
Ronald McDonald
House Parcel
0.91 Acres /
39548 Sq. Ft.

Lot 1
First Congregational
Church Parcel
1.4 Acres /
60799 Sq. Ft.

Flush
1' West of Decorative
Stone Monument

215 Pearl St.

19 Orchard
Terrace

25 Orchard
Terrace

BED Easment
V.895 Pg.146

Electric Transformer

Paved
Parking

R.M.D.
House

Paved Drive

Flush

Paved
Parking

N 87°50'54" E

S 0102827

Playground

Subdivision
Line

N 88°40'04"
209.89'

Flush

paid

S 01028127

Enoch

Page 3 of 66

Behind
Plant bed/sign

Kristene Montage Plus®

Buyline 5862

Fusion Welded Steel Construction

Montage Plus® is crafted with an inherent beauty that adds a decorative touch to any landscape. The fusion welded steel construction makes it applicable for all types of commercial installations such as retail businesses, storage facilities, schools, health care facilities and golf courses and recreational parks. The curved pickets of the Invincible® style provide a superior look to chain link and barbed wire. The maintenance-free electro-deposition coating (E-Coat) makes Montage Plus® suitable for any climate, hot or cold, wet or dry; Ameristar® uses the same cyclic testing technology used in the automotive industry to ensure that the coating will withstand repeated shifts in temperature and humidity.

COMPONENT SIZES

System	Pickets	Rails	Posts
Montage Plus® Commercial	3/4" x 16 Ga. for fences up to & including 6' tall; 3/4" x 14 Ga. for 7' & 8' tall fences	1-7/16" x 0.072 Top 1-1/2" x 0.072" Sides	2-1/2" Sq. x 16 Ga. min. for fences up to & including 6' tall; 2-1/2" Sq. x 14 Ga. min. for 7' & 8' tall fences

STYLES



CLASSIC™
Style C2 (2-Rail)
Style C3 (3-Rail)



MAJESTIC™
Style M2 (2-Rail)
Style M3 (3-Rail)



GENESIS™
Style G2 (2-Rail)
Style G3 (3-Rail)

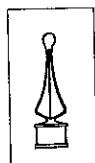


INVINCIBLE™
Style I2 (2-Rail)
Style I3 (3-Rail)



WARRIOR™
Style W2 (2-Rail)
Style W3 (3-Rail)

ADORNMENTS



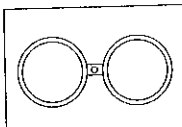
Quad Flare



Triad



Ball Cap



Ring



GATES

Gates are fabricated by welding Montage Plus® panel material to 1-3/4" square gate ends.

DESIGN ADVANTAGES

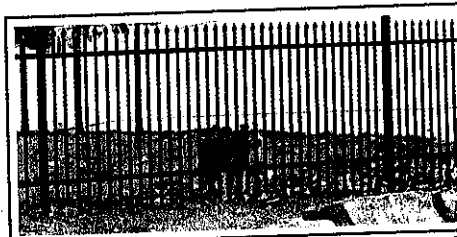
• All Terrain Fence (ATF)™ Panel Design

Unlike conventional welded panels that require stair-stepping along grades (leaving gaps and open areas below the fence), the all-terrain flexibility (ATF) of eight-foot long Montage Plus® panels allows them to rack up to 48" on Classic, Majestic, and Genesis styles; up to 18" on Invincible® curved picket style.



• Pool, Pet & Play (PPP)™ Picket Space Option

In many cases related to child care, public swimming pools, and containment, a narrower space may be desired or required for added safety or security. Montage Plus® offers the optional 3" space.



• Flush Bottom Rail Option

For some applications, a flush bottom rail may be necessary to meet local building codes or simply to meet an aesthetic preference.

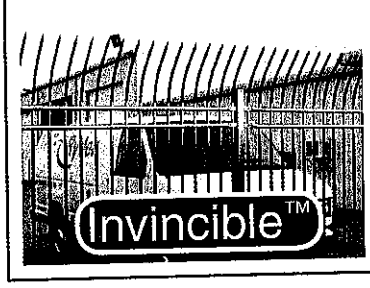
WARRANTY

The E-Coat combination of galvanized steel, zinc phosphate pre-treatment, and epoxy and acrylic double coating provide the protection necessary to withstand adverse weathering effects and justify the 'best-in-the-business' 20 Year Warranty.

COLORS, AVAILABILITY & MAINTENANCE

Montage Plus® color chip samples can be requested for actual color. Availability and maintenance information are the same as for the Aegis II® and Aegis Plus® steel fence systems.

Montage Plus® offers elegant style at an afford-able price. Montage Plus® is the best choice for commercial projects that require perimeter fences.



CONSTRUCTION SPECIFICATION

SECTION 32 31 00 - ORNAMENTAL WELDED FENCING SYSTEM

Montage Plus® - Commercial Weight

PART 1 - GENERAL

1.01 WORK INCLUDED

The contractor shall provide all labor, materials and appurtenances necessary for installation of the welded ornamental steel fence system defined herein at (specify project site).

1.02 RELATED WORK

Section _____ - Earthwork
Section _____ - Concrete

1.03 SYSTEM DESCRIPTION

The manufacturer shall supply a total fence system of (specify Montage Plus ATF® standard picket space or Montage Plus® Pool, Pet & Play® 3" air space) Welded Ornamental Steel (for standard picket space, specify Invincible®, Classic™, Majestic™, or Genesis™, for 3" air space, specify Classic™, Majestic™, or Genesis™) design. The system shall include all components (i.e., panels, posts, gates and hardware) required.

1.04 QUALITY ASSURANCE

The contractor shall provide laborers and supervisors who are thoroughly familiar with the type of construction involved and materials and techniques specified.

1.05 REFERENCES

ASTM A653/A653M - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy Coated (Galvannealed) by the Hot-Dip Process. ASTM B117 - Practice for Operating Salt-Spray (Fog) Apparatus. ASTM D523 - Test Method for Specular Gloss. ASTM D822 - Practice for Conducting Tests on Paint and Related Coatings and Materials using Filtered Open-Flame Carbon-Arc Light and Water Exposure Apparatus. ASTM D1654 - Test Method for Evaluation of Painted or Coated Specimens Subjected to Corrosive Environments. ASTM D2244 - Test Method for Calculation of Color Differences from Instrumentally Measured Color Coordinates. ASTM D2794 - Test Method for Resistance of Organic Coatings to The Effects of Rapid Deformation (Impact). ASTM D3359 - Test Method for Measuring Adhesion by Tape Test.

1.06 SUBMITTAL

The manufacturer's literature shall be submitted prior to installation.

1.07 PRODUCT HANDLING AND STORAGE

Upon receipt at the job site, all materials shall be checked to ensure that no damage occurred during shipping or handling. Materials shall be stored in such a manner to ensure proper ventilation and drainage, and to protect against damage, weather, vandalism and theft.

PART 2 - MATERIALS

2.01 MANUFACTURER

The fence system shall conform to (specify Montage Plus ATF® standard picket space or Montage Plus® Pool, Pet & Play® 3" air space) Welded Ornamental Steel, (for standard picket space, specify Invincible®, Classic™, Majestic™, or Genesis™, for 3" air space, specify Classic™, Majestic™, or Genesis™) design, (specify extended picket or flush) bottom rail treatment, (specify 2-Rail, 3-Rail or 4-Rail or 3-Rail or 4-Rail with Coronas) style manufactured by Ameristar Fence Products, Inc., in Tulsa, Oklahoma.

Table 1 - Minimum Sizes for Montage Plus Gate Posts

Gate Opening	Gate Height		
	Up To & Including 4'	Over 4', Up To & Including 6'	Over 6', Up To & Including 8'
Up to & Including 4'	2-1/2" x 14 Ga.	3" x 12 Ga.	3" x 12 Ga.
Over 4', Up To & Including 6'	3" x 12 Ga.	3" x 12 Ga.	4" x 12 Ga.
Over 6', Up To & Including 8'	3" x 12 Ga.	4" x 12 Ga.	6" x 12 Ga.

2.02 MATERIAL

- Steel material for fence panels and posts shall conform to the requirements of ASTM A653/A653M, with a minimum yield strength of 45,000 psi (344 MPa) and a minimum zinc (hot-dip galvanized) coating weight of 0.60 oz/ft² (184 g/m²), Coating Designation G-60.
- For fence systems up to and including 6' tall, material for pickets shall be 3/4" square x 16 Ga. tubing. For fence systems 7' and 8' tall, material for pickets shall be 3/4" square x 14 Ga. tubing. The rails shall be steel channel, 1.5" x 1.4375" x 14 Ga. Picket holes in the rail shall be spaced (specify 4.675" o.c. for standard picket space or 3.500" o.c. for 3" air space). For fence systems up to and including 6' tall, posts shall be a minimum of 2-1/2" square x 16 Ga. For fence systems 7' and 8' tall, posts shall be a minimum of 2-1/2" square x 14 Ga. Gate posts shall meet the minimum requirements of Table 1.

2.03 FABRICATION

- Pickets, rails and posts shall be pre-cut to specified lengths. Rails shall be pre-punched to accept pickets.
- Pickets shall be inserted into the pre-punched holes in the rails and shall be aligned to standard spacing using a specially calibrated alignment fixture. The aligned pickets and rails shall be joined at each picket-to-rail intersection by Ameristar's proprietary fusion welding process, thus completing the rigid panel assembly (Note: The process produces a virtually seamless, spatter-free good-neighbor appearance, equally attractive from either side of the panel.).
- The manufactured panels and posts shall be subjected to an inline electrodeposition coating (E-Coat) process consisting of a multi-stage pretreatment/wash (with zinc phosphate), followed by a duplex application of an epoxy primer and an acrylic topcoat. The minimum cumulative coating thickness of epoxy and acrylic shall be 2 mils (0.058 mm). The color shall be (specify Black or Bronze). The coated panels and posts shall be capable of meeting the performance requirements for each quality characteristic shown in Table 2.
- Gates shall be fabricated using welded ornamental panel material and gate ends having a 1-3/4" square cross-sectional size. All rail and upright intersections shall be joined by welding. All picket and rail intersections shall also be joined by welding.

PART 3 - EXECUTION

3.01 PREPARATION

All new installation shall be laid out by the contractor in accordance with the construction plans.

3.02 INSTALLATION

Fence posts shall be set according to Table 3, plus or minus 1/2". Fence panels shall be attached to posts with brackets supplied by the manufacturer. Gate posts shall be spaced according to the gate openings specified in the construction plans. The "Earthwork" and "Concrete" sections of this specification shall govern post base material requirements.

3.03 CLEANING

The contractor shall clean the jobsite of excess materials; post-hole excavations shall be scattered uniformly away from posts.

Table 2 - Coating Performance Requirements

Quality Characteristics	ASTM Test Method	Performance Requirements
Adhesion	D3359 - Method B	Adhesion (Retention of Coating) over 90% of test area (Tape and knife test).
Corrosion Resistance	B117, D714 & D1654	Corrosion Resistance over 1,500 hours (Scribed per D1654; failure mode is accumulation of 1/8" coating loss from scribe or medium #8 blisters).
Impact Resistance	D2794	Impact Resistance over 60 inch lb. (Forward impact using 0.625" ball).
Weathering Resistance	D822, D2244, D523 (60° Method)	Weathering Resistance over 1,000 hours (Failure mode is 60% loss of gloss or color variance of more than 3 delta-E color units).

Department of Permitting & Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
Telephone: (802) 865-7188

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Permit Technician
Ted Miles, Code Compliance Officer
Ted Boylan, DPI Administrator



TO: Development Review Board
FROM: Garret King
DATE: September 19, 2023
RE: ZPF-23-63; 16 South Winooski Avenue

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Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: FD5 Ward: 8E

Owner/Applicant: Ronald McDonald House Charities/Kristine Bickord

Request: Replace existing four-foot-high aluminum fencing with new 4.8-foot-high steel perimeter fencing.

Applicable Regulations:

Article 5 (Citywide General Regulations), Article 14 (Plan BTV Downtown Code).

Background Information:

The applicant is seeking approval to install a 4.8-foot tall aluminum fence around the perimeter of the Ronald McDonald House on the corner of Pearl Street and South Winooski Avenue. Currently there is a 4ft fence around the frontage of Pearl St. and South Winooski Ave. with some chain link fencing in the rear of the property. The application had previously sought approval of a 6-foot tall fence that was denied because it was too tall.

In the form code fence height is limited to 4 feet along street frontages. The applicant is seeking the alternative compliance that enables up to an additional 20% height increase -4.8 feet in this case. Alternative compliance requires review and approval by the Design Advisory Board and Development Review Board. The Design Advisory Board approved the project as presented at the September 12th meeting.

