

Burlington Development Review Board

Department of Permitting & Inspections
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Tuesday, June 2, 2026, 5:00 PM

**645 Pine Street, Front Conference Room or Remote on Zoom:
Please click the link below to join the webinar:**

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1. Agenda

2. Communications

3. Adopt Minutes

4. Public Hearing

**4.1. ZP-26-167; 355 Ethan Allen Pkwy (RM, Ward 7) 355 Ethan Allen Pkwy, LLC / Norman Benoit
Proposed amendment to the Planned Unit Development (PUD) approved under ZP-25-517. The three
2-unit additions will change to three 2-unit detached buildings. (Project Manager, Kirk Dressing)**

**4.2. ZP-26-191; 418 Saint Paul St (RC, Ward 6) Allan Walker-Hodkin
Proposed 2-lot subdivision. No development proposed. (Project Manager, Kirk Dressing)**

5. Adjournment

6. Informational and Non-Discrimination Statements

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Department of Permitting & Inspections

Zoning Division
645 Pine Street
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Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Kirk Dressing, Associate Planner
Joseph Cava, Permit Technician
Collin Naheedy, Code Compliance Officer*



MEMORANDUM

TO: Development Review Board
FROM: Kirk Dressing, Associate Planner
DATE: June 2, 2026
RE: ZP-26-167; 355 Ethan Allen Parkway

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP-26-167

Location: 355 Ethan Allen Parkway

Zone: RL **Ward:** 7

Date application accepted: May 1, 2026

Applicant/Owner: Norman Benoit/355 Ethan Allen Parkway LLC

Request: Proposed amendment to the Planned Unit Development (PUD) approved under ZP-25-517. The three 2-unit additions will change to three 2-unit detached buildings.

Applicable Regulations:

Article 3 (Applications, Permits, & Project Reviews), Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines), Article 8 (Parking), Article 11 (Planned Development)

Background:

- **ZP-25-517** – Approval for the addition of 2 dwelling units to each existing building for a change from 12 to 18 dwelling units total.
- **ZP-1996-269**; Installation of vinyl siding over the existing wood (T1-11) Sections of the multi-Unit residential buildings.

Overview:

355 Ethan Allen Avenue is currently developed with 3 multi-unit dwellings, each with 4 units for a total of 12 dwelling units. This is an update to a previously approved application noted above. The difference is the proposed units are to be detached from the existing buildings as opposed to attached as previously approved. The proposed scope of work includes 3 new buildings. Each new building will have 2 units, for a total of 18 units. The previous iteration of the application was heard by the Conservation Board January 5, 2026, and the board recommend approval of the application with the conditions that the infiltration areas avoid tree root zones, replacement trees be installed following development, and that the project comply with the city's erosion control standards. The application was also heard by the Design Advisory Board January 13, 2026, and the board recommended the applicant revisit and revise parts of the proposal regarding bicycle storage, dumpster enclosure, lighting plan, landscaping plan, and location of the northwestern most addition as depicted on the original site plan. The application was heard again by the Design Advisory Board February 10, 2026, and the board was satisfied with the changes to the plan and further recommended minor revisions

to elevation drawings, specifically the dumpster enclosure fence material, and the scale and location of windows and doors.

Recommendation: Certificate of Appropriateness approval as per, and subject to, the following findings and conditions:

I. Findings

Article 3: Applications, Permits, & Project Reviews

Sec. 3.3.1, Applicability:

Impact fees are likely due upon completion of the additional units. Water impact fees are determined by estimated flows. Transportation impact fees are determined by estimated peak hour trip ends. Applicability of impact fees is determined by the city's Water Resources Division and Department of Public Works. **(Affirmative finding as conditioned)**

Part 5, Conditional Use & Major Impact Review:

Section 3.5.6

(a) Conditional Use Review Standards

Not applicable.

(b) Major Impact Review Standards

1. Not result in undue water, air, or noise pollution;

This residential development is not expected to generate undue water, air, or noise pollution.

(Affirmative finding)

2. Have sufficient water available for its needs;

The proposed development will be served by municipal water. Sufficient water capacity is available to serve the new dwelling units. **(Affirmative finding)**

3. Not unreasonably burden the city's present or future water supply or distribution system;

Water and wastewater impact fees will be due to help offset impacts on the city's water and wastewater infrastructure. Permit approval from VT DEC must be obtained. **(Affirmative finding as conditioned)**

4. Not cause unreasonable soil erosion or reduction in the capacity of the land to hold water so that a dangerous or unhealthy condition may result;

See Sec. 5.5.3.

5. Not cause unreasonable congestion or unsafe conditions on highways, streets, waterways, railways, bikeways, pedestrian pathways or other means of transportation, existing or proposed;

There are no proposed changes to the onsite parking. Traffic associated with this project is not sufficient enough to require a traffic impact analysis. Traffic impact fees will likely be due and will mitigate effects of increased traffic caused by this proposed development. **(Affirmative finding)**

6. Not cause an unreasonable burden on the city's ability to provide educational services;

A total of 12 bedrooms between 6 units will be added. Anticipated impacts on the city school system are minimal. **(Affirmative finding)**

7. *Not place an unreasonable burden on the city's ability to provide municipal services;*
The proposed development is modest in size and while it will generate additional impacts on city services, they will be minimal. **(Affirmative finding)**

8. *Not have an undue adverse effect on rare, irreplaceable or significant natural areas, historic or archaeological sites, nor on the scenic or natural beauty of the area or any part of the city;*
See Article 6 for effects on significant natural areas, historic buildings, and archaeological significance. **(Affirmative finding)**

9. *Not have an undue adverse effect on the city's present or future growth patterns nor on the city's fiscal ability to accommodate such growth, nor on the city's investment in public services and facilities;*
The project is modest in scope and impacts on city services and facilities will be minimal. **(Affirmative finding)**

10. *Be in substantial conformance with the city's municipal development plan;*
The project is in substantial conformance with the municipal development plan:

- The proposed development is consistent with the existing development pattern, building scale, and neighborhood character (planBTV, Planning to Sustain).
- The inclusion of dedicated secure bicycle storage will serve to benefit the connectivity of the proposed development to neighborhood-serving businesses and amenities (planBTV, Neighborhood Connectivity).
- The project will manage stormwater, in part, with newly created stormwater infiltration areas onsite (Comprehensive Plan, Natural Environment Action Plan). **(Affirmative finding)**

11. *Not have an undue adverse impact on the present or projected housing needs of the city in terms of amount, type, affordability and location;*
The proposed dwellings are all two-bedroom units that will be added to an existing planned unit development which will serve to bolster the city's housing supply. **(Affirmative finding)**

12. *Not have an undue adverse impact on the present or projected park and recreation needs of the city.*
The development will include interior green spaces; however, residents of the new dwelling units will likely utilize the city's park and recreation facilities. Its location provides easy access to the Robert Miller Community and Recreation Center as well as Ethan Allen Park. Additional impacts to these parks facilities are expected to be modest. **(Affirmative finding)**

(c) Conditions of Approval:

In addition to imposing conditions of approval necessary to satisfy the General Standards specified in (a) or (b) above, the DRB may also impose additional conditions of approval relative to any of the following:

1. *Mitigation measures, including but not limited to screening, landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area.*

This residential development is not expected to generate impacts in need of mitigation. **(Affirmative finding)**

2. Time limits for construction.

Most zoning permits are valid for three years and afford 1 year to start construction and another 2 to finish. No extended timeframe or phasing is included in this application. **(Affirmative finding)**

3. Hours of operation and/or construction to reduce the impacts on surrounding properties.

Days and hours of construction are proposed as Monday – Saturday, 7:00 am – 6:00 pm. Interior construction on Sundays as needed. **(Affirmative finding)**

4. That any future enlargement or alteration of the use return for review to the DRB to permit the specifying of new conditions; and,

Any future enlargement or alteration will be reviewed under the zoning regulations in effect at that time. **(Affirmative finding)**

5. Such additional reasonable performance standards, conditions and safeguards, as it may deem necessary to implement the purposes of this chapter and the zoning regulations.

See conditions of approval.

Article 4: Maps & Districts

Sec. 4.4.5, Residential Districts:

(a) Purpose

(1) Residential Low Intensity (RL)

This district is intended for relatively low density residential development that includes a mix of housing types, generally including single family homes through quadplexes. The proposal of additional units is consistent with this intent. **(Affirmative finding)**

(b) Dimensional Standards

The subject property has ±385' of road frontage and it will not be changed. The minimum frontage is 30'.

The minimum front setback will be reduced to ±40', and the minimum side yard setback will be reduced to ±20'. All proposed buildings and the bike storage building/dumpster enclosure are no closer than ±20' to the rear property line.

The proposed buildings will not exceed 24'8", which is below the 35' height limit.

Proposed lot coverage has not been provided but needs to be.

(Affirmative finding as conditioned)

(c) Permitted & Conditional Uses

Multifamily Dwellings are a permitted use in the RL district. The resultant 6-unit buildings are permissible by way of PUD (see Article 11). **(Affirmative finding)**

(d) District Specific Regulations

1. Additional Residential Development Permitted

(Not applicable)

2. Exceptions to Dimensional Standards

(Not applicable)

3. Exception for Neighborhood Commercial Uses

(Not applicable)

4. Miscellaneous Standards

(Not applicable)

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

No lot coverage exceptions are sought. (Not applicable)

Sec. 5.2.5, Setbacks

No setback encroachments are sought under this criterion. (Not applicable)

Sec. 5.2.6, Building Height Limits

No exceptions to height limits are sought. (Not applicable)

Sec. 5.5.1, Nuisance Regulations

Nothing in the application appears to constitute a nuisance under this criterion. (Affirmative finding)

Sec. 5.5.2, Outdoor Lighting

See Sec. 6.22.

Sec. 5.5.3, Stormwater and Erosion Control

Per the city's Water Resources Division the previously approved Erosion Prevention Sediment Control plan will cover this updated scope of work. (Affirmative finding)

Article 6: Development Review Standards

Part 1: Land Division Standards

Not applicable

Part 2: Site Plan Design Standards

Sec. 6.2.1 Applicability

These standards shall be satisfied for the approval of all development subject to the provisions of this ordinance found in Article 3, Section 3.4.2(1) – Site Plan Review.

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

The landscape, existing terrain and any significant trees and vegetation shall be preserved in their natural state insofar as practicable in keeping with the objectives of the underlying zoning district. Development and site disturbance shall preserve watercourses, wetlands, steep slopes, flood-prone areas, rock outcroppings, wildlife habitat and travel corridors, specimen trees and contiguous stands of forest, and other sensitive ecological and geological areas insofar as practicable in keeping with the objectives of the underlying zoning district. Site plans shall provide suitable buffers from any proposed site improvements, and maintain continuity and contiguousness of greenspace while allowing reasonable development in support of the overall intent of the zoning district. Where any natural features are proposed to be removed or the topography altered, special attention shall be given to replace or mitigate the loss of such features. Any development occurring on parcels containing significant natural areas identified in the city's Open Space Protection Plan shall avoid disturbance to these natural areas and establish appropriate buffers that protect their natural functions.

Submitted landscaping plans show three maple trees are proposed on the site as well as a row of arborvitae along the northern boundary line per previous DRB conditions. Landscaping plan also identifies existing trees on property, and no trees are labeled as proposed to be removed. **(Affirmative finding)**

(b) Topographical Alterations:

Alteration to the natural contour of the site shall minimize grading, cut, and fill, and shall take necessary measures to protect against erosion and future instability. Any grade changes shall be in keeping with the general appearance of neighboring developed areas. In areas where more intense levels of development are encouraged, development should seek to take advantage of topographical changes to hide and/or blend new construction into the landscape. Proposed design and construction details for any cut and fill, or retaining walls over 3-feet in height, or any height along the lakeshore, shall be subject to review and approval by the city engineer before receiving approval of the site plan.