Recommendation: Consent approval based on the following findings:

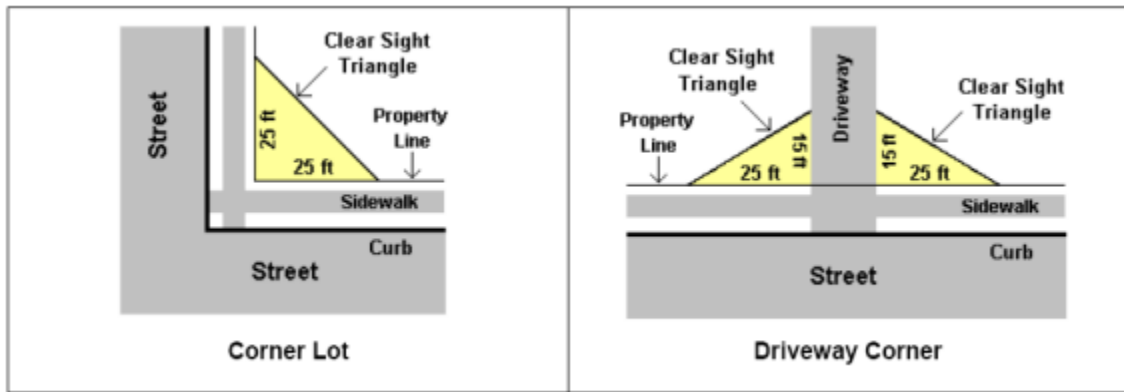
I. Findings:

Article 5: Citywide General Standards

Sec 5.2.6 Building Height Limits

(c) Clear Sight Triangle

The fence layout obeys the clear sight triangle requirements for both the corner of South Winooski Avenue and Pearl Street intersection as well as the requirements for a clear sight triangle for the driveway. **(Affirmative Finding)**

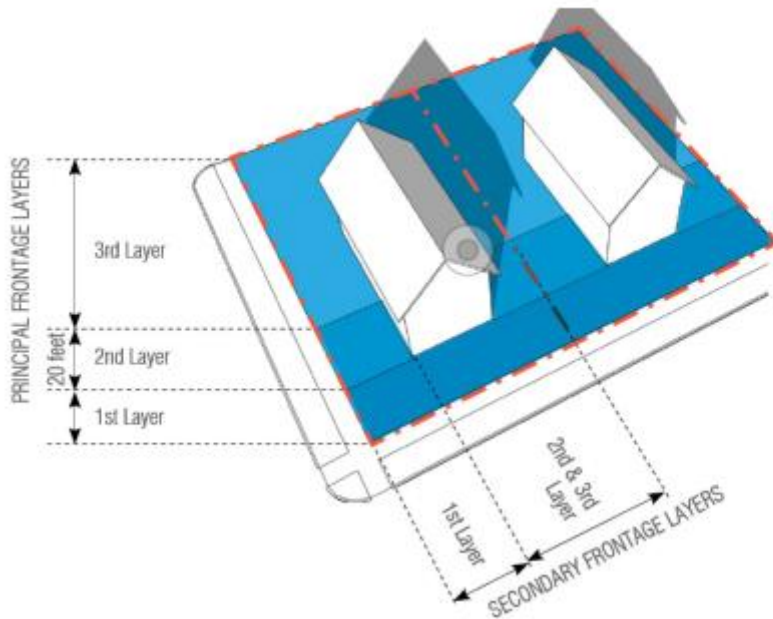


Article 14: Plan BTV Downtown Code

Sec. 14.6.8 Site and Landscape Standards

(b).(v).(A) Fences and free standing walls

Fences and Free-standing Walls placed within the First Lot Layer shall not exceed 4-feet in height unless the applicant is seeking alternative compliance. See Sec. 14.7.3 b. **(Affirmative Finding)**



Sec 14.7.3 Variation from The Form

b) I, DRB Alternative Compliance

Enables up to 20% relief from the applicable numerical standard. In this case, the 4' fence height limit increased to 4.8' tall.

A. *The relief sought is necessary in order to accommodate unique site/or building circumstances or opportunities*

In order to secure the property and inhibit trespass, a taller fence is required beyond what is allowed in 14.6.8 **(Affirmative Finding)**

B. *The relief if granted is the minimum necessary to achieve the desired result*

The 20% increase in height requested is modest and results in a 4.8 foot height.
(Affirmative Finding)

- C. *The property will otherwise be developed consistent the purpose of this ordinance, the intent of the Form District, the intent and purpose of the section that the relief is being sought, and all other applicable standards*

The project is to only change out the fence, the installation will not change the character of the property or building. **(Affirmative Finding)**

- D. *The relief if granted will not impose an undue adverse burden on existing or future development of adjacent properties*

The majority of the fence will run along the street edge and will not affect other neighboring properties. The fence if needed could be easily removed in the future.
(Affirmative Finding)

- E. *The relief if granted will yield a result equal to or better than strict compliance with the standard being relieved*

A taller fence will help provide additional protection to the property from trespass, loitering, and vandalism that is currently occurring due to the ease pedestrians have climbing over the 4 foot fence. **(Affirmative Finding)**

II. Conditions of Approval

1. The Applicant/Property Owner is responsible for obtaining all necessary Zoning Permits and Building Permits through the Department of Public Works as well as other permit(s) as may be required, and shall meet all energy efficiency codes of the city and state.
2. Standard permit conditions 1-15

Department of Permitting and Inspections

Zoning Division

645 Pine Street

Burlington, VT 05401

<https://www.burlingtonvt.gov/DPI/Zoning-Permits>

Telephone: (802) 865-7188

(802) 865-7195 (FAX)

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Scott Gustin, AICP, CFM, Principal Planner
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Garret King, Associate Planner
Joseph Cava, Planning Technician
Ted Boylan, Permit Administrator



MEMORANDUM

To: Development Review Board
From: Mary O'Neil, AICP, Principal Planner
Date: September 19, 2023
RE: 15 Hayward Street, ZP-23-298

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP-23-298

Location: 15 Hayward Street

Zone: RM **Ward:** 5

Parking District: Neighborhood

Date application submitted: June 19, 2023

Applicant/ Owner: Karen Miller, Churchill Landscaping / Sandra Delaney

Request: Renovation and reconstruction of existing driveway, front yard retaining walls, front/back decks, front walkway pavers, and new landscape plantings.

Background:

- **Zoning Permit 91-199 (1990-7 OG);** Front and rear elevation changes, Windows and doors to existing single family home. Siding to be replaced with 8" Exposure wood clapboard. December 1990.
- **Zoning Permit 91-266 (1991-43 OG);** Demolition of existing deteriorated garage at rear of property, 12'6x 20'3. Construction of deck at rear of existing single family home, Measuring approx. 16'X 10'. March 1991.
- **Zoning Permit 91-291 (91-68 OG);** Construction of two terraced retaining wall along front property line. Access to be redirected from stairs to along drive-Way of existing single family home. April 1991.
- **Zoning Permit 04-076 (03-372 OG);** Build an 8' x 8' shed in rear yard. August 2003.
- **Zoning Permit 07-009FC (06-417 OG);** Fence in back of property. July 2006.

Overview: The applicant proposes significant landscape and hardscape improvements to the property. DRB review is required as a new retaining wall is proposed within 2' of a property boundary line.

Recommended motion: Certificate of Appropriateness Consent approval, per the following Findings and Conditions:

I. Findings

Article 4: Zoning Maps and Districts

Basic lot coverage is limited to 40% in the Medium Density (RM) zoning district. The application proposes to retain the existing 40% lot coverage. The retaining walls will not contribute to the calculation as they are less than 18” across the top. **Affirmative finding.**

Article 5: Citywide General Regulations

Section 5.2.1 Existing Small Lots.

Not applicable.

Section 5.2.2 Required Frontage or Access

In the RM zoning district, 30’ frontage is required. The lot is 37 ½’ wide, with vehicular access onto Hayward Street. **Affirmative finding.**

Section 5.2.3 Lot Coverage Requirements

(b) Exceptions to lot coverage

7. Retaining walls less than eighteen (18) inches in width across the top surface; if eighteen(18) inches or greater, the entire top surface shall be considered as lot coverage; and,

The retaining walls are proposed to be 11” across the top, so they are an exception to lot coverage. **Affirmative finding.**

Section 5.2.4 Buildable Area Calculation

Not applicable.

Section 5.2.5 Setbacks

(b) Exceptions to setbacks

3. Retaining Walls. Retaining walls no greater than 5’ tall may project into a required yard setback, but retaining walls should be set back a minimum of 2’ from a property boundary. Retaining walls projecting into a required setback and exceed 5’ tall and/or come within 2’ of a property boundary shall be subject to Development Review Board review per Article 6.

The existing raised bed in the front yard was approved in 1991 and will be replaced. A new retaining wall along the driveway immediately abuts a property line, and therefore is subject to DRB review and approval.

Section 5.2.6 Building Height Limits

Not applicable.

Section 5.2.7 Density and Intensity of Development Calculations

Not applicable.

Part 3: Non Conformities

Not applicable.

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,

To promote the adaptive re-use of historic buildings and sites.

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

15 Hayward Street is listed on the Vermont State Register of Historic Resources. The narrative defines the house "set down in depression. Stone retaining wall on right side."

As the application only proposes landscaping and hardscape changes, no adverse impact to the structure are intended. **Affirmative finding.**

Article 6: Development Review Standards

Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a)Protection of Important Natural Features:

The driveway will be replaced in roughly the same dimensions as an earlier approval; existing trees on the west of the site will be retained with significant landscaping will be added to the site.

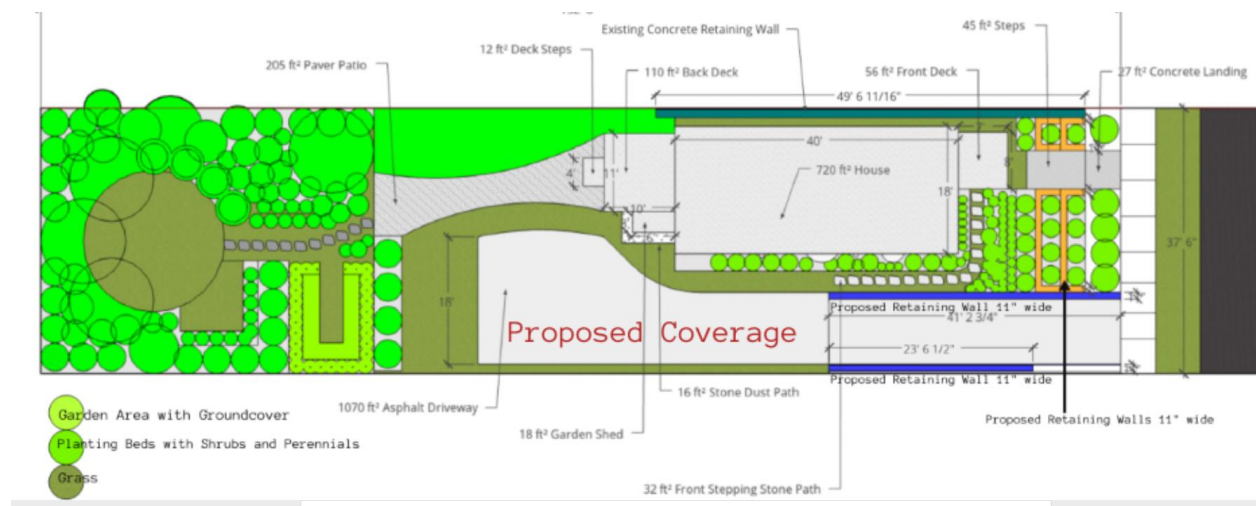
Affirmative finding.

(b) Topographical Alterations:

Proposed design and construction details for any cut and fill, or retaining walls over 3-feet in height, or any height along the lakeshore, shall be subject to review and approval by the city engineer before receiving approval of the site plan.

Previously approved retaining walls in the front yard will be replaced, and new retaining walls added along both sides of the driveway. As noted, the house sits within a depression. The walls are not proposed to exceed 3' in height. DRB review is required as the southerly most retaining wall is proposed within 2' of a boundary line. The lot is only 37.5' wide.

Affirmative finding with DRB concurrence.



(c) Protection of Important Public Views:

Not applicable.

(d) Protection of Important Cultural Resources:

See Section 5.4.8, above.

(e) Supporting the Use of Renewable Energy Resources:

Not applicable.

(f) Brownfield Sites:

Not applicable.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

The applicant will be required to complete an Erosion Prevention and Sediment Control plan due to the driveway replacement. This will be a condition of any approval.

Affirmative finding as conditioned.

(h) Building Location and Orientation:

Not applicable.

(i) Vehicular Access:

No change from existing. **Affirmative finding.**

(j) Pedestrian Access:

Footpaths are included in the landscaping plan. A new entry deck is proposed for the primary façade. **Affirmative finding.**

(k) Accessibility for the Handicapped:

While encouraged, ADA access is not required of single family homes.
Not applicable.

(l) Parking and Circulation:

No change. **Affirmative finding.**

(m) Landscaping, Fences and Retaining Walls:

Retaining walls greater than 5' tall shall incorporate textured surfaces, terracing, and/or vegetation to avoid long monotonous unarticulated expanses and to minimize adverse visual impacts to neighboring properties. As with fences, retaining wall styles, materials, and dimensions shall be compatible with the context of the neighborhood and use of the property.

The proposed retaining walls will not exceed 5' in height. Submission materials detail a textured concrete block material with cap stone to address the differing grades of the front yard.
Affirmative finding.

(n) Public Plazas and Open Space:

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

Not applicable.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

The shed permitted in 2006 will be removed (its placement encroached into a required setback), and a new, smaller attached storage structure is proposed. The condensing unit visible in site photographs must meet required setbacks, and be screened from view from the street.

Affirmative finding as conditioned.

Part 3: Architectural Design Standards
Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

The replacement entry decks are proportionate to the existing structure. **Affirmative finding.**

2. Roofs and Rooflines.

Not applicable.

3. Building Openings

Not applicable.

(b) Protection of Important Architectural Resources:

See Section 5.4.8.

(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

The new deck, driveway, retaining walls and landscaping will provide a warm and inviting street edge. **Affirmative finding.**

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

The driveway will be asphalt, the retaining walls stone, the decks wood. See submission documents. All are considered appropriate and durable for new construction. **Affirmative finding.**

(f) Reduce energy utilization:

Not applicable.

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

See Section 6.2.2 (p), above.

(i) Make spaces secure and safe:

Not applicable.

Article 8: Parking

Not applicable.

II. Conditions of Approval

1. **Prior to release of the zoning permit** an Erosion Prevention and Sediment Control plan shall be submitted for review and approval of the Stormwater Engineer.
2. The DRB has discretionary review of retaining walls within 2' of any property line.
3. The condensing unit visible in site photographs must meet required setbacks, and be screened from view from the street.
4. Standard Permit Conditions 1-15.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.



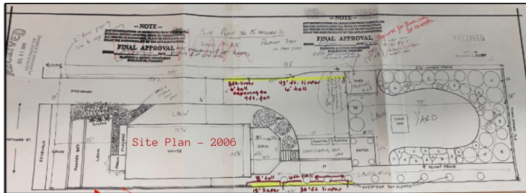
Page 16 of 66

The photograph shows a side view of a house with light-colored horizontal siding and a white downspout. A concrete driveway leads from the foreground towards the house. In the background, other houses and trees are visible. An inset plan view in the bottom right corner shows a top-down view of the driveway area, with a label 'Existing Driveway' pointing to a specific section and a scale bar below it.

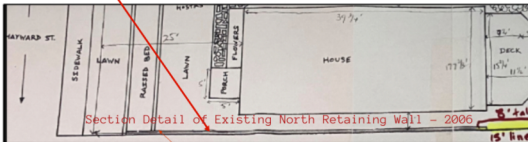
Existing Driveway

Sandra Delaney
15 Hayward Street
Burlington, VT 05401
8.11.2023

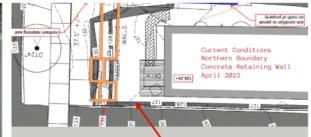
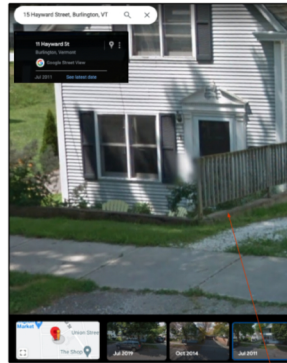
Existing Concrete Retaining Wall Northern Property Line



Existing Concrete Retaining Wall - July 2006



Existing Concrete Retaining Wall - July 2006



Existing Concrete Retaining Wall - July 2011

2301/5756 = 40% Coverage



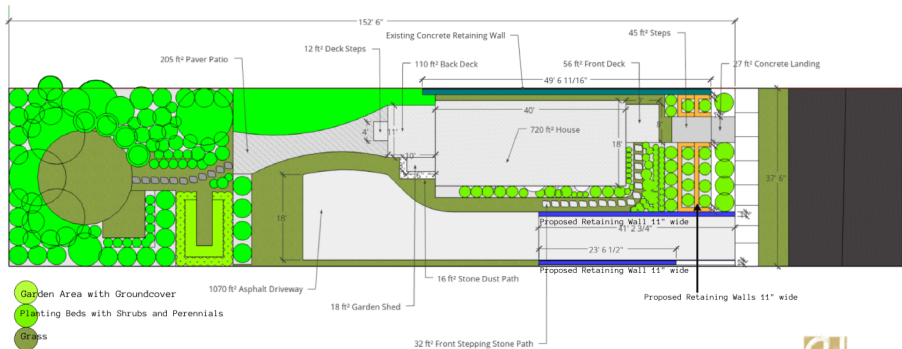
Sandra Delaney
15 Hayward Street
Burlington, VT
05401

Proposed Coverage

Proposed Coverage

Total Lot	5756 SF
Back Stepping Path	22 SF
Paver Patio	205 SF
Deck Steps	12 SF
Back Deck	110 SF
House	720 SF
Front Deck	56 SF
Front Steps	45 SF
Concrete Landing	27 SF
Asphalt Driveway	1070 SF
Shed	18 SF
Stone Dust Path.	16 SF
Total Coverage	2301 SF

2301/5756 = 40% Coverage



CHURCH HILL
LANDSCAPES

Proposed Materials and Existing Conditions

Delaney, Sandra
15 Hayward Street
Burlington, VT 05401
8/4/2023



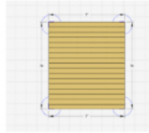
Existing Back Deck 148 SF
12 x 6 x 6 x 10



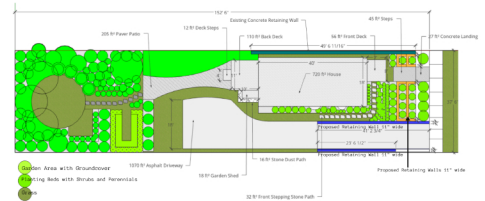
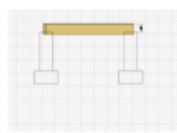
Proposed Back Deck
11 by 10 110 SF
Made with Like Material



Existing Front Deck 5 x 5. 25 SF



Proposed Front Deck 7 x 8 56 SF 7" Rise



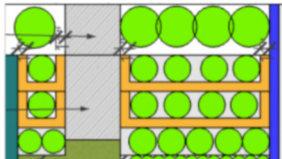
Existing Concrete
Paver Patio 220 SF



Proposed Paver Patio 205 SF
Replace with Like Materials



Existing Tiered Timber Retaining Walls
with Planting Beds



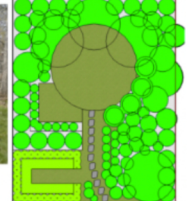
Proposed Concrete Block Tiered
Retaining Walls with Planting Beds



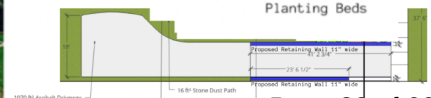
Existing Driveway



Existing Backyard



Proposed Backyard
Planting Beds



Department of Permitting and Inspections

Zoning Division

645 Pine Street

Burlington, VT 05401

<https://www.burlingtonvt.gov/DPI/Zoning-Permits>

Telephone: (802) 865-7188

(802) 865-7195 (FAX)

William Ward, Director
Theodore Miles, Code Compliance Officer
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Planning Technician
Ted Boylan, Permit Administrator



MEMORANDUM

To: Development Review Board
From: Mary O'Neil, AICP, Principal Planner
Date: September 19, 2023
RE: ZP-23-98; 41 Kingsland Terrace

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP-23-98

Location: 41 Kingsland Terrace

Zone: RL **Ward:** 6S

Parking District: Neighborhood

Date application accepted: March 12, 2023 (review paused while applicant worked to address sewer ROW across property)

Applicant/ Owner: Horace (Binney) Mitchell

Request: Demolish existing single car garage (listed within South Union Street Historic District); construct Accessory Dwelling Unit.

Background:

- **Zoning Permit 11-0318CA;** convert enclosed porch to finished living space. October 2010.
- **Zoning Permit 81-224;** remove existing aluminum windows and replace with wood casements. October, 1980.

Overview: 41 Kingsland Terrace is an existing single family home that sits at the end of a cul-de-sac. The applicant proposes demolition of a single car garage (1923) with construction of a single story Accessory Dwelling Unit (ADU.)

As both the house and the garage are identified as contributing resources within the South Union Street Historic District, Conditional Use review is required for demolition of the garage.



The **Design Advisory Board** reviewed the application at their September 12, 2023 meeting and unanimously voted to recommend approval to the DRB, with a recommendation to provide a canopy over the ADU entrance, and to identify a pedestrian path to the sidewalk.

Recommended motion: Certificate of Appropriateness and Conditional Use approval, per the following Findings and Conditions:

I. Findings

Article 3: Applications, Permits and Project Reviews

Part 3: Impact Fees

Section 3.3.2 Applicability

Any new development or additions to existing buildings which result in new dwelling units or in new nonresidential buildings square footage are subject to impact fees as is any change of use which results in an added impact according to Section 3.3.4.

The replacement building results in the addition of one new residential unit.

Section 3.3.8 Time and Place of Payment

Impact Fees must be paid to the city's chief administrative officer/city treasurer according to the following schedule:

- (a) *New Buildings: Impact fees must be paid at least seven (7) days prior to occupancy of a new building or any portion thereof.*

Based on the net new residential area of the unit, the following Impact Fees shall be assessed:

SF of Project 532

Department	<u>Residential</u>	
	Rate	Fee
Traffic	0.231	122.86
Fire	0.261	138.77
Police	0.053	27.97
Parks	0.874	465.12
Library	0.541	287.96
Schools	1.129	600.60
Total	3.089	\$ 1,643.28

Affirmative finding as conditioned.

Part 5: Conditional Use

Section 3.5.6 Review Criteria

- (a) **Conditional Use Review Standards** (required due to request for demolition of a listed historic structure)

Approval shall be granted only if the DRB, after public notice and public hearing, determines that the proposed conditional use and associated development shall not result in an undue adverse effect on each of the following general standards:

1. *Existing or planned public utilities, facilities, or services are capable of supporting the proposed use in addition to the existing uses in the area.*

A replacement structure with an accessory dwelling unit associated with an existing single family home in a residential zoning district will not result in an undue adverse effect on existing or planned public facilities. **Affirmative finding.**

2. *The character of the area affected as defined by the purpose or purposes of the zoning district(s) within which the project is located, and specifically stated policies and standards of the municipal development Plan;*

This is a low density residential zoning district; the street listed in its entirety within the South Union Street Historic District on the National Register of Historic Places. The proposed replacement garage to include an accessory dwelling unit is typically of little consequence; but the request to demolish a listed property must satisfy the conditions of Section 5.4.8 (d).

Plan BTV defines the goal of meeting the demand for housing and offering many kinds of housing types

- 8.1 Enable the development of additional housing at all income levels consistent with the regional Building Homes Together targets and the city's Housing Action Plan by reducing regulatory barriers and disincentives to development, and encouraging infill and redevelopment of underutilized sites. (*PlanBTV, Burlington as a Dynamic City.*)
- Utilizing a range of policies, programs, and funding sources to expand housing opportunity, fill gaps in the housing tenure ladder, ensure perpetual affordability, and increase the overall supply and inclusiveness of housing. (*PlanBTV, Burlington as an Inclusive City.*)

Plan BTV also emphasizes the protection of the city's historic and cultural resources (2019 *PlanBTV*, p.24, 30)

- *New development [should be] integrated within and complementary to the unique, historic design characteristics of each neighborhood. (p.33)*
- *The city also has a legacy of rich architectural heritage, moderately-scaled buildings, and high quality urban design. Burlington's rich and varied archaeological, historic, and architectural legacy is illustrated in many significant places which remain a vital link to the city's history and sense of place and time. As identified in the Burlington Survey Plan, protecting historic structures isn't just about a single building or site, but rather is part of a larger endeavor to conserve the elements and design characteristics that are at the heart of the city's neighborhoods and commercial areas, while also ensuring their continued function in serving the needs of residents and the economy. (p.35.)*

Affirmative finding, if DRB concurs with Findings of 5.4.8 (d).

3. *The proposed use will not have nuisance impacts from noise, odor, dust, heat, and vibrations greater than typically generated by other permitted uses in the same zoning district;*

A replacement structure including an accessory dwelling unit will have no discernable nuisance impacts greater than typically generated by other residences in the neighborhood. **Affirmative finding.**

4. *The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street designations and capacity; level of service and other performance measures; access to arterial roadways; connectivity; transit availability; parking and access; impacts on pedestrian, bicycle and transit circulation, safety for all modes; and adequate transportation demand management strategies;*

The replacement structure with an accessory dwelling unit will have no measureable impact on transportation systems, street level of service or other performance measures. Kingsland Terrace is an established residential public street; existing sidewalks are on both sides of the street along the public right-of-way. The site plan defines retention of the existing driveway. An ADU no longer requires a parking space, and there are no minimum parking standards. As arranged, the plan may be deemed consistent with this standard. **Affirmative finding.**

and

5. *The utilization of renewable energy resources;*
No part of this application will prevent the use of wind, solar, water, geothermal or other renewable energy resource. **Affirmative finding.**

and

6. *Any standards or factors set forth in existing City bylaws and city and state ordinances.*
The applicant will be required to provide a letter from the Department of Public Works confirming adequate water and sewer capacity for the new accessory dwelling unit. An Erosion Prevention and Sediment Control Plan will be required; approval by the Stormwater Engineer will be a condition of any decision. A state wastewater permit will also be required, and remains the responsibility of the applicant to secure.
Affirmative finding as conditioned.

(c) Conditions of Approval

In addition to imposing conditions of approval necessary to satisfy the General Standards specified in (a) or (b) above, the DRB may also impose additional conditions of approval relative to any of the following:

1. *Mitigation measures, including but not limited to screening, landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area;*

The application does not define any mechanical equipment or a separate meter for the ADU. The applicant shall define any additional mechanical equipment as appropriate, and illustrate on plans as appropriate.

Any new electric service shall be undergrounded.

Affirmative finding as conditioned.

2. *Time limits for construction.*

The permit will have a three-year life from the date of approval. Section 5.4.8 (d) 3. requires that construction commence within 6 months of building demolition. **Affirmative finding as conditioned.**

3. *Hours of operation and/or construction to reduce the impact on surrounding properties.*
Residential use has no limitation on hours of operation.
Construction shall be limited Monday-Friday 7:30- 5:30 pm, with indoor work only on Saturdays. No construction shall occur on Sundays. **Affirmative finding as conditioned.**

4. *That any future enlargement or alteration of the use return for review to the DRB to permit the specifying of new conditions,*
Any enlargement will be reviewed under the zoning regulations in effect at that time.
Affirmative finding.

and
5. *Such additional reasonable performance standards, conditions and safeguards as it may deem necessary to implement the purposes of this chapter and the zoning regulations.*
Any other performance standards are at the discretion of the Development Review Board.

Article 4: Zoning Maps and Districts

Section 4.4.5 Residential Districts

Table 4.4.5-1 Minimum Lot Size and Frontage: RL, RL-W, RM and RM-W

41 Kingsland Terrace exceeds the required minimum lot size of 6,000 sf (6,398 sf) and required lot frontage of 60'. **Affirmative finding.**

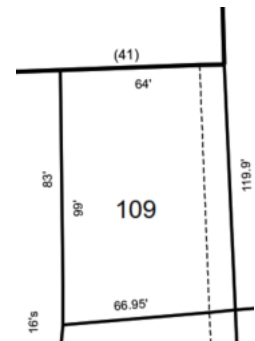


Table 4.4.5-3 Residential District Dimensional Standards

Zoning District	Max. Lot Coverage ¹	Setbacks ^{1, 3, 4, 5, 6}				
		Front ²	Side ³	Rear	Waterfront	Max. Height ¹
RL; WRL	35%	Min/Max: Ave. of 2 adjacent lots on both sides +/- 5-feet	Min: 10% of lot width or ave. of side yard setback of 2 adjacent lots on both sides Max required: 20'	Min: 25% of lot depth but in no event less than 20' Max required: 75-feet	Min: 75' feet from the ordinary high water mark of Lake Champlain and the Winooski River	35-feet

41 Kingsland Terrace	Existing 38.4%% (inc. bonuses. 35.12% without) Proposed 41.8% inclusive of bonus items; subtracting those 38.18%. However, there exists a lot coverage exception for creation of an ADU. See Section 5.2.3, b) 10 below.	No change	No change west boundary; 7' minimum east property line. (Acceptable for accessory structure < 15' in height.)	>7' setback; acceptable for accessory structure < 15' in height.	N/A	15' to ridgeline; < 35' limitation
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Affirmative finding if DRB approves lot coverage exemption under 5.2.3 b) 10.

Section 4.4.5 (d) 2. Lot coverage

A. Exceptions for Accessory Residential Features.

In the RL, RL-W, RM and RM-W districts, an additional ten (10) per cent of lot coverage above the otherwise applicable limit may be permitted for the following amenity features accessory to residential uses provided that such features shall at no time be enclosed or be used for parking:

- (i) Decks;
- (ii) Patios;
- (iii) Porches;
- (iv) Terraces;
- (v) Tennis or other outdoor game courts;
- (vi) Swimming pools and swimming pool aprons;
- (vii) Walkways;
- (viii) Window Wells; and/or
- (ix) Pervious pavement designed and maintained to infiltrate the 1-year/24-hour storm event onsite, subject to review and approval by the Stormwater Administrator .

The base coverage is limited to 35% (or what coverage has been lawfully created) while the open porch, patio and walkway fall within these allowable exceptions for residential bonus features. See Section 5.2.3 (b) 10. For exceptions to lot coverage. Adoption of that exception by the DRB will allow for the proposed 41.8% lot coverage. **Affirmative finding with DRB concurrence.**

Article 5: Citywide General Regulations

Section 5.2.1 Existing Small Lots

Not applicable.