Minimal grading, primarily for stormwater management, is proposed on this flat site. **(Affirmative finding)**

(c) Protection of Important Public Views:

Distant terminal views of Lake Champlain and the mountains to the east and west, and important public and cultural landmarks, framed by public rights-of-way or viewed from public spaces shall be maintained through sensitive siting and design to the extent practicable. This shall not be construed to include views from exclusively private property.

Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

Not Applicable.

(e) Supporting the Use of Renewable Energy Resources:

Where feasible, the site plan should be so designed as to take advantage of the site's inherent potential to utilize sources of renewable energy including direct sunlight, wind, or running water. The site plan should also incorporate site planning and landscaping decisions intended to minimize energy demand such as siting buildings to maximize solar access or the use of deciduous and coniferous trees to create shade and windbreak.

Buildings should, where appropriate within the context of the neighborhood development pattern, maximize their solar exposure by being oriented to maximize natural light and heat gain during winter months, and to minimize casting shadows into ground floor living space of a building on an adjacent property.

The building proposed on the southeastern corner of the property has a façade that is southern facing, however it appears it will be in the shade of large established trees that will likely limit the amount of sunlight that reaches the proposed units. The northeastern building will have a façade with significant southern exposure. The northwestern building while not having a south facing façade will likely receive decent sunlight exposure with the relocation of the northernmost addition to the eastern side of the existing building. **(Affirmative finding)**

(f) Brownfield Sites:

Where a proposed development involves a known or suspected brownfield, the site plan shall indicate areas of known or suspected contamination, and the applicant shall identify completed or planned remediation necessary to support the intended use(s).

The parcel is not listed on DEC's Brownfield Sites. Not applicable.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Proposed stormwater infiltration areas are identified on the proposed plan. The previously approved Erosion Prevention and Sediment Control plan will cover this updated scope of work.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

Entrances to the new dwellings appear to be enclosed/covered which will offer protection from inclement weather. No changes to the parking area are proposed, it does not appear that there will be any adverse effects on snow storage on the property. **(Affirmative finding)**

(h) Building Location and Orientation:

The proposed buildings are slightly offset from the existing buildings, however, they are generally in alignment with the existing buildings. **(Affirmative finding)**

(i) Vehicular Access:

Curb cuts shall be arranged and limited in number to reduce congestion and improve traffic safety. A secondary access point from side roads is encouraged where possible to improve traffic flow and safety along major streets. The width and radius of curb cuts should be kept to the minimum width necessary, and sight triangles and sufficient turnarounds for vehicles shall be provided to reduce the potential for accidents at points of egress.

There are no proposed changes to the curb cut or parking lot. Not Applicable.

(j) Pedestrian Access:

Pedestrians shall be provided one or more direct and unobstructed paths between a public sidewalk and the primary building entrance. Well defined pedestrian routes shall be provided through parking areas to primary building access points and be designed to provide a physical separation between vehicles and pedestrians in a manner that minimizes conflicts and improves safety. Where sidewalks and driveways meet, the sidewalk shall be clearly marked by differentiated ground materials and/or pavement markings.

The submitted site plan shows the proposed reconfiguration of paved walkways that lead from the parking area to the unit entrances as well as to the proposed shared bicycle storage building. **(Affirmative finding)**

(k) Accessibility for the Handicapped:

Special attention shall be given to the location and integration of accessible routes, parking spaces, and ramps for the disabled. Special attention shall also be given to identifying accessible access points between buildings and parking areas, public streets and sidewalks. The federal Americans with Disabilities Act Accessibility Guidelines (ADAAG) shall be used as a guide in determining the adequacy of the proposed development in addressing the needs of the disabled.

ADA compliance is under the jurisdiction of the building official.

(l) Parking and Circulation:

To the extent possible, parking should be placed at the side or rear of the lot and screened from view from surrounding properties and adjacent public rights of ways. Attempts to link adjacent parking lots or provide shared parking areas which can serve neighboring properties simultaneously shall be strongly encouraged.

Parking shall be laid out to provide ease in maneuvering of vehicles and so that vehicles do not have to back out onto city streets. Dimensions of spaces shall at a minimum meet the requirements as provided in Article 8. The perimeter of all parking areas shall be designed with anchored curb stops, landscaping, or other such physical barriers to prevent vehicles from encroaching into adjacent green spaces.

Surface parking and maneuvering areas should be shaded in an effort to reduce their effect on the local microclimate, air quality, and stormwater runoff with an objective of shading at least 30% of the parking lot.

All parking areas shall provide a physical separation between moving and parked vehicles and pedestrians in a manner that minimizes conflicts and gives pedestrians a safe and unobstructed route to building entrance(s) or a public sidewalk.

Where bicycle parking is provided, access shall be provided along vehicular driveways or separate paths, with clearly marked signs indicating the location of parking areas. Where

bicycle parking is located proximate to a building entrance, all shared walkways shall be of sufficient width to separate bicycles and pedestrians, and be clearly marked to avoid conflicts. All bicycle parking areas shall link directly to a pedestrian route to a building entrance. All bicycle parking shall be in conformance with applicable design & construction details as provided by the dept. of public works.

A 20' x 8' shared bicycle storage building is proposed. The submitted plans note there will be long term storage for up to 16 bicycles, as well as outdoor temporary bicycle storage for up to 8 bicycles on either side of the storage building. **(Affirmative finding)**

(m) Landscaping, Fences and Retaining Walls:

Landscaping shall be used to beautify the development site and to provide specific functions and benefits to the uses and buildings on the site. These include but are not limited to stormwater retention and erosion control, winter windbreaks and summer shade, recreational and habitat corridors, buffers and screening of parking areas, and creating privacy for and from adjacent property.

Existing trees shall be retained and incorporated into a landscape plan to the extent possible, and existing trees to be retained shall be protected during construction in accordance with specifications provided by the city arborist. Contiguous green space, both within the site and with adjacent properties, should be provided on a site whenever possible and be designed to provide wildlife travel corridors and habitat preservation, as well as enabling recreational access. If open space is intended to be publicly accessible, it shall be designed to maximize accessibility for all individuals including the disabled, encourage social interaction, and facilitate ease of maintenance. Along the street edge, landscaping shall be used to provide a visual buffer into parking areas from the public street and reinforce the streetscape.

*The selection of plant materials and planting sites should create a sustainable landscape, and consideration shall be given to factors such as hardiness, salt tolerance, disease resistance, invasiveness, root and canopy spread, underground and overhead utilities, soil conditions, and microclimates. The use of native plant materials is encouraged, and the use of plants considered invasive by VT Agency of Agriculture shall be prohibited. For more information on sustainable landscapes, applicants are encouraged to consult *Planting Sustainable Landscapes: A Guide for Plan Reviewers* prepared for the Vermont Department of Forests Parks and Recreation by the Vermont Chapter of the American Society of Landscape Architects.*

New or replacement street trees shall be provided consistent with the city's Street Tree Master Plan. All proposed street trees shall be selected and planted in accordance with specifications provided by the city arborist.

Fences may be placed within the required setback along a property line, but shall be setback sufficiently to provide for the maintenance of both sides of the fence without entering onto the adjacent property and shall present a finished side to the adjoining property and public street. Fences placed within a clear sight triangle shall adhere to the standards of Sec. 5.2.6 (c). Styles, materials, and dimensions of the proposed fence shall be compatible with the context of the neighborhood and the use of the property.

Retaining walls greater than 5 feet tall shall incorporate textured surfaces, terracing, and/or vegetation to avoid long monotonous unarticulated expanses and to minimize adverse visual

impacts to neighboring properties. As with fences, retaining wall styles, materials, and dimensions shall be compatible with the context of the neighborhood and use of the property

Submitted plans identify existing and proposed trees as well as stormwater infiltration areas.
(Affirmative finding)

(n) Public Plazas and Open Space:

Where public open space is provided as an amenity to the site plan, it should be sited on the parcel to maximize solar exposure, with landscaping and hardscape (including fountains, sitting walls, public art, and street furniture) to encourage its use by the public in all seasons. Public plazas should be visually and physically accessible from public rights-of-ways and building entrances where appropriate and shall be designed to maximize accessibility for all individuals, including the disabled and encourage social interaction.

Public space should be coordinated with the surrounding buildings without compromising safety and visibility. Public spaces should be surrounded by active uses that generate pedestrian traffic, and connect the space to major activity centers, streets, or corridors.

New structures and additions to existing structures shall be shaped to reduce shadows on public plazas and other publicly accessible spaces. In determining the impact of shadows, the following factors shall be taken into account: the mass of area shaded, the duration of shading, and the importance of sunlight to the utility of the type of open space being shadowed. Proposed development shall be considered for solar impact based the sun angle during the Vernal and Autumnal Equinox.

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

The application materials include a basic lighting plan showing the model and location of proposed lighting. The only outdoor lighting proposed is a wall sconce to be placed next to the shared bicycle storage entrance. Based on the model number provided by the applicant, the proposed outdoor fixture has an output of 1,105 lumens which qualifies as low output.

(Affirmative finding)

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be place underground whenever practicable. Trash and recycling bins and

dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 5 Performance Standards.

The proposed site plan includes a combination shared bicycle storage/dumpster enclosure.
(Affirmative finding)

PART 3: Architectural Design Standards

Sec. 6.3.1 Applicability.

These standards are enacted and shall be satisfied for the approval of all development subject to the provisions of this ordinance found in Article 3, Section 3.4.2(b) – Design Review.

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

Proposed buildings and additions shall be appropriately scaled and proportioned for their function and with respect to the purpose of the zoning district. They should integrate harmoniously into the topography, and to the use, scale, and architectural details of existing buildings in the vicinity; however, such consideration shall not require building height to be more limited than otherwise allowed within an applicable zoning district or overlay zone per Article 4.

The following shall be considered:

1. Massing, Height and Scale:

While architectural styles or materials may vary within a streetscape, proposed development should maintain an overall scale similar to that of surrounding buildings, or provide a sensitive transition, where appropriate, to development of a dissimilar scale.

In low and medium residential districts, the height and massing of existing residential buildings should be carefully considered when evaluating the compatibility of additions and infill development; however, no modifications by the DRB shall be made to projects which otherwise limit the allowable Principal Structure footprint, height, and number of units per building otherwise permitted by Tables 4.4.5-1 and 4.4.5-2.

Buildings should maintain consistent massing and perceived building height at the street level, regardless of the overall bulk or height of the building. Buildings should maintain a relationship to the human scale through the use of architectural elements, variations of proportions and materials, and surface articulations. Large expanses of undifferentiated building wall along the public street or sidewalk shall be avoided. The apparent mass and scale of buildings shall be broken into smaller parts by articulating separate volumes reflecting existing patterns in the streetscape, and should be proportioned to appear more vertical than horizontal in order to avoid monotonous repetition. (See also (d) Provide an active and inviting street edge below.)

The proposed buildings appear to have a maximum height $\pm 4'2''$ less than the existing buildings. The design and scale of the proposed buildings matches the existing buildings, and the slight difference in height offers visual appeal. The buildings are proposed to be slightly offset from the existing buildings and are proportionally narrower with rotated gable ends. As proposed, the buildings avoid simply being identical to what is currently in place. **(Affirmative finding)**

2. Roofs and Rooflines.

New buildings should incorporate predominant roof forms and pitches within the existing neighborhood and appropriate to the context. Large expanses of undifferentiated roof forms shall be avoided. This can be achieved by incorporating dormers or some variation in the roof form to lessen the impact of the massing against the sky. While flat roofs can be a reasonable architectural solution, pitched roof forms and architectural elements that enhance the city's skyline are strongly encouraged. Roof eaves, parapets, and cornices should be articulated as an architectural detail. Roof-top mechanicals shall be screened from view from the public street, and should be incorporated into and hidden within the roof structure whenever possible.