Section 5.2.2 Required Frontage or Access

This is an existing developed parcel with a single family home and accessory garage.

Affirmative finding.

Section 5.2.3 Lot Coverage Requirements

See Table 4.4.5-3, above.

(b) Exceptions to lot coverage

10. The DRB may grant an exemption from maximum lot coverage limits for up to 650 sq.ft. of the lot area occupied by an ADU. To grant such an exemption, the DRB must find that the existing lot coverage has been lawfully created, and that the proposed location, site design, and improvements will enable on-site management of the first one inch of stormwater runoff from the lot area of the ADU exceeding the applicable lot coverage limit, and will not have undue adverse impact on public rights of way based on the review of the DPW Stormwater Program Manager.

The applicants requested an allowance of an additional 196 sq. ft. of lot coverage for the purpose of creating an Accessory Dwelling Unit. Under this application, the base lot coverage will exceed the 35% limitation and the existing lot coverage (base lot coverage 35.12%, 38.18% proposed) and raising the overall lot coverage including bonus amenities to 41.84%. All existing lot coverage has been lawfully created.

Allowance for the exemption (up to 650 sf, but only 196 requested) falls within the discretionary allowance to accommodate a new accessory dwelling unit.

Affirmative finding with concurrence of the DRB, and satisfactory management of the first one inch of stormwater per plan approval by the Stormwater Engineer.

Section 5.2.4 Buildable Area Calculation and Steep Slopes

This lot does not exceed 2 acres in size; nor does it fall within the Steep Slopes Overlay.

Not applicable.

Section 5.2.5 Setbacks

b) Exceptions to Yard Setback Requirements:

Plans reflect the minimum 5' setback for accessory residential structures consistent with Section 5.2.5 (b) 5.

5. *Accessory Structures and Parking Areas. Accessory structures no more than fifteen (15) feet in height, parking areas, and driveways may project into a required side and rear yard setback provided they are no less than five (5) feet from a side or rear property line where such a setback is required. **Affirmative finding.***

Section 5.2.6 Building Height Limits

See Table 4.4.5-3, and 5.2.5 (b) 5, above.

Section 5.2.7 Density and Intensity of Development Calculations

The property will remain a single family home, but with an accessory dwelling unit. For purposes of density, the property remains a single family home. **Affirmative finding.**

Section 5.3.6 Nonconforming Lots

Not applicable.

Section 5.4.5 Accessory Dwelling Units

(a) Accessory Units, General Standards/Permitted Uses:

(a) Accessory Units, General Standards/Permitted Uses:

Where there is a principal structure on a lot which exists as an owner-occupied single family residence, one accessory dwelling unit, that is located within or appurtenant to such single family dwelling, shall be allowed as a permitted use if the provisions of this subsection are met. An accessory dwelling unit means a dwelling unit that is clearly subordinate to the principal dwelling, and has facilities and provisions for independent living, including sleeping, food preparation, and sanitation. An accessory unit shall not be counted as a dwelling unit for the purposes of density calculation. Additionally, there must be compliance with all the following:

6. *The property has sufficient wastewater capacity as certified by the Department of Public Works;*

This is a condition of approval.

and

7. *The unit does not consist of more than 900 sq.ft., or 30 percent (30%) of the Gross Floor Area of the principal home, whichever is greater;*

The proposed unit is 532 sf.

and

8. *Applicable setback and coverage requirements are met, except as provided for in Sec. 5.2.3 (b) 10;*

See Table 4.4.5-3 and Section 5.2.3 (b) 10.

and

9. *A deed or instrument for the property shall be entered into the land records by the owner containing a reference to the permit granting the accessory unit prior to the issuance of the certificate of occupancy for the unit. Such reference shall identify the permit number and note that the property is subject to the permit and its terms and conditions including owner occupancy. No certificate of occupancy shall be issued for the unit unless the owner has recorded such a notice.*

Affirmative finding as conditioned.

(b) Discontinuance of Accessory Units:

Approval of an accessory dwelling unit is contingent upon owner-occupancy of either the principal or accessory dwelling unit as a primary residence. For purposes of this section, owner-occupancy means that, after the creation of the accessory unit all individuals listed on the deed for the property must reside in the principal unit or in the accessory unit. If neither the principal unit nor the accessory unit is owner-occupied as a primary residence, the approval for the accessory dwelling unit is void and the kitchen of the accessory dwelling unit must be removed within 90 days with the entirety of the property being occupied as a single unit. When an accessory unit that is the result of additional square footage and/or a new accessory structure is proposed to be removed, revised floor plans and a revised site plan shall be required to be submitted for review and approval.

Furthermore, where additional square footage is added to a single family home for purposes of creating an accessory unit and the accessory unit is at any point discontinued, none of the additional square footage shall be eligible for the purposes of increasing the number of unrelated adults that may be allowed to inhabit the property.

Affirmative finding as conditioned.

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,

To promote the adaptive re-use of historic buildings and sites.

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

Here is the narrative from the South Union Street Historic District:

30. Harold Slocum House (41 Kingsland Terrace); 1923.

Built in 1923 for Harold Slocum, secretary of the Tuberculois Association of Burlington, this Colonial Revival home is typical of those found on Kingsland Terrace. With a main rectangular block of 3 x 2 bays, this 2 1/2 story, eaves front, gabled house has a one story, glass-enclosed sunporch projecting to the west and an accented central front entrance.

Sheltering the entrance is a pedimented entrance portico supported at its corners by Doric columns; lattice screens enclose the sides. The gable ends of the house have cornice returns. Windows are symmetrically placed and have 6/1 sash on all facades. An exterior brick chimney pierces the roof ridge at the west end of the slate shingle roof and partly projects into the sunporch. Resting on a concrete foundation, this house is sheathed in wide aluminum siding.

30A. Garage (41 Kingsland Terrace); c.1923.

A one bay, clapboarded garage is found to the southeast of house #30. Capping the structure is a gable roof, with raking eaves towards the street. It has an overhead door of tiered panels with the second row from the top being glass. According to Sanborn maps this was built by 1926.

(b) Standards and Guidelines:

The following development standards, following the Secretary of the Interior's Standards for the Treatment of Historic Properties, shall be used in the review of all applications involving historic buildings and sites subject to the provisions of this section and the requirements for Design Review in Art 3, Part 4. The Secretary of the Interior's Standards are basic principles created to help preserve the distinctive character of a historic building and its site. They are a series of concepts about maintaining, repairing and replacing historic features, as well as designing new additions or making alterations. These Standards are intended to be applied in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The application proposes removal of the existing garage and replacement with a small building intended to provide housing.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or



alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Through demolition, the building and its historic character will be lost. This garage, typical for its date of construction, is of modest character and intended to be functional protection for the owner's vehicle (a fairly new idea in 1923.) Its importance lies in the context of an accessory structure associated with a principal residential structure.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

While the original garage is proposed to be lost, the replacement building will occupy the same location as the existing garage. No conjectural features are proposed; rather, new construction.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

This small accessory structure is of interest as a representative of the type of automobile shed/garage associated with single family homes in the 1920s.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*



The existing garage has novelty siding on the north, south (rear) and east with plywood on the west. It features a gabled roof with asphalt shingles. While informative of a style and character associated with residential architecture, these small automotive sheds were typically underbuilt and some, like this one, of minimal architectural merit and interest other than intended use and lot placement. 100 years after its original construction, they are challenged to accommodate a



modern vehicle but well serve lawn storage items. This example appears to have been extended to the south; the architectural assessment defines a rear addition.

The original building permit, issued October 20, 1925 gave dimensions as 12' x 20'.

Licenses Applied For.		
DATE	NAME	REMARKS
10/20/25	C. J. Palmer	Addition One Has
	Permit No 1045	13x24 two string
	R. J. Ludden	Garage 12x20
	Permit No 1046	Kingsland Terrace

The proposed replacement building will be of a similar size and height, and be equally unobtrusive as the last structure on the east end of Kingsland Terrace, tucked behind the principal structure.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

The request is not for repair but wholesale structural replacement. While the lot placement and building height will be similar to the existing building, the new use will provide a residential unit; presently quite in need.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Not applicable.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

There are no known archaeological resources at this site; however if any are disturbed during construction, work shall pause until appropriate authorities are notified and resources are identified, evaluated and appropriate disposition determined.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

While the structure is proposed for removal, the new structure will retain the spatial relationship to the primary residence. In materials and design the ADU will be differentiated from the old and easily discernable as new construction.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

While unlikely, the proposed ADU could be removed in the future without tarnishing the character and integrity of the principal structure on the lot. The original garage, however, will be lost.

(d) Demolition of Historic Buildings:

The purpose of this subsection is:

- *To discourage the demolition of a historic building, and allow full consideration of alternatives to demolition, including rehabilitation, adaptive reuse, resale, or relocation;*
- *Provide a procedure and criteria regarding the consideration of a proposal for the demolition of a historic building; and,*
- *To ensure that the community is compensated for the permanent loss of a historic resource by a redevelopment of clear and substantial benefit to the community, region or state.*

1. Application for Demolition.

For demolition applications involving a historic building, the applicant shall submit the following materials in addition to the submission requirements specified in Art. 3:

- A. *A report from a licensed engineer or architect who is experienced in rehabilitation of historic structures regarding the soundness of the structure and its suitability for rehabilitation;*

See submission from Guillot, Vivian and Viehmann Architects.

- B. *A statement addressing compliance with each applicable review standard for demolition;*

See response to the standards, attached.

- C. *Where a case for economic hardship is claimed, an economic feasibility report prepared by an architect, developer, or appraiser, or other person experienced in the rehabilitation and adaptive reuse of historic structures that addresses:*

- (i) the estimated market value of the property on which the structure lies, both before and after demolition or removal; and,*
- (ii) the feasibility of rehabilitation or reuse of the structure proposed for demolition or partial demolition;*

The applicant has not claimed economic hardship.

- D. *A redevelopment plan for the site, and a statement of the effect of the proposed redevelopment on the architectural and historical qualities of other structures and the character of the neighborhood around the sites;*

The application is accompanied by a redevelopment plan.

and,

- E. *Elevations, drawings, plans, statements, and other materials which satisfy the submission requirements specified in Art. 3, for any replacement structure or structures to be erected or constructed pursuant to a development plan.*

The application includes drawings, plans and specification sheets to outline the intent to construct a new ADU.

2. Standards for Review of Demolition.

Demolition of a historic structure shall only be approved by the DRB pursuant to the provisions of Art. 3, Part 5 for Conditional Use Review and in accordance with the following standards:

- A. *The structure proposed for demolition is structurally unsound despite ongoing efforts by the owner to properly maintain the structure;*

The GVV report indicates the following:

The 10' addition with shed roof to the back is in poor condition. The foundation and slab are cracked, indicating that there is no reinforcement. The wood structure leans to the West.
or,

- B. *The structure cannot be rehabilitated or reused on site as part of any economically beneficial use of the property in conformance with the intent*

and requirements of the underlying zoning district; and, the structure cannot be practicably moved to another site within the district;

The GVV report goes on to state:

In order to use the space as an Accessory Dwelling Unit that will comply with current Residential Building Code and Vermont Residential Energy Standards it is best to remove the existing and install frost walls and insulation under the slab.

or,

- C. The proposed redevelopment of the site will provide a substantial community-wide benefit that outweighs the historic or architectural significance of the building proposed for demolition.*

The proposal to create a new dwelling unit when housing is in scarce supply is a community-wide benefit. In this case, it likely outweighs the historic or architectural significance of this small, extended garage.

And all of the following:

- D. The demolition and redevelopment proposal mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and adjacent properties;*

Kingsland Terrace is included with the larger scope of the South Union Street Historic District. While principal structures on lots retain the foundation of the district's character, accessory or minor structures play supporting roles. In this example, the garage at 41 Kingsland Terrace is both in significance and lot placement a lesser character in the cast of important structures within this district and on this street. Its loss is notable, but will not diminish the importance of the remaining primary structures within the district and on the street.

- E. All historically and architecturally important design, features, construction techniques, examples of craftsmanship and materials have been properly documented using the applicable standards of the Historic American Building Survey (HABS) and made available to historians, architectural historians and others interested in Burlington's architectural history;*

Photographs of the existing building will suffice for retaining a record within the zoning history file.

and,

- F. The applicant has agreed to redevelop the site after demolition pursuant to an approved redevelopment plan which provides for a replacement structure(s).*
- (i) Such a plan shall be compatible with the historical integrity and enhances the architectural character of the immediate area, neighborhood, and district;*

With its small scale and lot placement, the integrity and character of the immediate area will remain intact.

- (ii) *Such plans must include an acceptable timetable and guarantees which may include performance bonds/letters of credit for demolition and completion of the project;*

Per these standards, the time between demolition and commencement of new construction is limited to 6 months.

and,

- (iii) *The time between demolition and commencement of new construction generally shall not exceed six (6) months.*

As conditioned.

This requirement may be waived if the applicant agrees to deed restrict the property to provide for open space or recreational uses where such a restriction constitutes a greater benefit to the community than the property's redevelopment.

3. Deconstruction: Salvage and Reuse of Historic Building Materials.

The applicant shall be encouraged to sell or reclaim a structure and all historic building materials, or permit others to salvage them and to provide an opportunity for others to purchase or reclaim the building or its materials for future use. An applicant may be required to advertise the availability of the structure and materials for sale or salvage in a local newspaper on at least three (3) occasions prior to demolition.

Affirmative finding for 5.4.8 (b) and (d) with DRB concurrence.

Section 5.4.9 Brownfield Remediation

Not applicable.

Part 5: Performance Standards

Section 5.5.1 Nuisance Regulations

The creation of an accessory dwelling unit is, by its very nature, a modest introduction into the context of the residential streetscape. No adverse impacts are anticipated. **Affirmative finding.**

Section 5.5.2 Outdoor Lighting

Residential scale exterior light fixtures are proposed and are acceptable. **Affirmative finding.**

Section 5.5.3 Stormwater and Erosion Control

An Erosion Prevention and Sediment Control Plan will be required, with review and approval by the Stormwater Engineering team. Specifically, the Stormwater Program Manager must confirm the proposed location, site design, and improvement will enable on-site management of the first one inch of stormwater runoff from the lot area of the ADU exceeding the applicable lot

coverage limit, and will not have an undue adverse impact on public rights of way per Section 5.2.3 (b), above.