Solar panels, light colored ballast or roof membranes, split roof clerestories, planted or "green" roof technologies (with a clearly articulated maintenance plan) and "gray water" collection are encouraged. Active rooftop uses are also encouraged to add to the visual complexity and activity of the city's skyline, and afford public access to otherwise unseen views of the city and surrounding landscape.

The proposed additions feature the same style pitched roof as the existing building, however, the gable ends are rotated which lessens the impact of massing against the sky. **(Affirmative finding)**

3. Building Openings

Principal entrances shall be clearly defined and readily identifiable from a public street whether by a door, a canopy, porch, or other prominent architectural or landscape features. People with physical challenges should be able to use the same entrance as everyone-else and shall be provided an "accessible route" to the building. Attention shall also be accorded to design features which provide protection from the affects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage.

Window openings shall maintain consistent patterns and proportions appropriate to the use. The window pattern should add variety and interest to the architecture, and be proportioned to appear more vertical than horizontal.

Buildings placed on a side or rear property line where no setback is required shall contain neither doors nor windows along such façade so as not to restrict future development or re-development options of the adjacent property due to fire safety code restrictions. Otherwise they should be setback a minimum of 5-feet.

Entrances to the new dwellings appear to be enclosed/covered which will offer protection from inclement weather. Proposed windows are similar to what exists, except the proposed second floor windows are singles as opposed to the mulled windows on the existing buildings

which makes the windows appear less horizontal and adds variety and interest. (**Affirmative finding**)

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

Not applicable.

(c) Protection of Important Public Views:

Development shall preserve distant terminal views of Lake Champlain and the Adirondack Mountains and important public and cultural landmarks from public places and along east-west public rights-of-way to the extent practicable. This shall not be construed to include similar views from exclusively private property.

Sensitivity shall be used in the massing of proposed development such that light and air is allowed to penetrate and some views may be preserved. Alternatives that extend access to such views by allowing public access into and through the proposed development are encouraged. In no case shall development be permitted to span across the public rights-of-way in such corridors.

There are no protected public views here. Not applicable.

(d) Provide an active and inviting street edge:

Building facades shall be varied along the street edge by the integration of architectural features, building materials, or physical step-backs of the façade along its length. Large expanses of undifferentiated building wall shall be avoided. This may be accomplished by incorporating fenestration patterns, bays, horizontal and vertical façade articulations, the rhythm of openings and prominent architectural features such as porches, patios, bays, articulated bases, stepping back an elevation relative to surrounding structures, and other street level details. The use of traditional facade components such as parapet caps, cornices, storefronts, awnings, canopies, transoms, kick plates, and recessed entries are highly encouraged. In areas where high volumes of pedestrian traffic are desired, the use of architectural recesses and articulations at the street-level are particularly important in order to facilitate the flow of pedestrian traffic

There is no street-edge to the development. Within the property, entries to the additions are well defined and accessible via interior walkways. Inventory of materials has been provided. Color rendered elevations of the proposed additions indicate they will remain visually similar to what exists with the noticeable difference being the proposed additions have vertical wood siding on the first level compared to the brick of the existing building. (**Affirmative finding**)

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Owners of historic structures are encouraged to consult with an architectural historian in order to determine the most appropriate repair, restoration or replacement of historic building materials as outlined by the requirements of Art 5, Sec. 5.4.8

Exterior finish material information has been provided. The materials such as vinyl and engineered treated wood siding, and composite deck boards appear to be acceptably durable.

(Affirmative finding)

(f) Reduce energy utilization:

All new construction shall meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.

Windows and doors will be required to meet Residential Building Energy Standards (RBES).

(Affirmative finding as conditioned)

(g) Make advertising features complementary to the site:

Where signs and other advertising features are proposed, the applicant shall meet the requirements as per Article 7 – Signs. The size, location. Design. Texture, lighting, and materials of all exterior signs and advertising features shall not detract from the use and enjoyment of proposed buildings or surrounding properties. National branding through signage and architecture shall be discouraged.

Not applicable.

(h) Integrate infrastructure into the building design:

Exterior machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory features shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties.

Rooftop mechanicals, including heating and cooling devices and elevator equipment, should be incorporated into the structure's design, and shall be arranged to minimize their visibility from the street level. Such features, in excess of one foot in height, shall be either enclosed within the roof structure, outer building walls, or parapets, or designed so that they are integrated into the overall design and materials of the building. Where such rooftop features do not exceed ten percent (10%) of the total roof area, they may be considered

“ornamental and symbolic features” pursuant to Sec. 5.2.7 for the purposes of measuring building height.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 5 Performance Standards.

No building infrastructure has been identified on the submitted plans. If any is proposed they will need to be depicted on elevations and site plans, as applicable (**Affirmative finding as conditioned**)

(i) Make spaces secure and safe:

Spaces shall be designed to facilitate building evacuation, accessibility by fire, police or other emergency personnel and equipment, and, to the extent feasible, provide for adequate and secure visibility for persons using and observing such spaces. Building entrances/entry points shall be visible and adequately lit, and intercom systems for multi-family housing should be incorporated where possible, to maximize personal safety.

The application materials include a specific model of outdoor wall light as well as proposed locations outside of the unit entryways as well as the entrance to the shared bicycle storage building. (**Affirmative finding**)

Article 8: Parking

Sec. 8.1.9, Maximum On-Site Parking Spaces

The property is located within the Neighborhood Parking District. Within that district, up to 3 parking spaces per dwelling unit are allowed. The existing parking lot has 27 striped parking spaces. No changes to the parking lot are proposed (**Affirmative finding**)

Article 11: Planned Development

Sec. 11.1.5 Residential District Planned Unit Developments

(a) Dimensional Standards

The proposed building footprints and dwellings per units is acceptable per table 11.1.5-1. (**Affirmative finding**)

Sec. 11.1.6 Approval Requirements

The following requirements shall be met for the DRB to approve a planned unit development:

(a) The minimum project size requirements of Sec. 11.1.3 shall be met;

The property is ±1.55 acres, in excess of the minimum 0.5. (**Affirmative finding**)

(b) The minimum setbacks required for the district have been met at the periphery of the project;

See Sec. 5.2.5 (**Affirmative finding**)

(c) The project shall be subject to design review and site plan review of Article 3, Part 4;

See Sec. 6 (**Affirmative finding**)

- (d) **The project shall meet the requirements of Article 10 for subdivision review where applicable;**
(Not applicable)
- (e) **Density, frontage, and lot coverage requirements of the underlying zoning district have**
See Sec. 5 (Affirmative finding)
- (f) **All other requirements of the underlying zoning district have been met as calculated across the entire project;**
See Sec. 4 (Affirmative finding)
- (g) **Open space or common land shall be assured and maintained in accordance with the conditions as prescribed by the DRB;**
There is existing open/common space on the property and it is not proposed to be changed (Affirmative finding)
- (h) **The development plan shall specify reasonable periods within which development of each phase of the planned unit development may be started and shall be completed. Deviation from the required amount of usable open space per dwelling unit may be allowed provided such deviation shall be provided for in other sections of the planned unit development;**
No phasing is proposed (Affirmative finding)
- (i) **The intent as defined in Sec. 11.1.1 is met in a way not detrimental to the city's interests; and,**
The PUD is existing. (Not applicable)
- (j) **The proposed development shall be consistent with the municipal development plan.**
See Sec. 3.5.6b(10) above.
- (k) **Any proposed accessory uses and facilities shall meet the requirements of Sec. 11.1.6 below.**
No accessory uses or facilities are proposed (Not applicable)

II. Conditions of Approval

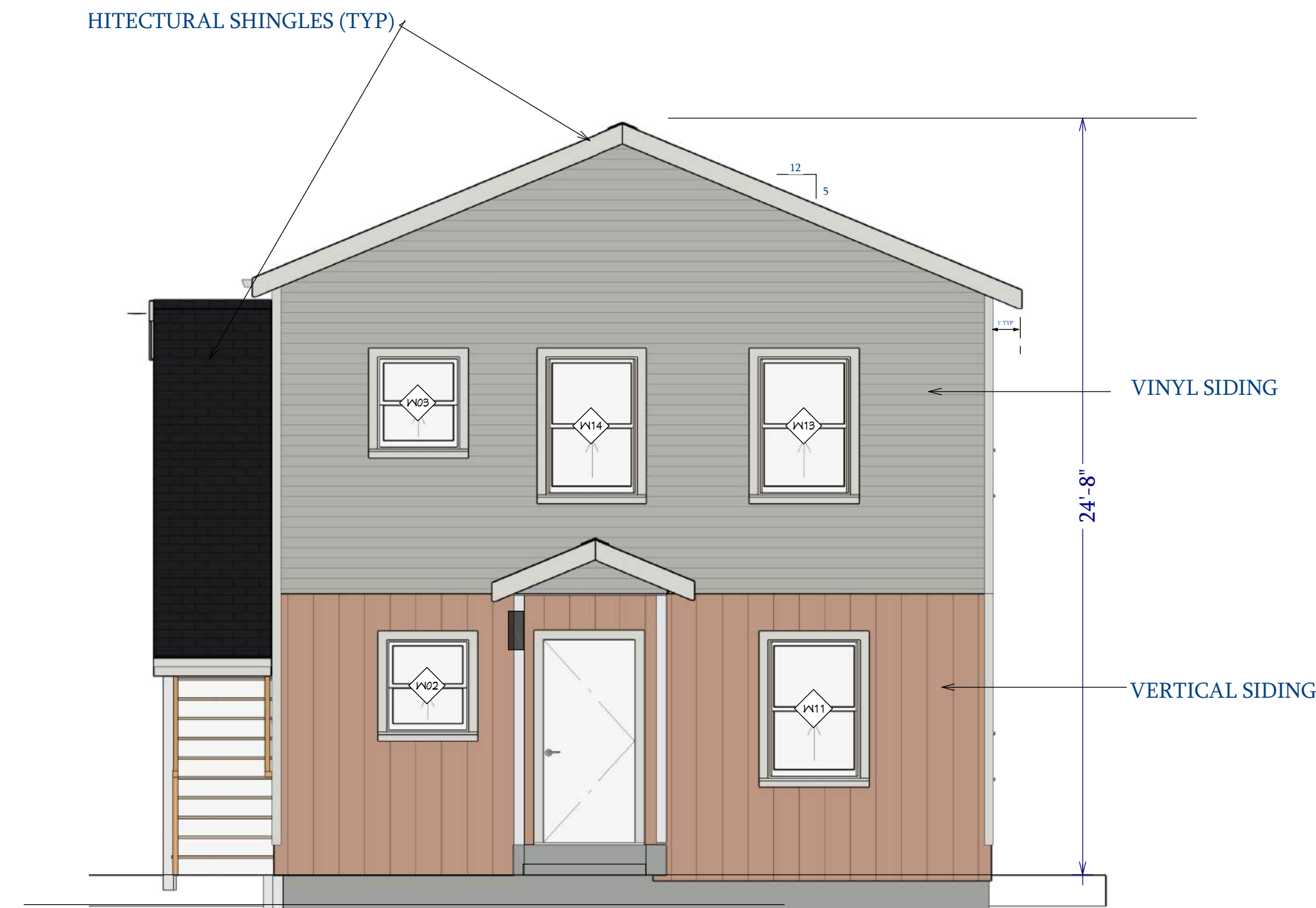
1. **Prior to release of the zoning permit:**
 - a. Any proposed building or utility infrastructure and screening shall be added to the site plan and/or elevation drawings, subject to staff review and approval
 - b. Proposed lot coverage calculations shall be provided.
2. **Impact fees may be due at least 7 days prior to issuance of a certificate of occupancy,** as determined by the Water Resources Division and the Technical Services Division of the Department of Public Works based on water and wastewater flows and peak hour vehicle trip ends, respectively.
3. Wastewater permit approval shall be obtained from Vermont Department of Environmental Conservation.

4. All new construction is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.
5. Vermont Residential Building Energy Standards apply to this project. Compliance with the standards is the Owner's responsibility. Prior to requesting a Certificate of Occupancy, a copy of a completed Vermont Residential Building Energy Standards Certificate shall be submitted with a Certificate of Occupancy (final or temporary) request, and filed in the Land Records located at the Clerk/Treasurers office in City Hall (149 Church Street). For more information, see http://publicservice.vermont.gov/energy_efficiency
6. Standard Conditions 1-15.

355 ETHAN ALLEN PARKWAY-BURLINGTON, VT

3 NEW BUILDINGS ADDING 6 -2 BEDROOM UNITS TOTALING 18 UNITS

OWNER: 355 ETHAN ALLEN PARKWAY, LLC 177 OVERLAKE VIEW WILLISTON, VT 05495 802-922-1403	DESIGNER: NLB CONSTRUCTION CONSULTING LLC 111 EAST SHORE ROAD SOUTH GRAND ISLE, VT 05458 802-355-4130	CIVIL ENGINEER: KREBS & LANSING CONSULTING ENGINEERS, INC 164 MAIN STREET, SUITE 201 COLCHESTER, VT 05446	MAIN CONSULTANT SANDRA VITZTHUM ARCHITECT,LLC 14 LOOMIS STREET MONTPELIER, VT 05602 (802) 223-1806
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CONSTRUCTION DOCUMENTS 4/16/26

CIVIL DRAWINGS

- C-1.0 SITE PLAN
- C-1.1 STORMWATER & EPSC PLAN
- C-2.0 EXISTING CONDITIONS PLAN
- C-3 CIVIL DETAILS
- C-4 WATER/SEWER DETAILS

ARCHITECTURAL DRAWINGS

- A.0 COVER SHEET
- A0.1 EGRESS / CODE REVIEW
- A1.1 FIRST & SECOND FLOOR PLANS
- A2.1 EXTERIOR ELEVATIONS

A3.1 BUILDING & WALL SECTIONS

- A4.1 DUMPSTER & BIKE STORAGE PLAN
- A5.1 KITCHEN ELEVATIONS & DETAILS
- A6.1 WINDOW & DOOR SCHEDULES

STRUCTURAL DRAWINGS

- S1.0 FOUNDATION PLAN
- S1.2 ROOF & FLOOR FRAMING PLAN

ELECTRICAL DRAWINGS

- E1 FLOOR PLANS
- E2 LIGHTING PLAN

LANDSCAPING

- L2 LANDSCAPING PLAN

- SK50 PERSPECTIVE VIEW



REVISION TABLE	NUMBER	DATE	DESCRIPTION	REVISOR	DATE

PAGE TITLE

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING,LLC
111 East Shore Road South
Grand Isle, VT 05458
802-355-4130

DATE:

4/16/2026

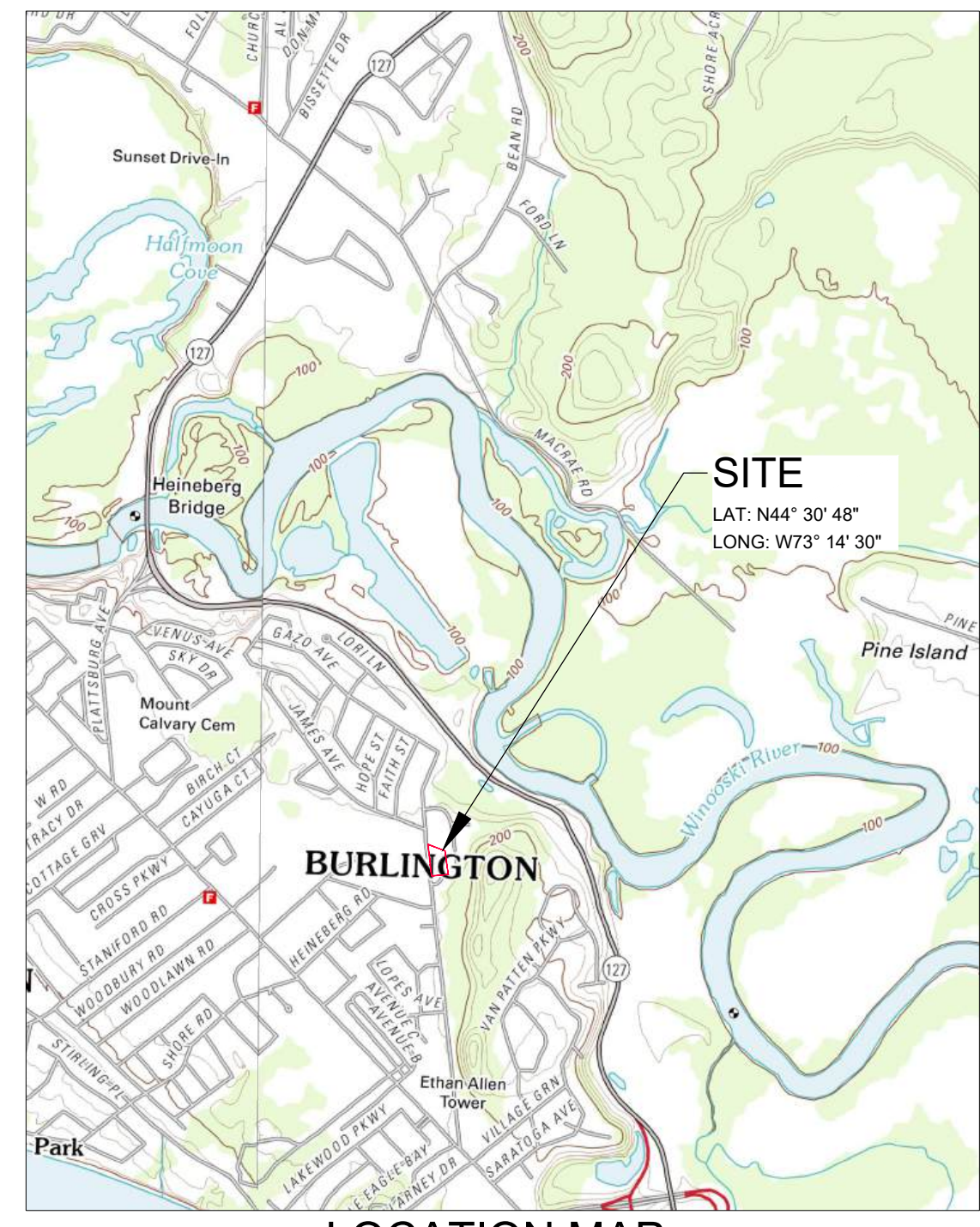
SCALE @24 x 36

PROJECT #
2025-18

SHEET NUMBER

A0

PERMIT REVIEW ONLY



LOCATION MAP
SCALE: 1" = 2,000 FT

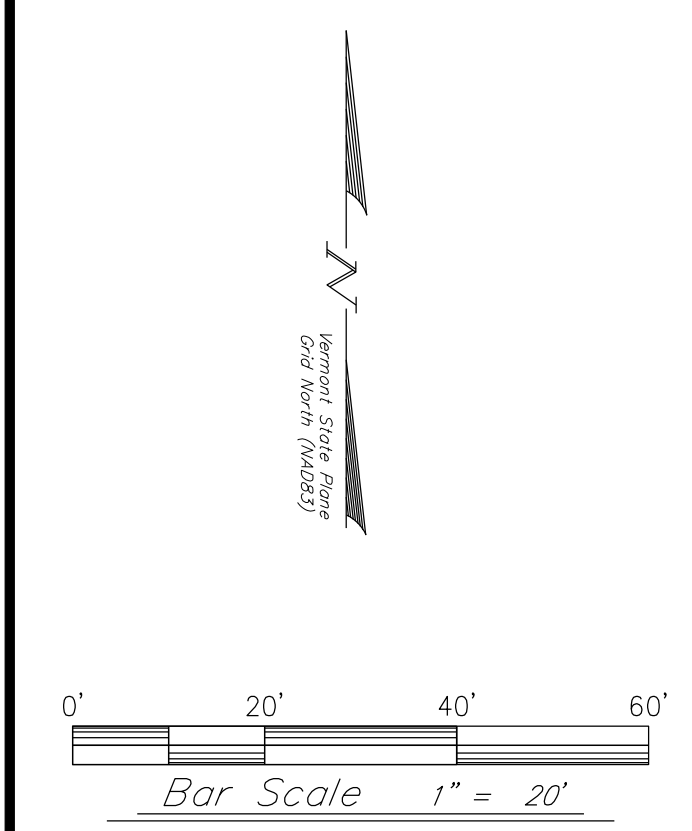
LEGEND

	Survey Control Point
	Existing Sign
	Existing Light Pole
	Existing Deciduous Tree
	Existing Evergreen Tree
	Existing Spot Grade Elevation
	Existing Contour
	Existing Gas Line/Valve
	Existing Sewer Line/Manhole
	Existing Storm Line/Manhole/Basin
	Existing Overhead Electric Line/Power Pole
	Existing Communications Line
	Existing Underground Electric & Telephone Line
	Existing Tree Line
	Existing Chain Link Fence
	Existing Barbed Wire Fence
	Existing Stockade Fence
	Existing Underground Power
	Existing Water Line/Hydrant/Valve/Shutoff
	Approximate Property Line
	Existing Setback
	Existing Easement
	Finish Grade Spot Grade Elevation
	Finish Grade Direction of Flow
	Finish Grade 5-foot Contour Interval
	Finish Grade 1-foot Contour Interval
	New Sewer Line/Manhole
	New Water Line/Hydrant/Valve/Shutoff
	Proposed Building
	Proposed pavement
	Proposed grassed infiltration basin

- NOTES**
- This plan is not intended to be a boundary survey. Property lines are based on physical evidence and tax map information from the City of Burlington.
 - The horizontal coordinate system is based on NAD83 Vermont State Plane 4400 (US Survey Feet). Elevations are based on NAVD88 datum (US Survey Feet).
 - Existing conditions are based on a topographic survey completed by Krebs & Lansing in November 2025.
 - Utilities are based on visible structures located during the topographic survey and are not warranted to exact or complete. Additional utility information based on City of Burlington mapping. Contractor shall contact Dig Safe and other non-member utilities prior to beginning any excavation.