Exceptions to lot coverage

10. The DRB may grant an exemption from maximum lot coverage limits for up to 650 sq.ft. of the lot area occupied by an ADU. To grant such an exemption, the DRB must find that the existing lot coverage has been lawfully created, and that the proposed location, site design, and improvements will enable on-site management of the first one inch of stormwater runoff from the lot area of the ADU exceeding the applicable lot coverage limit, and will not have undue adverse impact on public rights of way based on the review of the DPW Stormwater Program Manager.

Affirmative finding as conditioned.

Section 5.5.4 Tree Removal

One 10" evergreen is proposed for removal (see Site Plan dated 9.11.2023) within the project description; however the removal of trees from any lot containing a single family home or duplex on less than ¾ acre is exempt from zoning review. Not applicable.

Article 6: Development Review Standards

Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a)Protection of Important Natural Features:

The proposed placement of the new ADU is where the existing garage is. One evergreen is proposed to be removed to accommodate the new structure. **Affirmative finding.**

(b) Topographical Alterations:

None are proposed. Not applicable.

(c)Protection of Important Public Views:

There are no protected public views from or through this property. Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

See Section 5.4.8, above.

(e) Supporting the Use of Renewable Energy Resources:

No part of this application would preclude the use of wind, water, solar, geothermal, or other renewable energy resources. **Affirmative finding.**

(f) Brownfield Sites:

Not applicable.

(g) Provide for nature's events:

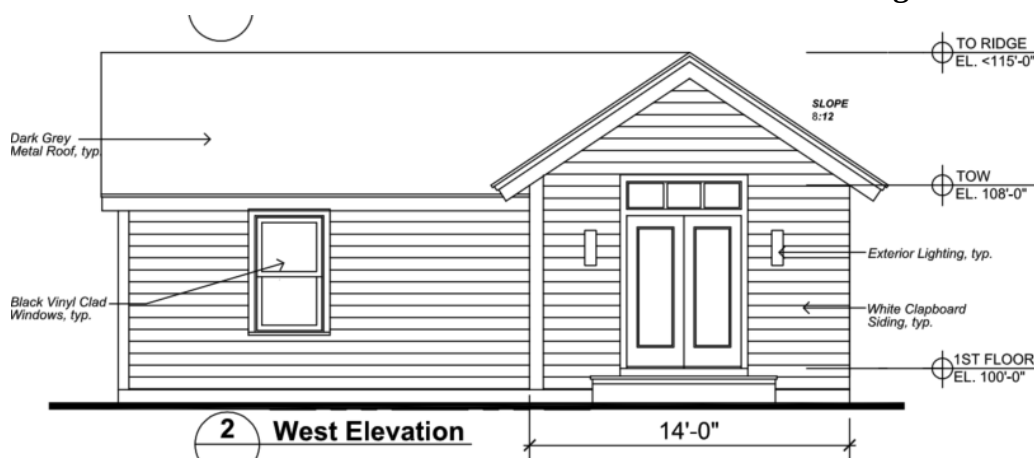
Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

An Erosion Prevention and Sediment Control plan will be required.

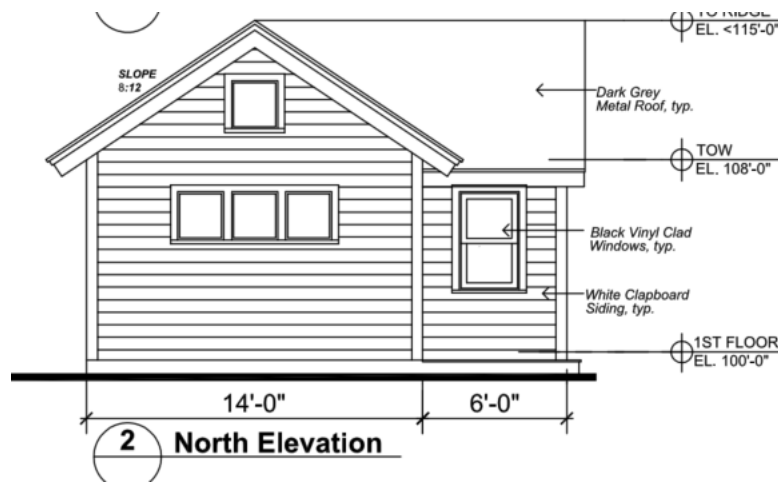
The distance between the driveway and structure or the boundary line will accommodate snow storage.

The entrance to the ADU is on the west elevation (see below), which has no canopy or shelter over the door. Some form of shelter is recommended. **Affirmative finding as conditioned.**



(h) Building Location and Orientation:

The ADU will be located in the approximate location of the existing garage. The streetfront elevation (north) has a pleasant window arrangement, which still affords visual privacy for the bedroom within. **Affirmative finding.**



(i) Vehicular Access:

No change to existing.
Affirmative finding.

(j) Pedestrian Access:

There is no identified pedestrian walkway between the ADU and the public sidewalk. Pedestrian access should be identified.
Affirmative finding as conditioned.

(k) Accessibility for the Handicapped:

ADA access is under the jurisdiction of the building officials. While encouraged, it is not required for single family homes. **Affirmative finding.**

(l) Parking and Circulation:

No change is proposed to parking or circulation. The existing driveway immediately connects with the public way on Kingsland Terrace. **Affirmative finding.**

(m) Landscaping, Fences and Retaining Walls:

No landscaping plan has been submitted, and one should be prepared prior to release of the zoning permit. **Affirmative finding as conditioned.**

(n) Public Plazas and Open Space:

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

Residential style lighting fixtures are proposed at the ADU entrance. See attachments.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 4 Performance Standards.

The plan does not include any information about meters, mailbox, utility connections, trash or recycling storage or any mechanical equipment. All should be identified on the site plan and/or building elevation as appropriate. Condensing units, if included, need to meet required setbacks.

Part 3: Architectural Design Standards

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

The proposed structure is one story / $\leq$ 15' tall, and similar in scale to the garage proposed for demolition. **Affirmative finding.**

2. Roofs and Rooflines.

The proposed replacement building is a tri-gable ell, with metal roofing. **Affirmative finding.**

3. Building Openings

Black vinyl clad windows are proposed, with a French door style entry; both acceptable in new construction. **Affirmative finding.**

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

See Section 5.4.8.

(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

The north (street front) elevation is a gable front, clapboarded small accessory building. As 41 Kingsland Terrace is at the very end of a dead-end street and this is the last building, there will be little opportunity to be observed from the right-of-way. **Affirmative finding.**

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Fiber cement clapboard siding, metal roofing, and vinyl clad windows are proposed. All are of acceptable durability for new construction. **Affirmative finding.**

(f) Reduce energy utilization:

All new construction is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances. **Affirmative finding as conditioned.**

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

See Section 6.2.2 (p), above.

(i)Make spaces secure and safe:

Redevelopment shall observe all required building and life safety code as defined by the building officials. The entry door shall be adequately lit to assure safety for residents. **Affirmative finding as conditioned.**

Article 7: Sign

Not applicable.

Article 8: Parking

There are no minimum parking requirements after adoption of ZA-22-07. Not applicable.

II. Conditions of Approval

1. Impacts Fees: Based on the net new area of the residential unit, the following Impact Fees shall be paid to the chief administrative officer/Treasurer within 7 days of occupancy:

SF of
Project 532

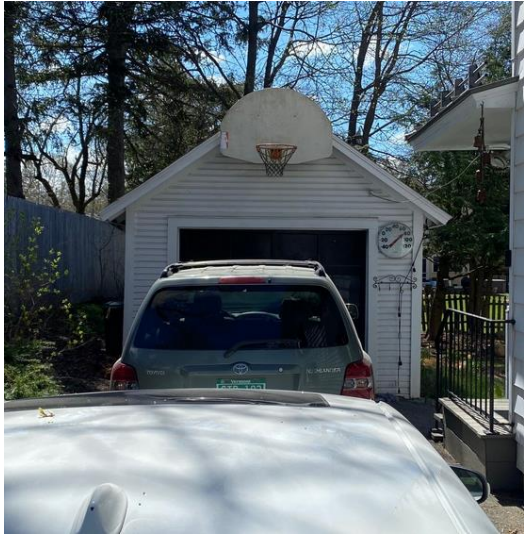
Department	<u>Residential</u>	
	Rate	Fee
Traffic	0.231	122.86
Fire	0.261	138.77
Police	0.053	27.97
Parks	0.874	465.12
Library	0.541	287.96
Schools	1.129	600.60
Total	\$ 3.089 1,643.28	

2. Written approval of the Erosion Prevention and Sediment Control Plan will be required **prior to release of the zoning permit.**
3. A deed or instrument for the property shall be entered into the land records by the owner containing a reference to the permit granting the accessory unit **prior to the issuance of the certificate of occupancy for the unit.** Such reference shall identify the permit number and note that the property is subject to the permit and its terms and conditions **including owner occupancy.** No certificate of occupancy shall be issued for the unit unless the owner has recorded such a notice.
4. **Approval of an accessory dwelling unit is contingent on owner occupancy of the single-family dwelling unit as a primary residence.** For purposes of this section, owner occupancy means that, after the creation of the accessory unit all individuals listed on the deed for the property must reside in the primary unit or in the accessory unit. If either the primary unit or the accessory unit is no longer owner occupied as a primary residence, the approval for the accessory dwelling unit is void and the kitchen of the accessory dwelling unit must be removed within 90 days with the entirety of the property being occupied as a

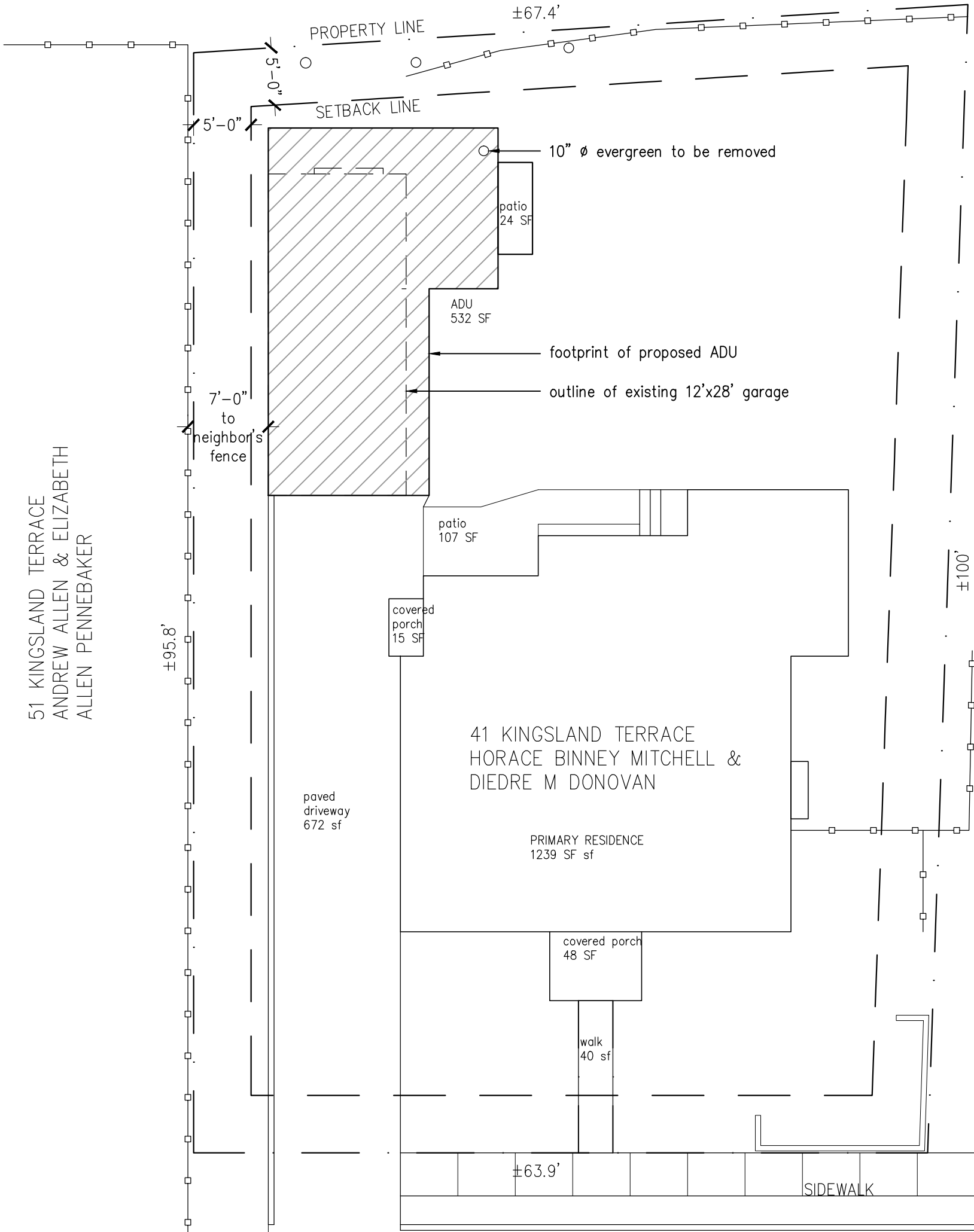
single unit. When an accessory unit that is the result of additional square footage and/or a new accessory structure is proposed to be removed, revised floor plans and a revised site plan shall be required to be submitted for review and approval. Furthermore, where additional square footage is added to a single family home for purposes of creating an accessory unit and the accessory unit is at any point discontinued, none of the additional square footage shall be eligible for the purposes of increasing the number of unrelated adults that may be allowed to inhabit the property.

5. Functional Family provisions of the ordinance remain in effect. Not more than 4 unrelated adults may occupy either unit.
6. The accessory dwelling unit is limited to 30% of the habitable area of the single family residence or 900 sf., whichever is greater.
7. A letter assuring adequate wastewater and water capacity for the new unit from Water Resources shall be required **prior to release of the zoning permit.**
8. A State Wastewater Permit is required, and is the responsibility of the owner to secure.
9. Hours of construction are limited to 7:30 am- 5:30 pm Monday through Friday. Saturday construction is limited to interior work. No construction shall occur on Sundays.
10. Prior to demolition, the accessory structure shall be photo-documented for the zoning record and as an update to the Historic District narrative.
11. Construction must commence within six months of building demolition per Section 5.4.8 (d) 3.
12. The applicant shall provide a landscaping plan **prior to release of the zoning permit.**
13. All new construction is required to meet the Guidelines for Energy Efficient construction pursuant to the requirements of Article VI, Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.
14. Any new electric service shall be undergrounded.
15. If any exterior mechanical equipment is proposed, it shall be included on elevations and/or site plans as appropriate and meet all required setbacks.
16. For the additional lot coverage, the Stormwater Engineer shall deem the proposed location, site design, and improvements will enable on-site management of the first one inch of stormwater runoff from the lot area of the ADU exceeding the applicable lot coverage limit, and will not have undue adverse impact on public rights of way.
17. An identified pedestrian path between the public sidewalk and the ADU shall be identified.
18. There exists a 10' Sewer ROW on the easterly portion of the property. The property owner assumes all responsibility and burden for redevelopment within this private easement area.
19. Standard Permit Conditions 1-15.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.



138 SPRUCE STREET
MILES & STEFANIE WAITE



KINGSLAND TERRACE

CODE SUMMARY

ZONING: RESIDENTIAL – LOW DENSITY (RL)

LOT COVERAGE:
ALLOWED 35% + 10%
+650 FOR ADU
=3,529 SF

EXISTING	
HOUSE	1,239 SF
PORCHES	63 SF
PATIO & WALKS	147 SF
DRIVEWAY	672 SF
GARAGE	336 SF
TOTAL	2,457 SF

PROPOSED	
HOUSE	1,239 SF
PORCHES	63 SF
PATIO & WALKS	171 SF
DRIVEWAY	672 SF
ADU	532 SF
TOTAL	2,677 SF

LOT SIZE: 6,398 SF
EXISTING COVERAGE = (2457/6398) x 100 = 38.4%

PROPOSED COVERAGE = (2677/6398) x 100 = 41.8%

GRAPHIC SCALE





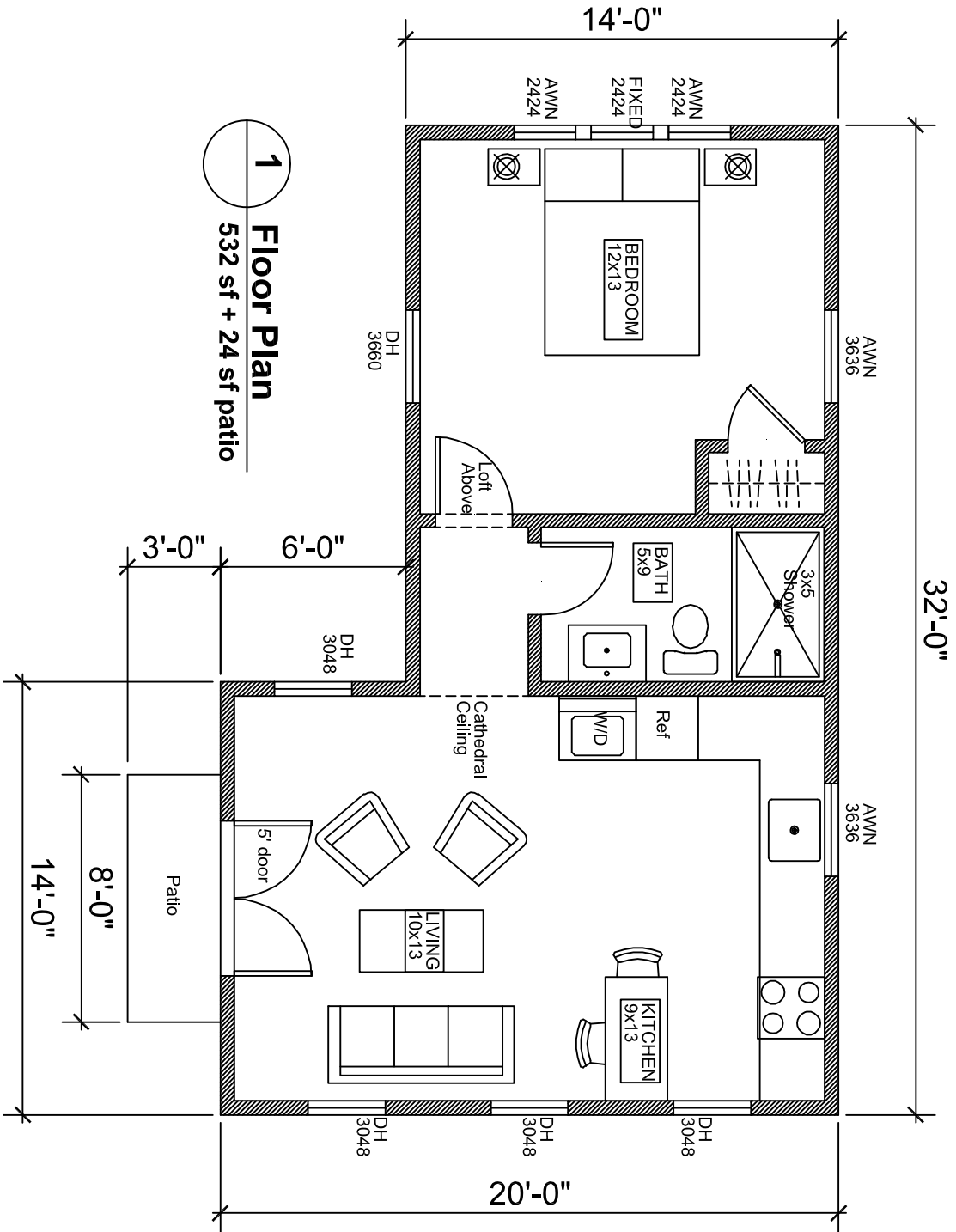
41 KINGSLAND TERRACE
BURLINGTON, VERMONT
SCALE: 3/16" = 1'-0"

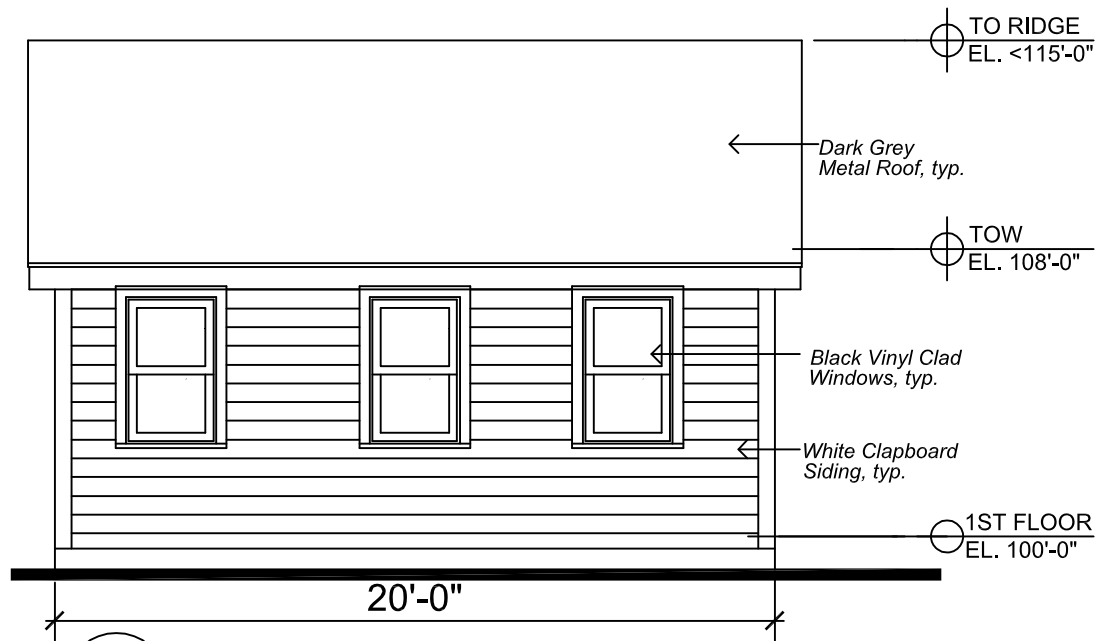
DONOVAN-MITCHELL ADU

PROPOSED FLOOR PLAN

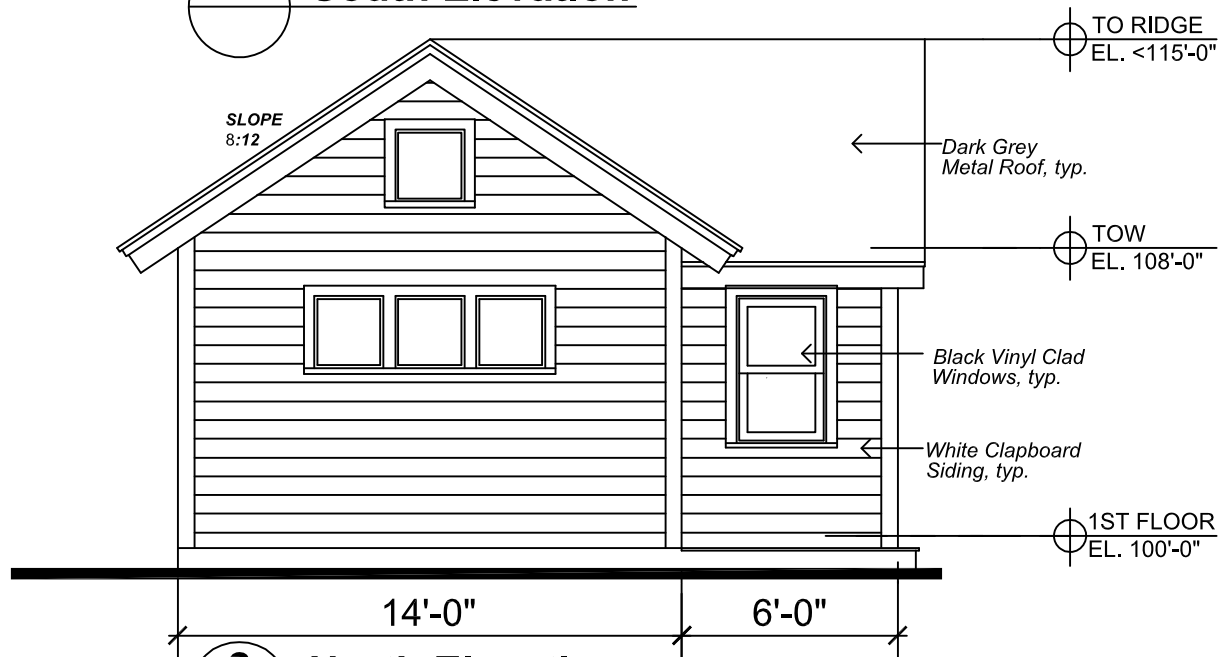
MAY 10, 2023
EBRODY DESIGN

A1





1 South Elevation



2 North Elevation

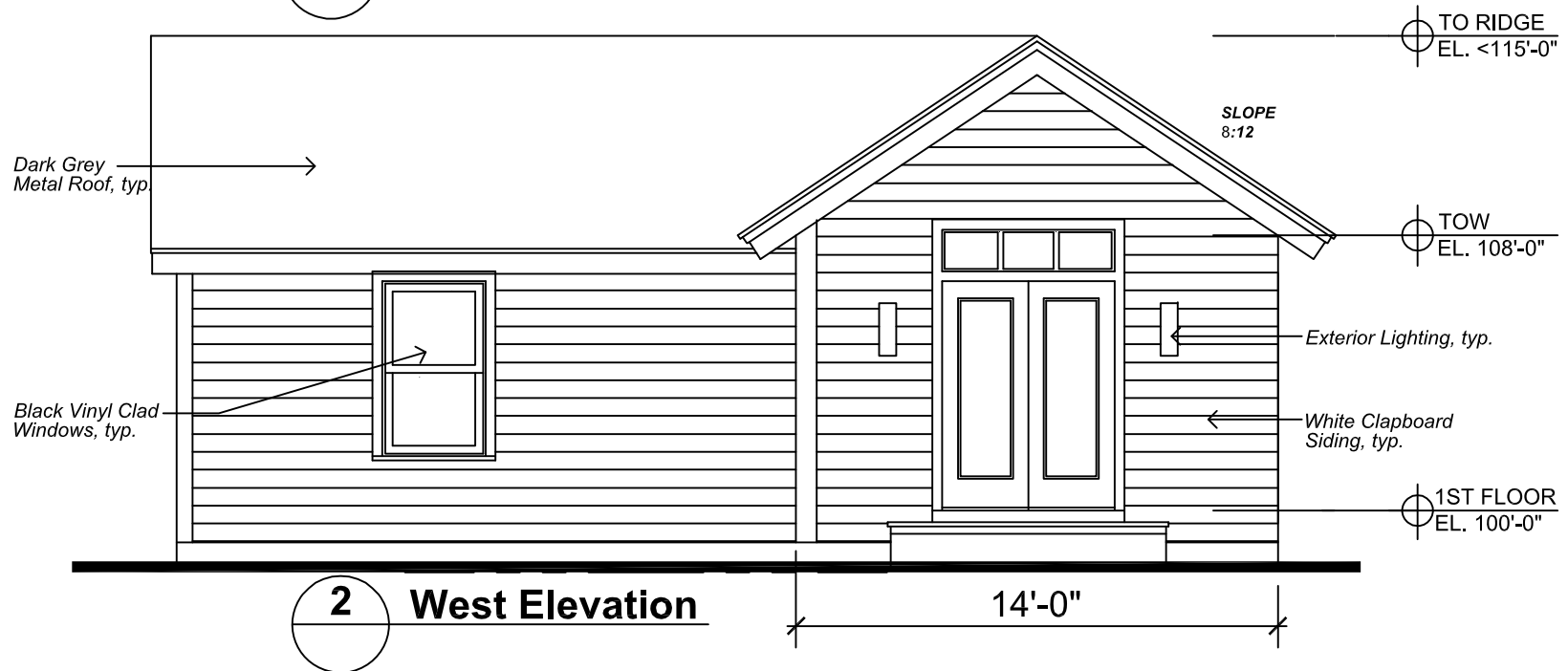
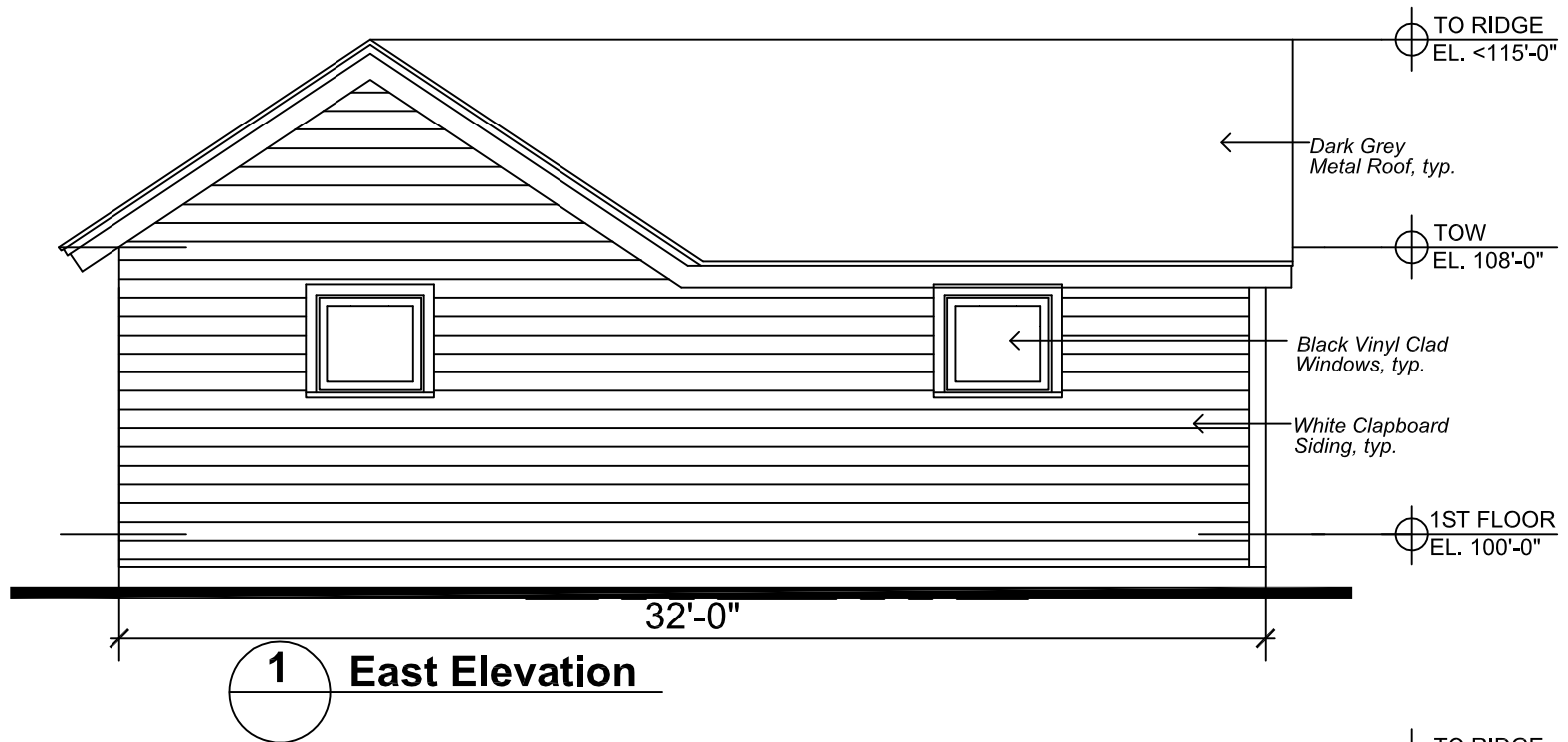