KREBS & LANSING
CONSULTING ENGINEERS
164 Main Street, Suite 201
Colchester, Vermont 05446
P: (802) 878-0375
www.krebsandlansing.com

STAMP:



Project:
353-365 ETHAN ALLEN PARKWAY

Project No.	25301
Scale	1" = 20'
Drawn by	TJB
Checked by	SWH
Date	01/22/2026

Revisions

No.	Date	Description
04/16/2026		building layout

Drawing Title
Site Plan

Drawing No.
C-1.0



REVISION TABLE	DESCRIPTIVE
NUMBER	DATE
REVISOR	BY
ON	ON

PAGE TITLE
EGRESS PLANS

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING, LLC
111 East Shore Road South
Grand Isle, VT 05458
802-355-4130

DATE:

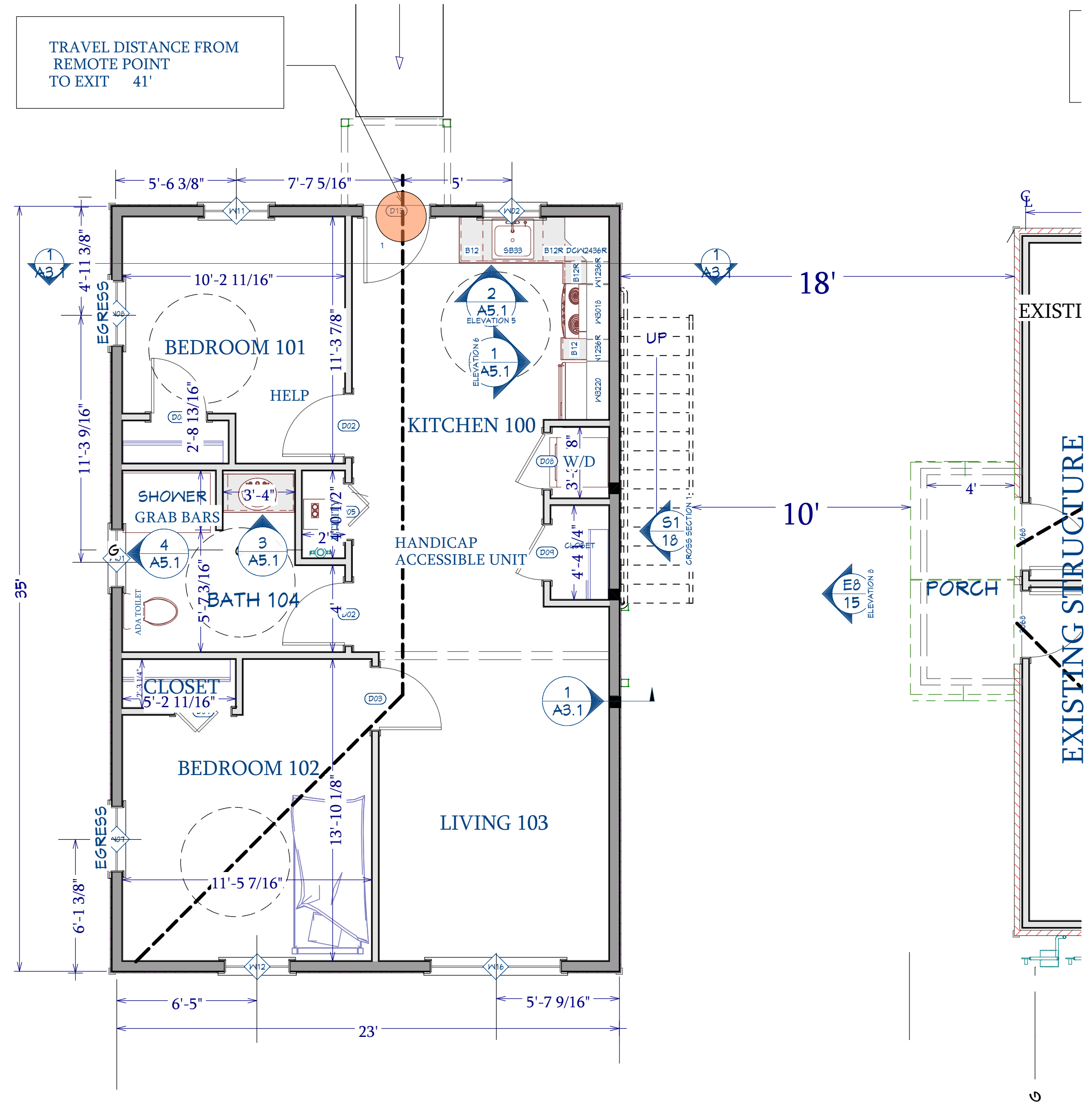
4/15/2026

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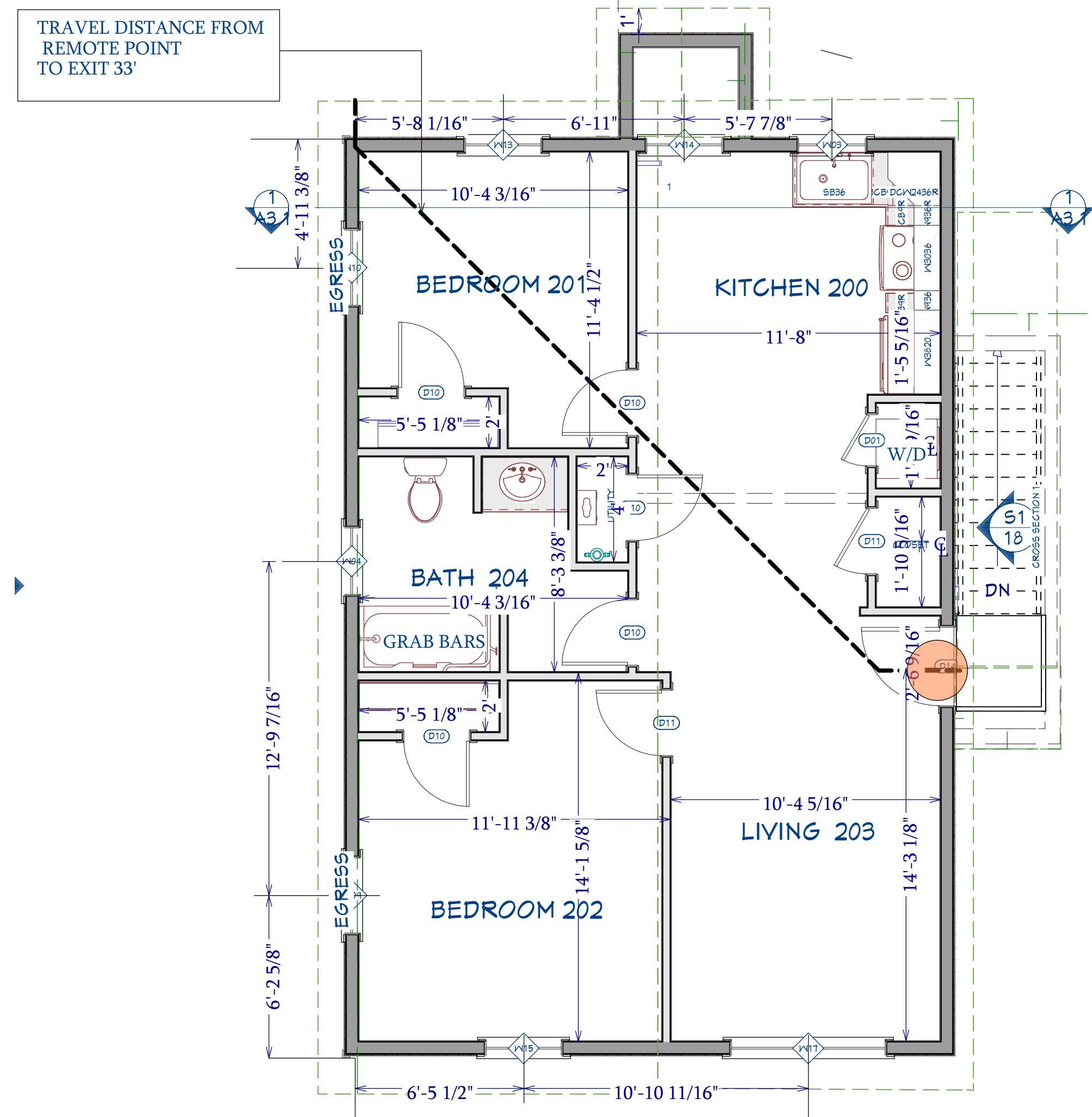
PROJECT #
2025-18

SHEET NUMBER

A0.1



1
A0.1 FIRST FLOOR EGRESS PLAN
1/4"=1'



2
A0.1 SECOND FLOOR EGRESS PLAN
1/4"=1'

Building Height: Approx, 24' Grade Plane to Average of Highest Roof.

Building Area: 805 sf at first level.
805 sf at second level.
1610 sf total area above grade.

Building Use: Residential R-3 (IBC)
310.5 Residential Group R-3. Residential occupancies where the occupants are primarily permanent in nature and not classified as Group R-1, R-2, R-4 or I, including: Buildings that do not contain more than two dwelling units
Sprinkler System: No Sprinkler System.

- Codes Reviewed**
- 2025 Vermont Fire Safety and Building Code (VFSBC)
 - 2024 NFPA 1 Fire Prevention Code (as amended VFSBC) (NFPA 1)
 - 2021 NEPA 101 Life Safety Code (as amended by VSFBC) (NEPA 101)
 - 2021 International Building Code (as amended by VSFBC) (IBC)
 - Vermont Access Rules 2012 (VAR)
 - Americans with Disabilities Act (as amended by (VAR)) (ADAAG)

BUILDING USE CLASSIFICATION				
Code	Section	Description	Classification Requirement	
IBC	310.4	310.4 Residential Group R-3. Residential occupancies where the occupants are primarily permanent in nature and not classified as Group R-1, R-2, R-4 or I, including: Buildings that do not contain more than two dwelling units	R-3	
NFPA 101	6.1.8.1.5	New Apartment Buildings	Chapter 30 New Apartment Buildings	
OCCUPANCY LOAD				
Code	Section	Description	Required	Proposed
NFPA 101	7.3.4.2	Occupancy load factor/200 sf per , or max Total floor area 1610 sf/200	8.05	8.05

SANDY PLEASANT
PROVIDER REVIEW

CODE REVIEW /EGRESS

1/4"=1'

HEIGHT AREA AND CONSTRUCTION TYPE				
Code	Section	Description	Allowed	Proposed
IBC	Table 503	Allowable area before increase based on type VB (combustible un-protected)	7000	
IBC	501.2	New and existing buildings shall be provided with approved address numbers or letters.	Required	

SPECIAL REQUIREMENTS BASED ON USE AND OCCUPANCY				
Code	Section	Description	Required	Proposed
IBC	420.2	Separation walls. Walls separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708	Yes	Yes
IBC	420.3	Horizontal separation. Floor assemblies separating dwelling units in the same buildings, floor assemblies separating sleeping units in the same building and floor assemblies separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with Section 711	No	No



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

PAGE TITLE
FLOOR PLANS

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

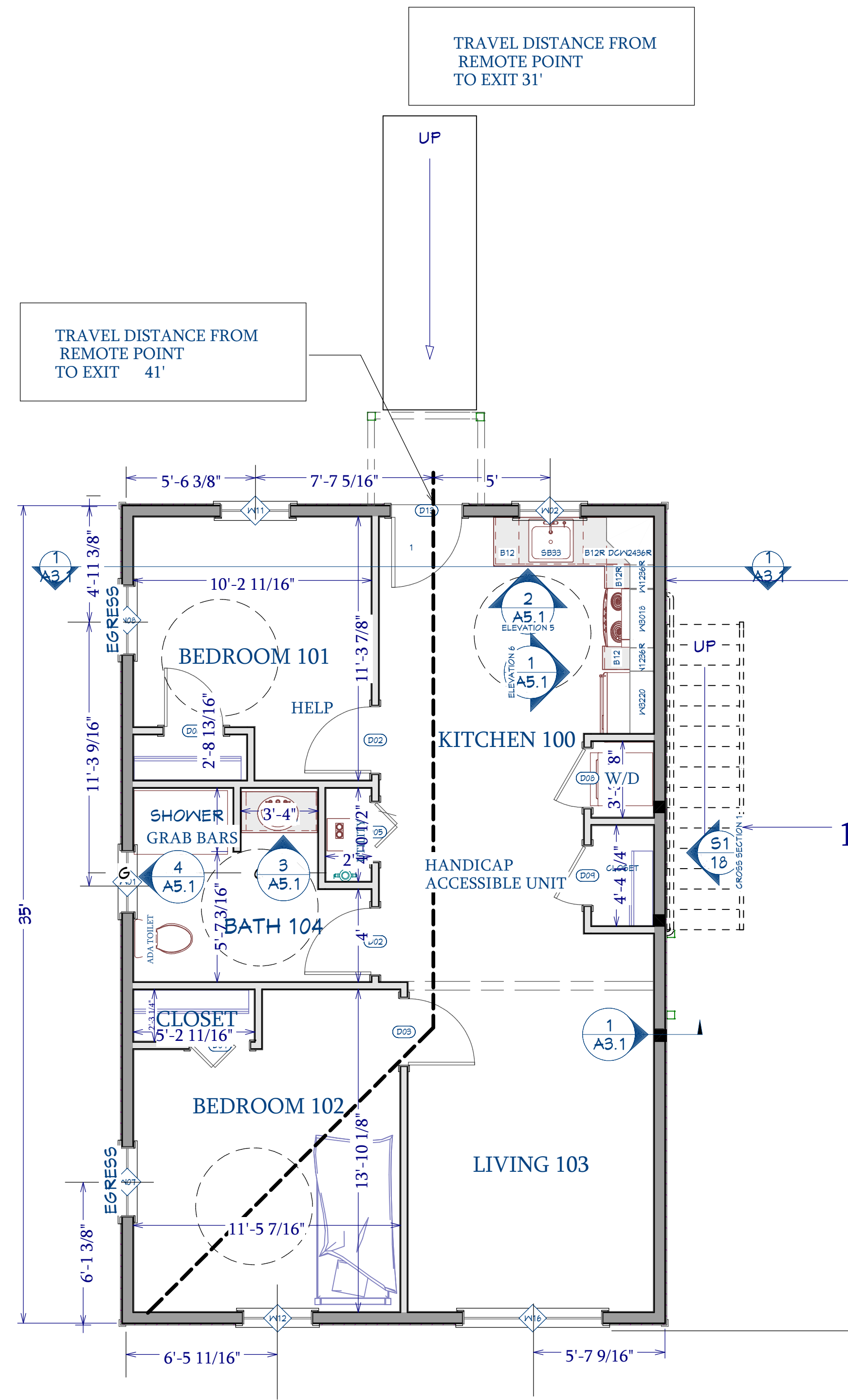
DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING, LLC
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DATE:
4/15/2026

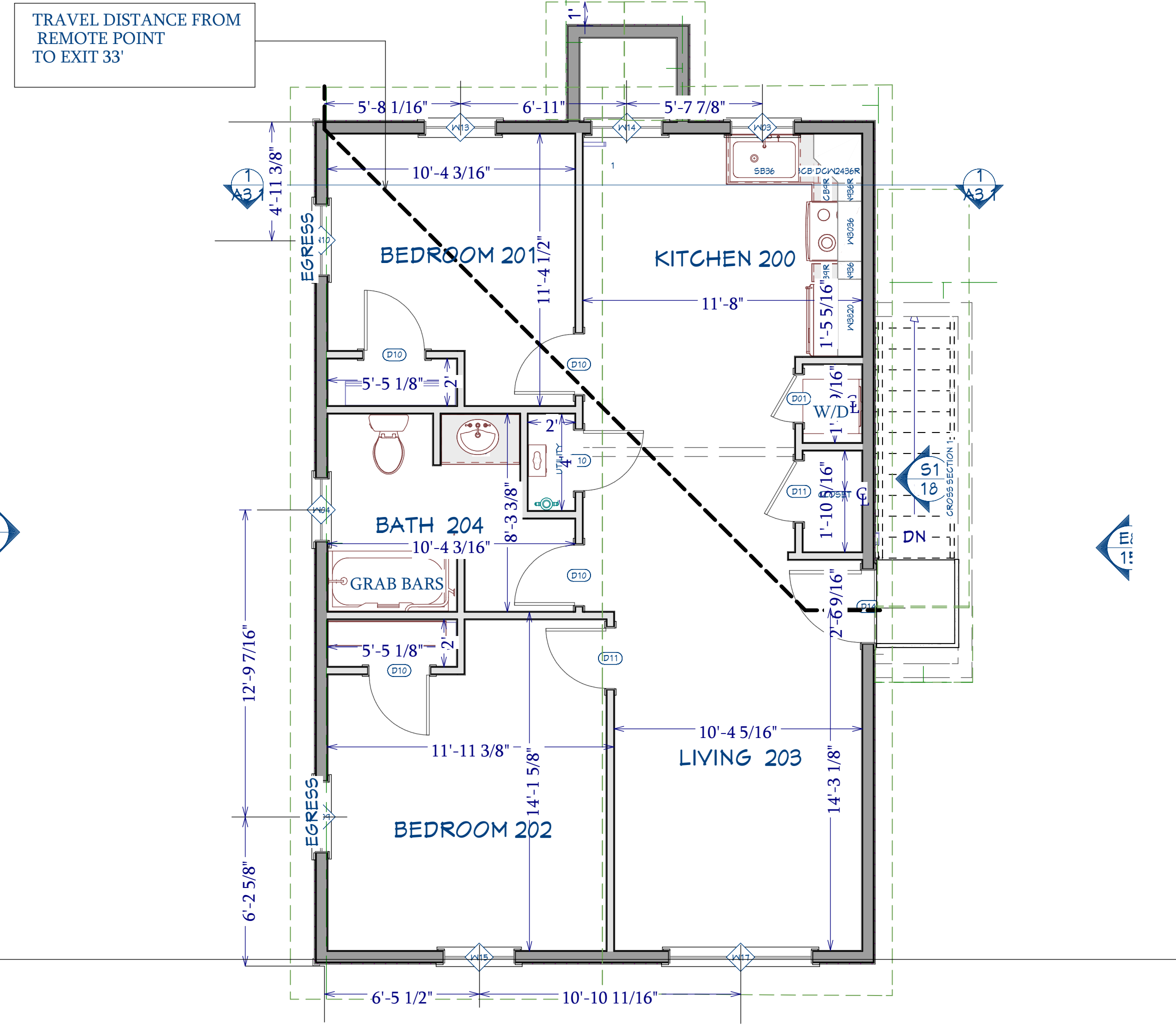
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PROJECT #
2025-18

SHEET NUMBER
A1.1



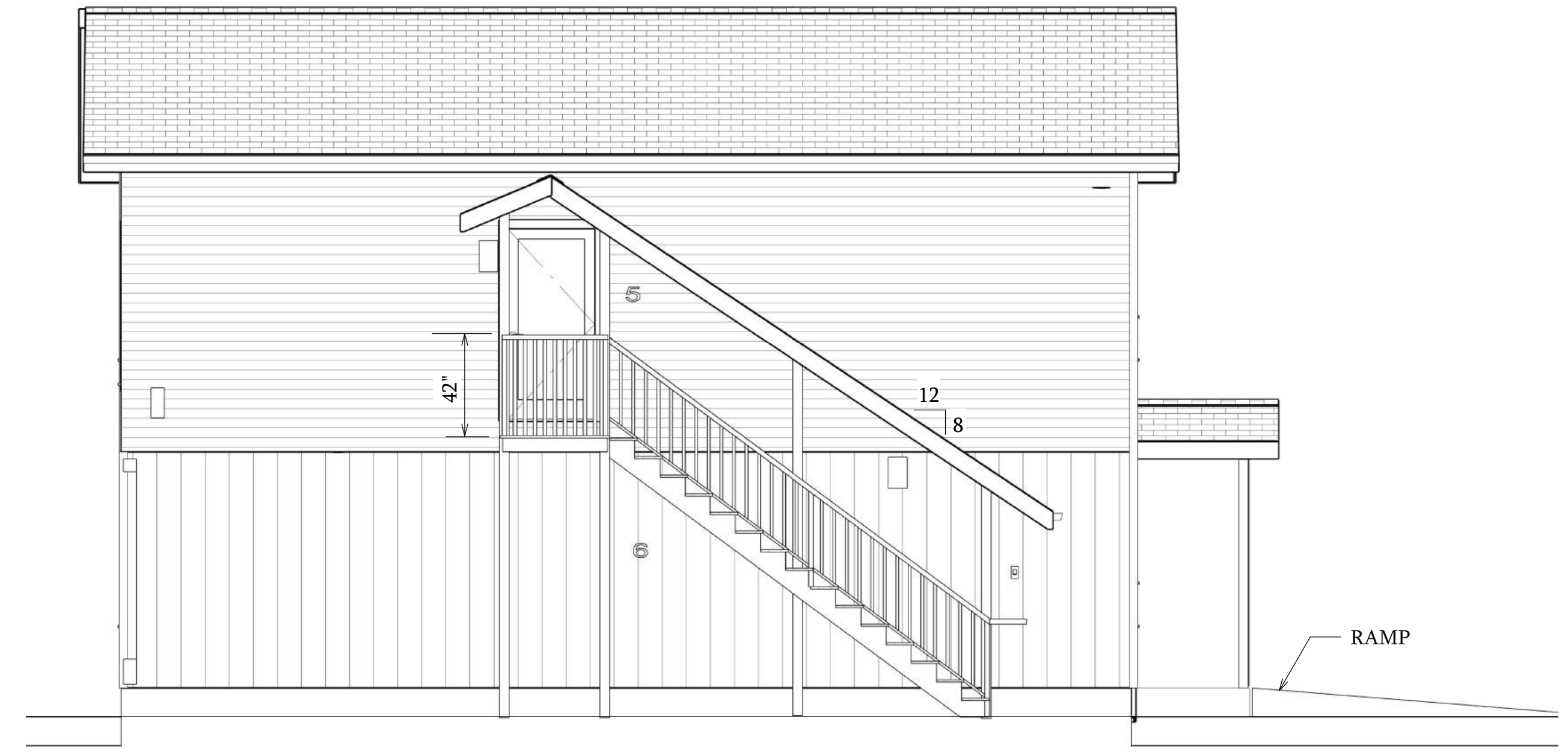
1
A1.1
FIRST FLOOR PLAN
1/4" = 1'-0"