41 KINGSLAND TERRACE
BURLINGTON, VERMONT
SCALE: 3/16" = 1'-0"

DONOVAN- MITCHELL ADU PROPOSED ELEVATIONS

MAY 10, 2023
EBRODY DESIGN

A3



41 KINGSLAND TERRACE
BURLINGTON, VERMONT
SCALE: 3/16" = 1'-0"

DONOVAN- MITCHELL ADU

PROPOSED ELEVATIONS

MAY 10, 2023
EBRODY DESIGN

A2

Harold Slocum House, Garage c. 1923

Location: 41 Kingsland Terrace, Burlington, Vermont 05401

Building site is located on the South side of Kingsland Terrace where the street dead ends. The garage is located to the southeast of the primary structure.

Demolition of Historic Building

1. Application for Demolition.

- A. The existing garage appears to have had repair work done over the years including the installation of unreinforced CMU on top of the previous foundation at the East wall. The siding on the West façade has been removed and replaced with plywood and does not match the historic character of the rest of the structure. The 10' addition with shed roof to the back is in poor condition. The foundation and slab are cracked, indicating that there is no reinforcement. The wood structure leans to the West. In order to use the space as an Accessory Dwelling Unit that will comply with current Residential Building Code and Vermont Residential Energy Standards it is best to remove the existing and install frost walls and insulation under the slab.
- B. Compliance with Standards for Review of Demolition as outlined in the following section.
- C. No economic hardship claimed.
- D. Redevelopment plan previously submitted by Owner.
- E. Site plan attached for existing conditions and proposed structure.

2. Standards for Review of Demolition.

- C. Owner proposes to replace the one story garage with an Accessory Dwelling unit. The garage is currently being used for storage and not for parking and therefore, the Owner would like to use the space more appropriately by creating an ADU for family use and for rental use.
- D. The new structure will occupy the same corner of the lot as the original garage. The garage sits about 64' from the sidewalk and is only seen when looking directly down the driveway. The front of the new ADU will have a similar profile to the existing. The height increases by 3' and the width increases by 2' to the West. The height of the new structure will be below the 15' height limit for accessory structures.
- E. The historic garage is documented in the National Register of Historic Places South Union Street Historic District, Chittenden County, Vermont.
- F. Construction to begin immediately following demolition.

The following images highlight the conditions of the structure as of September 2023:



Donovan/Mitchell
41 Kingsland Terrace
Burlington, VT
ADU

Exterior lights—spec sheet

Product information

Technical Details

Brand	LEDMO
Color	Black
Material	Aluminum
Style	Modern
Light fixture form	Wall
Room Type	Hallway, Balcony, Villa, Enclosing Wall, Corridor, Homestay, Terrace
Product Dimensions	5"L x 5"W x 10"H
Specific Uses	Garden, Yard, Patio
Indoor/Outdoor Usage	Outdoor, Indoor
Power Source	Corded Electric
Special Feature	Energy Efficient, Waterproof
Control Method	App
Light Source Type	LED
Shade Material	Acrylic

Voltage	110 Volts (AC)
Light Color	Warm White
Included Components	LED Lights
Item Package Quantity	2
Wattage	15 watts
Manufacturer	targetlighting
Part Number	LED1286B
Item Weight	5.46 pounds
Product Dimensions	5 x 5 x 10 inches
Country of Origin	China
Item model number	LED1286B
Assembled Height	10 inches
Assembled Length	5 inches
Assembled Width	5 inches
Special Features	Energy Efficient,Waterproof
Plug Format	A- US style
Switch Installation Type	Wall Mount
Batteries Required?	No

Luminous Flux	1500 Lumen
Bulb Features	Not Dimmable
Color Temperature	3000 Kelvin

Product details

Product Dimensions : 5 x 5 x 10 inches; 5.47 Pounds

Item model number : LED1286B

Date First Available : June 2, 2022

Manufacturer : targetlighting

ASIN : B0B2ZX3C2T

Country of Origin : China

Customer Reviews:

4.3 ★★★★★  [610 ratings](#)

RESIDENTIAL



Trust MBCI to Make Your Home Improvement Dreams Come True

The United States home improvement industry is stronger than it has ever been with our homes being our place of work and safety. Many people are investing into their homes with upgrades, renovations and expansions. Our roofing products are the ideal solution for today's modern, yet traditional look in any neighborhood.

It is estimated that home improvement spending exceeding \$394 billion and is on track for continued growth over the coming years. The business of homeownership represents a significant portion of the nation's economy.

MBCI's metal building products have helped many homeowners improve the aesthetic quality and durability of their homes while also allowing them to save money on maintenance and energy costs. With metal roofing, homeowners can rest assured knowing their roofs are resistant to harsh weather and backed by strong warranties.



MBCI WALL AND ROOF PANELS BENEFITS:

RAPID RENOVATIONS

Count on MBCI exterior metal wall panels and services to complete your home improvement project on-time. With MBCI's metal roofing, homeowners can rest assured their roof will stand for years to come no matter what mother nature brings.

COMPREHENSIVE PRODUCT TESTING

MBCI is committed to an aggressive, independent physical testing program to meet and exceed code requirements on water penetration, uplift ratings, and structural performance. MBCI's metal panels have gone through rigorous testing to ensure enhanced performance.

EYE CATCHING AESTHETICS

Homeowners expect an eye pleasing aesthetic both inside and outside their residence. MBCI metal wall and roof panels feature a vast color palette and premier texture to create an elegant exterior ambiance that will make your home stand-out from other houses in your neighborhood.

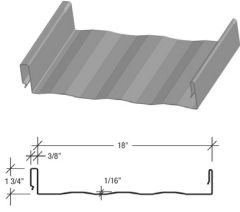
Name: Spencer Residence
Location: Guntersville, AL
Products: LokSeam

Color(s): Slate Gray
General Contractor: Scott Martin Construction

LOKSEAM®

LokSeam is a snap-together standing seam roof system with a 1¾" tall vertical rib, for use on roofs with a minimum slope of 3:12.

LokSeam panels are available in 12", 16" and 18" widths. LokSeam panels can be installed over open framing or a solid substructure and are capable of transitioning from roof to fascia with the use of a rib cover. LokSeam does not require a solid substructure for support



Product Specifications

- **Applications:** Roof
- **Coverage Widths:** 12", 16", 18"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Concealed Fastening System, Standard and UL90 Clips
- **Gauges:** 24 (standard); 22 (12", 16", 18"), 26 (12") (optional)
- **Texture:** Striated (standard); Embossed Striated (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

Features and Benefits

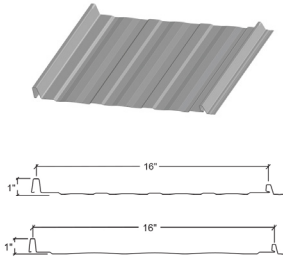
- Narrower widths, heavier gauges, striations and embossing minimize oil canning.
- Panels can be installed on roofs with a transition by using MBCI's die-formed rib covers.
- UL 580 rating is available, as well as UL 790, Class A for external fire, roof assembly for UL 263 for internal fire and the UL 2218 Class 4 impact rating.
- LokSeam carries Florida approval rating.

SLIMLINE®

The Slimline roof panel system offers a sleek contemporary profile ideal for residential and light commercial applications.

This system offers a concealed fastener attachment. Slimline panels must be specified as striated or striated with minor ribs.

Slimline cannot be end lapped.



Product Specifications

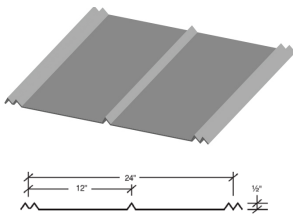
- **Applications:** Roof
- **Coverage Widths:** 16"
- **Rib Height:** 1"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 29 (standard); 26 (optional)
- **Texture:** Striations (standard); Minor Rib Striations (optional)
- **Coatings:** Galvalume Plus®, Signature® 200

Features and Benefits

- UL 580 rating is available, as well as UL 790, Class A for external fire, roof assembly for UL 263 for internal fire and the UL 2218 Class 4 impact rating.
- Slimline carries Florida approval rating.

5V CRIMP

The 5V Crimp roof panel offers an ideal old-time, residential appearance. 5V Crimp is also an aesthetically pleasing solution for light commercial applications. The 5V Crimp panels require a solid roof deck with a waterproof membrane.



Product Specifications

- **Applications:** Roof
- **Coverage Widths:** 24"
- **Rib Spacing:** 12" on center
- **Rib Height:** 1½"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Exposed Fastening System
- **Gauges:** 29 (standard); 26 (optional)
- **Texture:** Smooth (standard)
- **Coatings:** Galvalume Plus®, Signature® 200

Features and Benefits

- UL 580 rating is available, as well as UL 790, Class A for external fire, roof assembly for UL 263 for internal fire and the UL 2218 Class 4 impact rating.
- 5V Crimp carries Florida approval rating.

For more information on how MBCI metal wall and roof systems can impact your next residential project, visit mbci.com/industries.



Since 1976, MBCI has partnered with our customers to deliver high-quality metal building components backed by meaningful relationships and trusted performance. With our comprehensive portfolio and end-to-end expertise in building solutions, MBCI supports our customers throughout the project life cycle.

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James Hardie Statement Collection HZ5 0.312-in x 8.25-in x 144-in Arctic White Fiber Cement Lap Siding

Item #655578 Model #6671171

Shop James Hardie 2

\$22.40

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Hardie® fiber cement siding with ColorPlus Technology® finishes for lasting beauty without sacrificing durability and protection
Hardie® Plank fiber cement siding is Engineered for Climate® resisting damage from harsh weather conditions
30-yr limited non-prorated siding substrate warranty; ColorPlus® Technology finishes are backed by a 15-yr limited warranty

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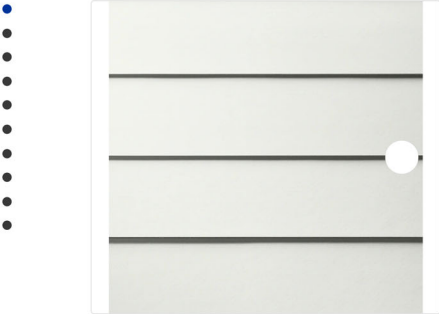
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James Hardie Statement Collection HZ5 0.312-in x 8.25-in x 144-in Arctic White Fiber

\$22.40

DAP Commercial Kitchen 9.8-oz Stainless Steel Silicone Caulk

\$11.29

Lowe's 3-ft x 100-ft TYVEK House Wrap

\$75.98

RELIABILT 1/4-in x 6-in x 2-ft Square Edge Unfinished Red Oak Board

\$7.98

Subtotal for (28) items

\$655.25

Add to cart 28 items

Overview

James Hardie makes your dream home possible. With endless ways to personalize your unique style, Hardie® fiber cement exterior solutions give your home a beautiful design without having to sacrifice durability and protection. Using products from a single, trusted manufacturer that offers exceptional warranties, you'll have complete peace of mind, trusted protection, and long-lasting beauty. Hardie® Plank Statement collection smooth fiber cement siding with ColorPlus® technology finish has no woodgrain texture for a sleek and modern look. The ColorPlus® technology finishes are fully cured onto our boards in a controlled factory environment and arrive at your home ready for install year-round. HZ5® engineering means it is made to withstand temperature fluctuations, snow, ice, freezing temperatures and hail. Board features ColorPlus Technology® in Arctic White for a clean, bright finish.