1
A1.1
SECOND FLOOR PLAN
1/4" = 1'-0"



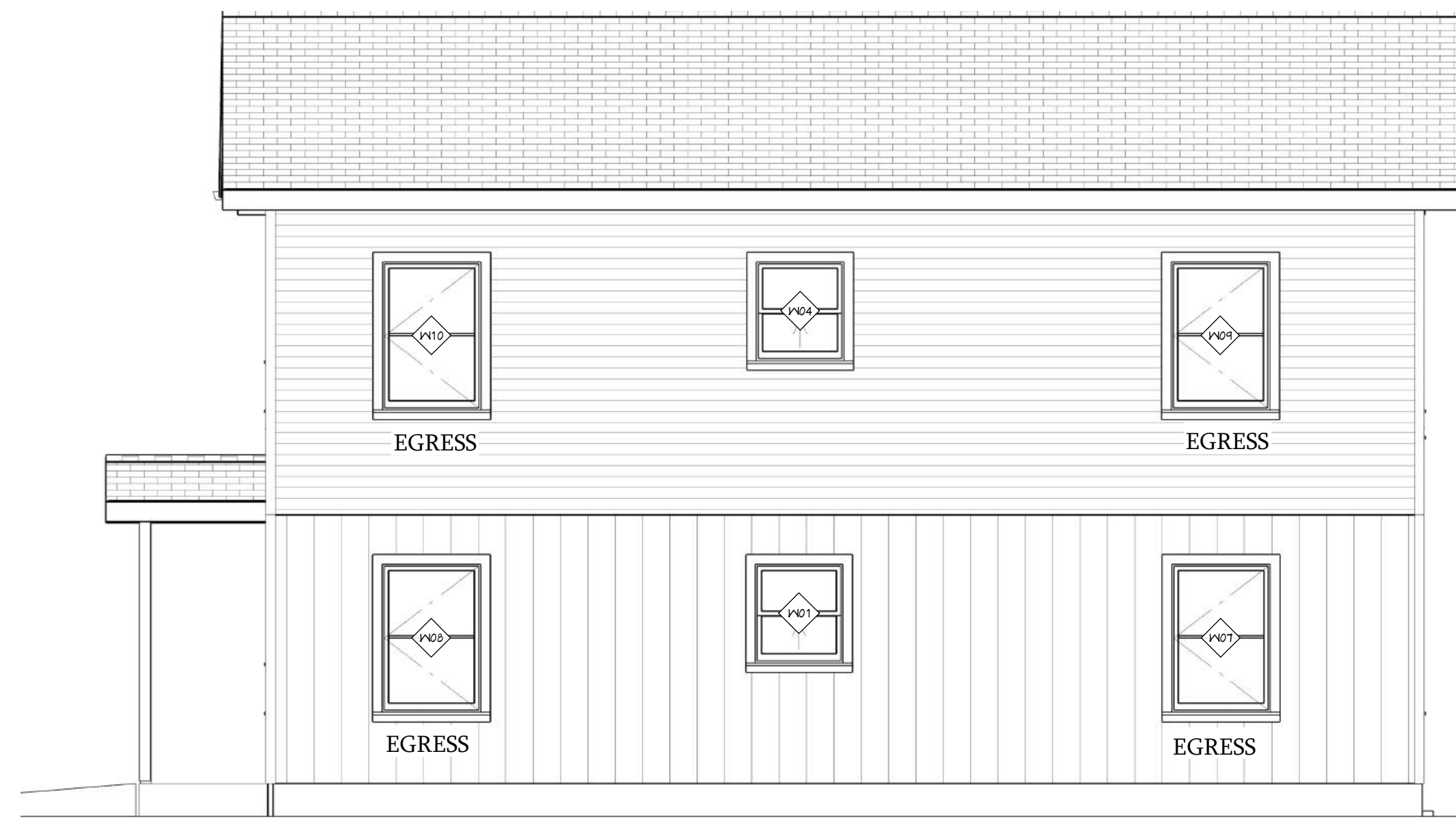
FRONT ELEVATION
1/4"=1'



LEFT ELEVATION
1/4"=1'



REAR ELEVATION
1/4"=1'



RIGHT ELEVATION
1/4"=1'

EXTERIOR ELEVATIONS

1/4"= 1'

REVISION TABLE	DESCRIPTION	REVISOR	DATE

PAGE TITLE

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355 ETHAN ALLEN PKWY LLC

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 802-355-4130

DATE:

4/15/2026

SCALE @24 x 36

PROJECT #
2025-18

SHEET NUMBER

A2.1



REVISION TABLE	DESCRIPTION
NUMBER	DATE
REVISION BY	ON

PAGE TITLE
BUILDING & WALL SECTIONS

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

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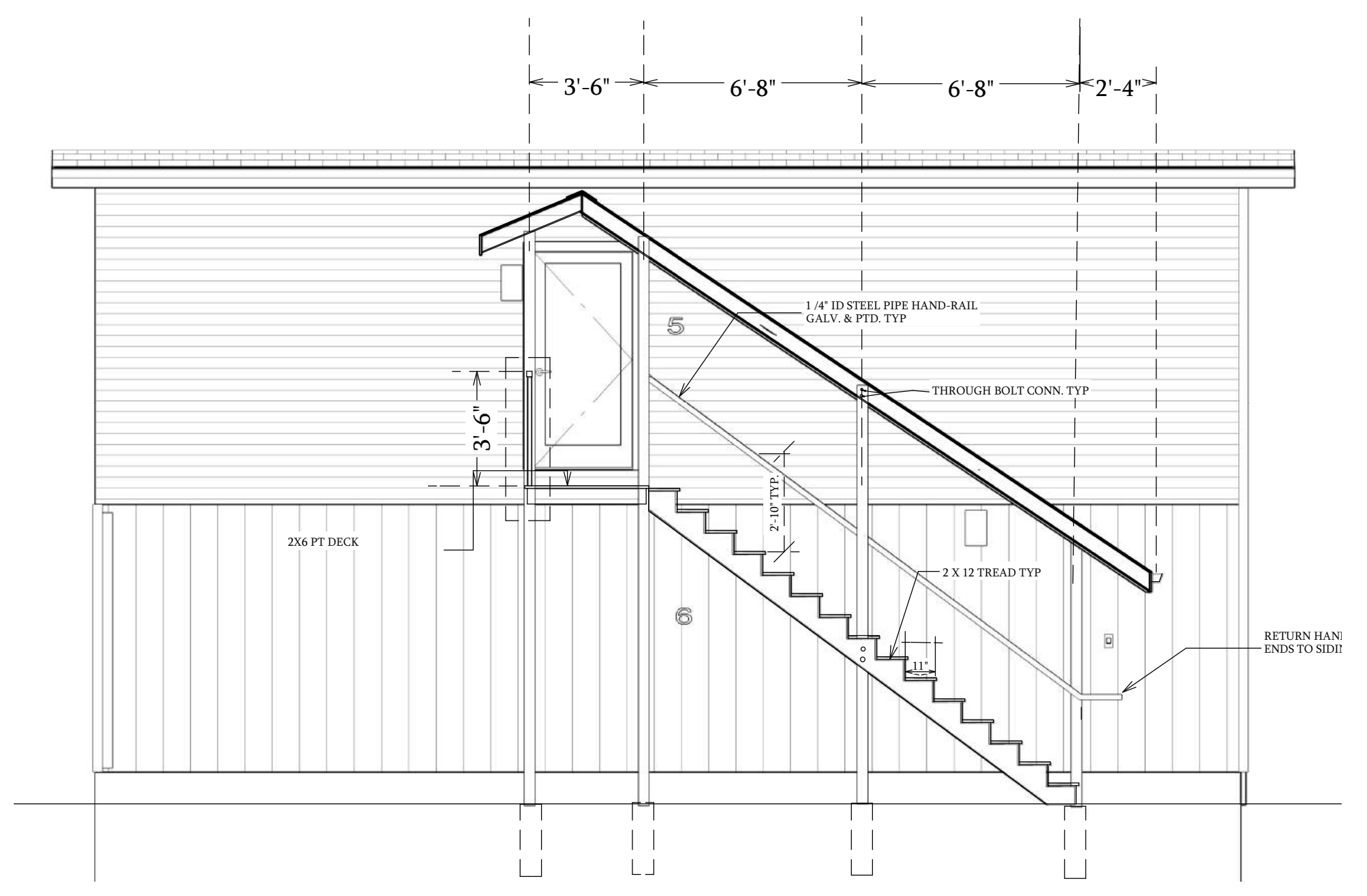
DATE:

4/15/2026

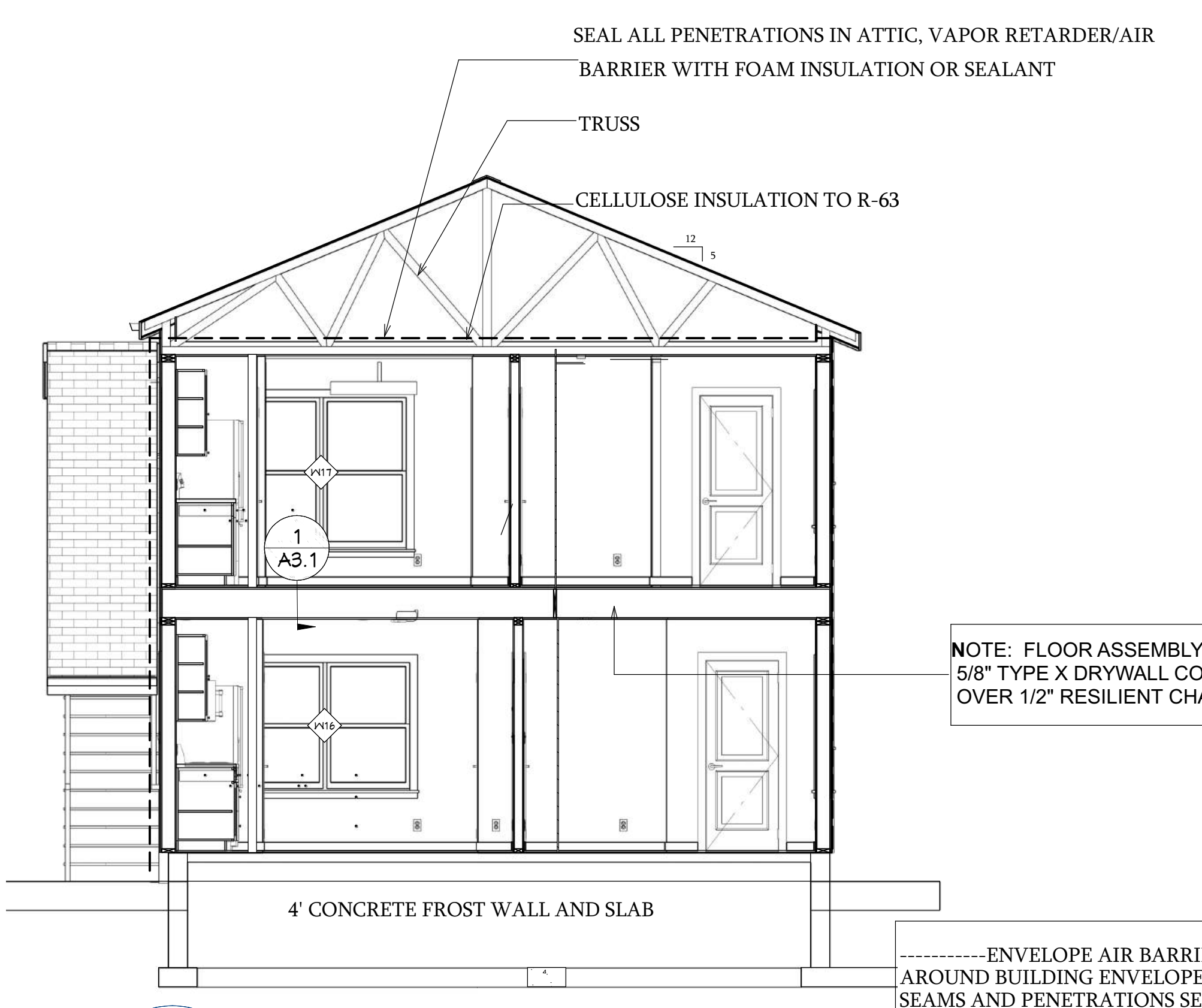
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PROJECT #
 2025-18