Feedback

Page 55 of 66

- Hardie® fiber cement siding with ColorPlus Technology® finishes for lasting beauty without sacrificing durability and protection
- Hardie® Plank fiber cement siding is Engineered for Climate® resisting damage from harsh weather conditions
- 30-yr limited non-prorated siding substrate warranty; ColorPlus® Technology finishes are backed by a 15-yr limited warranty
- Smooth, sleek, and modern siding in an Arctic White color has no woodgrain appearance
- Hardie® Plank is a best-selling Hardie® product that delivers lower maintenance exterior solutions
- ASTM E136 noncombustible cladding will not attract pests including termites and woodpeckers
- 5/16-in x 8.25-in x 12-ft smooth lap board installs horizontally and resists pests that can damage wood siding
- Use a 2-1/2 in. siding gun or siding nailer to attach to wood, steel or masonry substrates
- Cut outdoors using a circular saw with a fiber cement saw blade and a vacuum dust collection system or electric fiber cement cutting shear

-  **Use and Care Manual**
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-  **Prop65 Warning Label**
PDF
-  **HowTo Manual**
PDF
-  **Installation Manual**
PDF
-  **Warranty Guide**
PDF

CA Residents:  [Prop 65 Warning\(s\)](#) 

Specifications

Actual Length (Inches)	144	Finish Warranty	15-year limited
Actual Thickness (Inches)	0.312	Manufacturer Color/Finish	Arctic White
Actual Width (Inches)	8.25	Recommended Exposure (Inches)	7.0
CA Residents: Prop 65 Warning(s)	 Prop 65 WARNING(S) -	Series Name	Statement Collection HZ5
Color/Finish Family	White	Texture	Smooth
Coverage Area (Sq. Feet)	8.25	Type	Lap siding
Edge Profile	Straight	UNSPSC	30151800
Finish	Painted	Warranty	30-year limited

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Unfinished Poplar Board

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James Hardie Statement Collection HZ5
0.312-in x 8.25-in x 144-in Arctic White Fiber
Cement Lap Siding

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Minimum qty of 25

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WILLISTON, VT 05495-8937
Phone: (802) 861-4914

Email: jhaight@wdbrownell.com

This report was generated on 5/9/2023 9:31:11 AM
using the Marvin Order Management System,
version 0004.02.01 (Current). Price in USD. Unit
availability and price are subject to change. Dealer
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UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

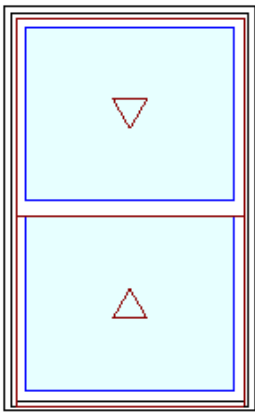
NUMBER OF LINES: 8	TOTAL UNIT QTY: 11	EXT NET PRICE: USD	8,309.65
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LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	North Double Hung	Essential	Double Hung CN 2640 RO 30" X 48"	489.89	1	489.89
2	North Fixed Single	Essential	Awning CN 2020 RO 24" X 24"	308.47	1	308.47
3	North 3w Assembly	Essential	Essential Assembly RO 72" X 24"	1,322.10	1	1,322.10
4	South Double Hungs	Essential	Double Hung CN 2640 RO 30" X 48"	489.89	3	1,469.67
5	East Awnings	Essential	Awning CN 3030 RO 36" X 36"	606.35	2	1,212.70
6	West Double Hung	Essential	Double Hung CN 3050 RO 36" X 60"	590.82	1	590.82
7	West Awning	Essential	Awning CN 2626 RO 30" X 30"	504.71	1	504.71
8	West Entry	Essential	Essential Assembly RO 60" X 98"	2,411.29	1	2,411.29

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: North Double Hung	Net Price:		489.89
Qty: 1		Ext. Net Price:	USD	489.89



As Viewed From The Exterior

CN 2640

FS 29 1/2" X 47 1/2"

RO 30" X 48"

Egress Information

Width: 26 9/16" Height: 19 13/64"

Net Clear Opening: 3.54 SqFt

Performance Information

U-Factor: 0.3

Solar Heat Gain Coefficient: 0.33

Visible Light Transmittance: 0.57

Condensation Resistance: 57

CPD Number: MAR-N-332-00368-00001

ENERGY STAR: NC

Ebony Exterior
Stone White Interior
Essential Double Hung
CN 2640
Rough Opening 30" X 48"
Top Sash
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
Bottom Sash
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
1 White Sash Lock
White Sash Lift
Exterior Aluminum Screen
Ebony Surround
Bright View Mesh

2" Jambs

Nailing Fin

***Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: North Fixed Single	Net Price:		308.47
Qty: 1		Ext. Net Price:	USD	308.47

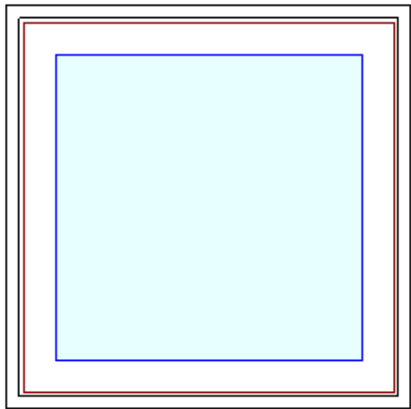


Ebony Exterior
Stone White Interior
Essential Awning - Stationary
CN 2020
Rough Opening 24" X 24"
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar

2" Jambs

Nailing Fin

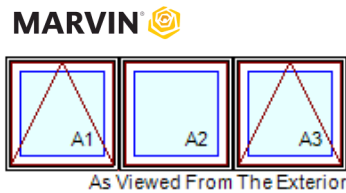
***Note: Unit Availability and Price is Subject to Change



As Viewed From The Exterior

CN 2020
FS 23 1/2" X 23 1/2"
RO 24" X 24"
Egress Information
No Egress Information available.
Performance Information
U-Factor: 0.29
Solar Heat Gain Coefficient: 0.29
Visible Light Transmittance: 0.49
Condensation Resistance: 57
CPD Number: MAR-N-377-00508-00001
ENERGY STAR: NC

Line #3	Mark Unit: North 3w Assembly	Net Price:		1,322.10
Qty: 1		Ext. Net Price:	USD	1,322.10



FS 71 1/2" X 23 1/2"
RO 72" X 24"
Egress Information A1, A2, A3
No Egress Information available.
Performance Information A1, A2, A3
U-Factor: 0.29
Solar Heat Gain Coefficient: 0.29
Visible Light Transmittance: 0.49
Condensation Resistance: 57
CPD Number: MAR-N-377-00508-00001
ENERGY STAR: NC

Ebony Exterior
Stone White Interior
3W1H - Rectangle Assembly
Assembly Rough Opening
72" X 24"

Unit: A1
Essential Awning - Roto Operating
CN 2020
Rough Opening 24" X 24"
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
White Folding Handle
Interior Aluminum Screen
Bright View Mesh
Stone White Surround

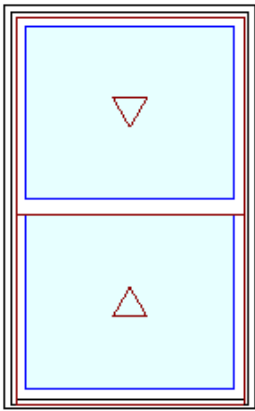
Unit: A2
Essential Awning - Stationary
CN 2020
Rough Opening 24" X 24"
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar

Unit: A3
Essential Awning - Roto Operating
CN 2020
Rough Opening 24" X 24"
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar

White Folding Handle
Interior Aluminum Screen
Bright View Mesh
Stone White Surround
Vertical 1/2" MRF
2" Jambs
Nailing Fin with 4" Structural Brackets
***Note: This configuration is certified to AAMA 450.
***Note: Unit Availability and Price is Subject to Change

Line #4	Mark Unit: South Double Hungs	Net Price:		489.89
Qty: 3		Ext. Net Price:	USD	1,469.67

MARVIN 



As Viewed From The Exterior

CN 2640

FS 29 1/2" X 47 1/2"

RO 30" X 48"

Egress Information

Width: 26 9/16" Height: 19 13/64"

Net Clear Opening: 3.54 SqFt

Performance Information

U-Factor: 0.3

Solar Heat Gain Coefficient: 0.33

Visible Light Transmittance: 0.57

Condensation Resistance: 57

CPD Number: MAR-N-332-00368-00001

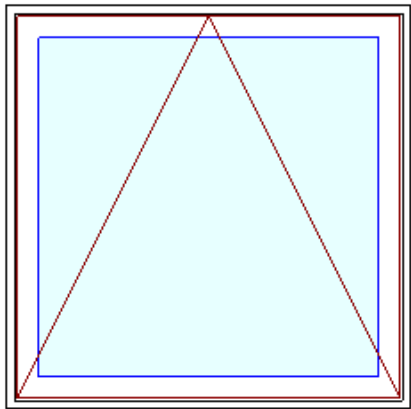
ENERGY STAR: NC

Ebony Exterior
Stone White Interior
Essential Double Hung
CN 2640
Rough Opening 30" X 48"
Top Sash
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
Bottom Sash
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
1 White Sash Lock
White Sash Lift
Exterior Aluminum Screen
Ebony Surround
Bright View Mesh
2" Jambs
Nailing Fin
***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit: East Awnings	Net Price:		606.35
Qty: 2		Ext. Net Price:	USD	1,212.70

MARVIN 

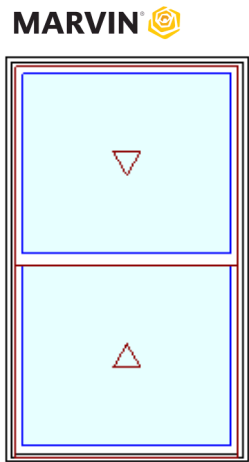
Ebony Exterior
Stone White Interior
Essential Awning - Roto Operating
CN 3030
Rough Opening 36" X 36"
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
White Folding Handle
Interior Aluminum Screen
Bright View Mesh
Stone White Surround
2" Jambs
Nailing Fin



CN 3030
FS 35 1/2" X 35 1/2"
RO 36" X 36"
Egress Information
No Egress Information available.
Performance Information
U-Factor: 0.29
Solar Heat Gain Coefficient: 0.29
Visible Light Transmittance: 0.49
Condensation Resistance: 57
CPD Number: MAR-N-377-00508-00001
ENERGY STAR: NC

***Note: Unit Availability and Price is Subject to Change

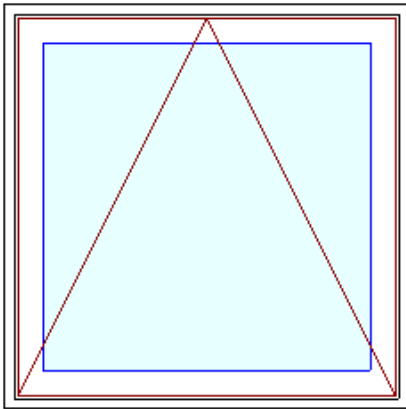
Line #6	Mark Unit: West Double Hung	Net Price:		590.82
Qty: 1		Ext. Net Price:	USD	590.82



CN 3050
FS 35 1/2" X 59 1/2"
RO 36" X 60"
Egress Information
Width: 32 9/16" Height: 25 13/64"
Net Clear Opening: 5.70 SqFt
Performance Information
U-Factor: 0.3
Solar Heat Gain Coefficient: 0.33
Visible Light Transmittance: 0.57
Condensation Resistance: 57
CPD Number: MAR-N-332-00368-00001
ENERGY STAR: NC

Ebony Exterior
Stone White Interior
Essential Double Hung
CN 3050
Rough Opening 36" X 60"
Top Sash
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
Bottom Sash
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
2 White Sash Lock
White Sash Lift
Exterior Aluminum Screen
Ebony Surround
Bright View Mesh
2" Jambs
Nailing Fin
***Note: Unit Availability and Price is Subject to Change

Line #7	Mark Unit: West Awning	Net Price:		504.71
Qty: 1		Ext. Net Price:	USD	504.71



As Viewed From The Exterior

CN 2626

FS 29 1/2" X 29 1/2"

RO 30" X 30"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.29

Visible Light Transmittance: 0.49

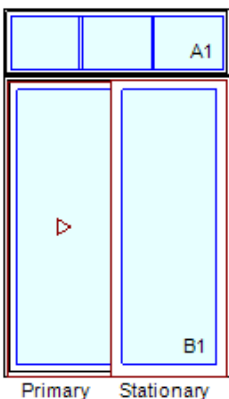
Condensation Resistance: 57

CPD Number: MAR-N-377-00508-00001

ENERGY STAR: NC

Ebony Exterior
Stone White Interior
Essential Awning - Roto Operating
CN 2626
Rough Opening 30" X 30"
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
White Folding Handle
Interior Aluminum Screen
Bright View Mesh
Stone White Surround
2" Jambs
Nailing Fin
***Note: Unit Availability and Price is Subject to Change

Line #8	Mark Unit: West Entry	Net Price:		2,411.29
Qty: 1		Ext. Net Price:	USD	2,411.29



Primary Stationary

As Viewed From The Exterior

FS 59 1/2" X 97 1/2"

RO 60" X 98"

Egress Information A1

No Egress Information available.

Egress Information B1

Width: 24 1/16" Height: 75 17/64"

Feature Mismatch: Divided Lite Options

Ebony Exterior
Stone White Interior
1W2H - Rectangle Assembly
Assembly Rough Opening
60" X 98"

Unit: A1
Essential Sliding Patio Door Direct Glaze Transom
CN 5016
Rough Opening 60" X 18"
IG
Low E2 w/Argon
Stainless Perimeter Bar
GBG
Rectangular - Standard Cut 3W1H
Ebony Ext - White Int

Unit: B1
Essential Sliding Patio Door XO
CN 5068
Rough Opening 60" X 80"
Left Panel
IG - 1 Lite
Tempered Low E2 w/Argon

Net Clear Opening: 12.58 SqFt
Performance Information A1, B1
Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.

Stainless Perimeter Bar
Right Panel
IG - 1 Lite
Tempered Low E2 w/Argon
Stainless Perimeter Bar
Cambridge Handle White Exterior Handle set
Cambridge Handle White Interior Handle set
Ebony Sliding Screen
Bright View Mesh
***Screen/Combo Ship Loose
Bronze Ultrex Sill / Black Weather Strip
Horizontal 1/2" MRF
3 3/8" Jambs
Nailing Fin with 4" Structural Brackets
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: This configuration is certified to AAMA 450.
***Note: Unit Availability and Price is Subject to Change

Project Subtotal Net Price: USD	8,309.65
7.000% Sales Tax: USD	581.68
Project Total Net Price: USD	8,891.33

PRODUCT AND PERFORMANCE INFORMATION

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see www.nfrc.org.

NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.