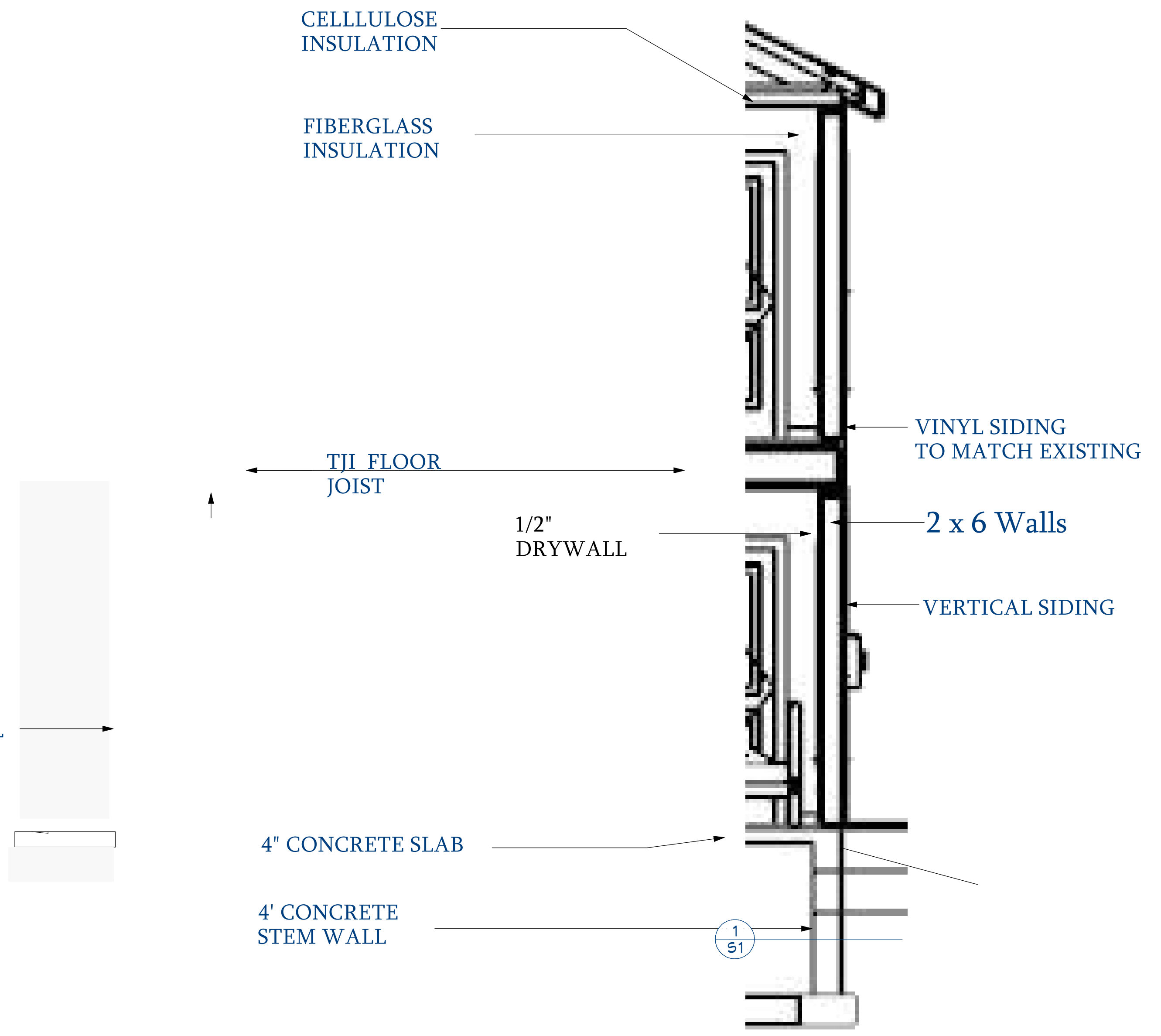
SHEET NUMBER
A3.1



2
A3.1 STAIR SECTION
 1/4"=1'-0"



1
A3.1 SECTION
 1/4"=1'-0"



TYPICAL WALL SECTION
 1/4"=1'

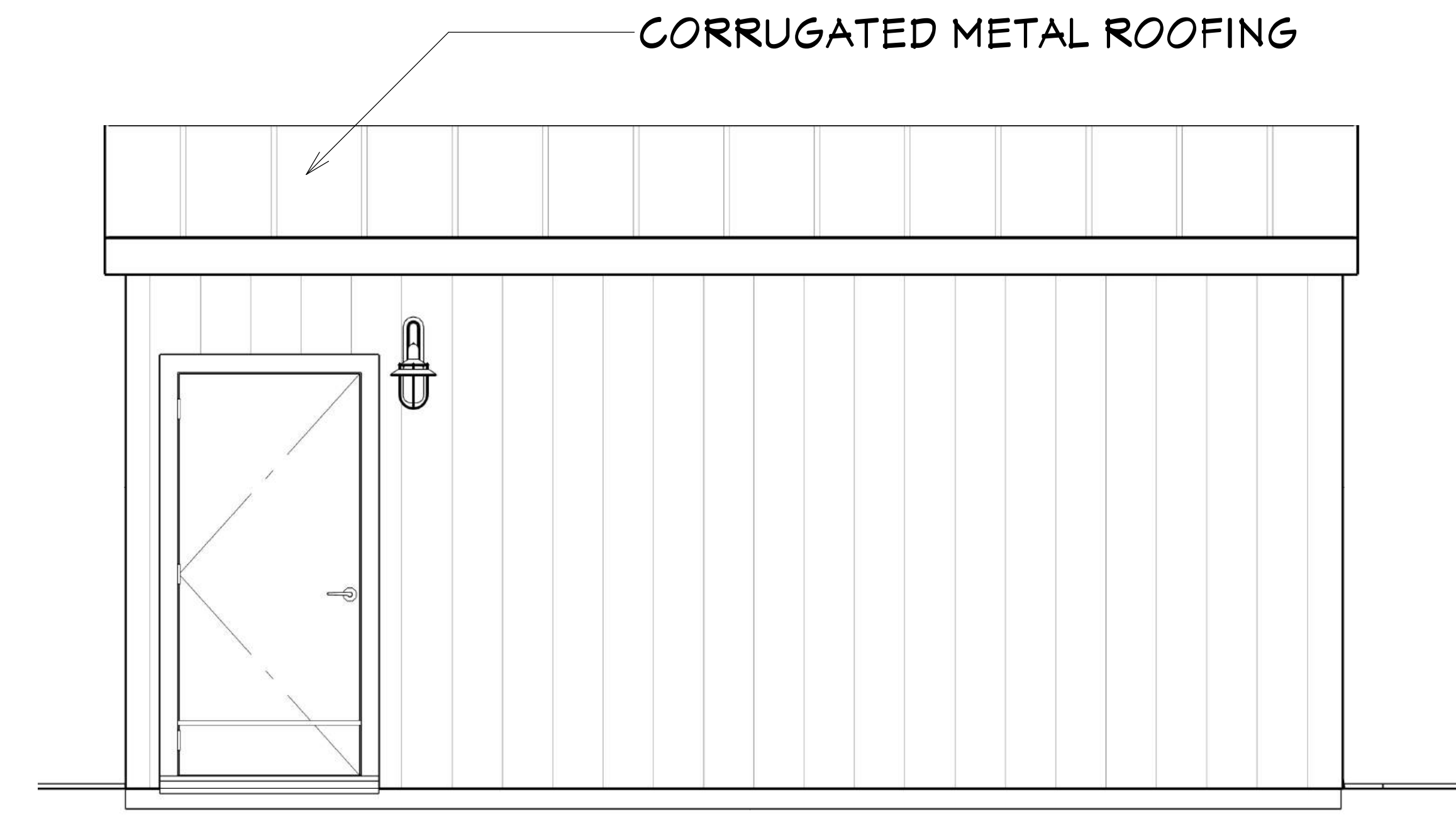
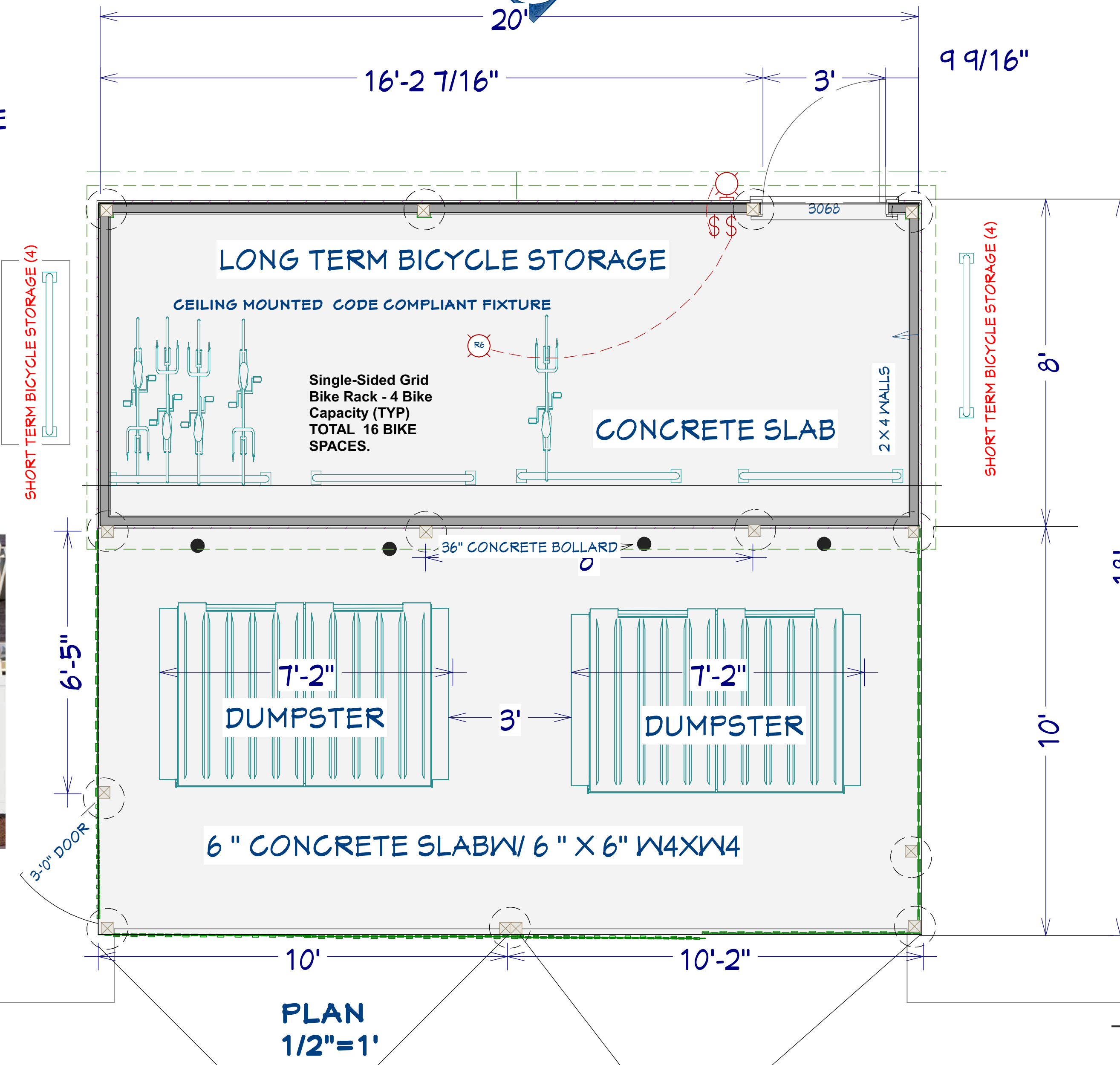
HARDY BOARD
 CEMENT VERTICAL
 SIDING

NOTE: FLOOR ASSEMBLY UNIT D CEILING TO BE
 5/8" TYPE X DRYWALL CONTINUOUS
 OVER 1/2" RESILIENT CHANNEL

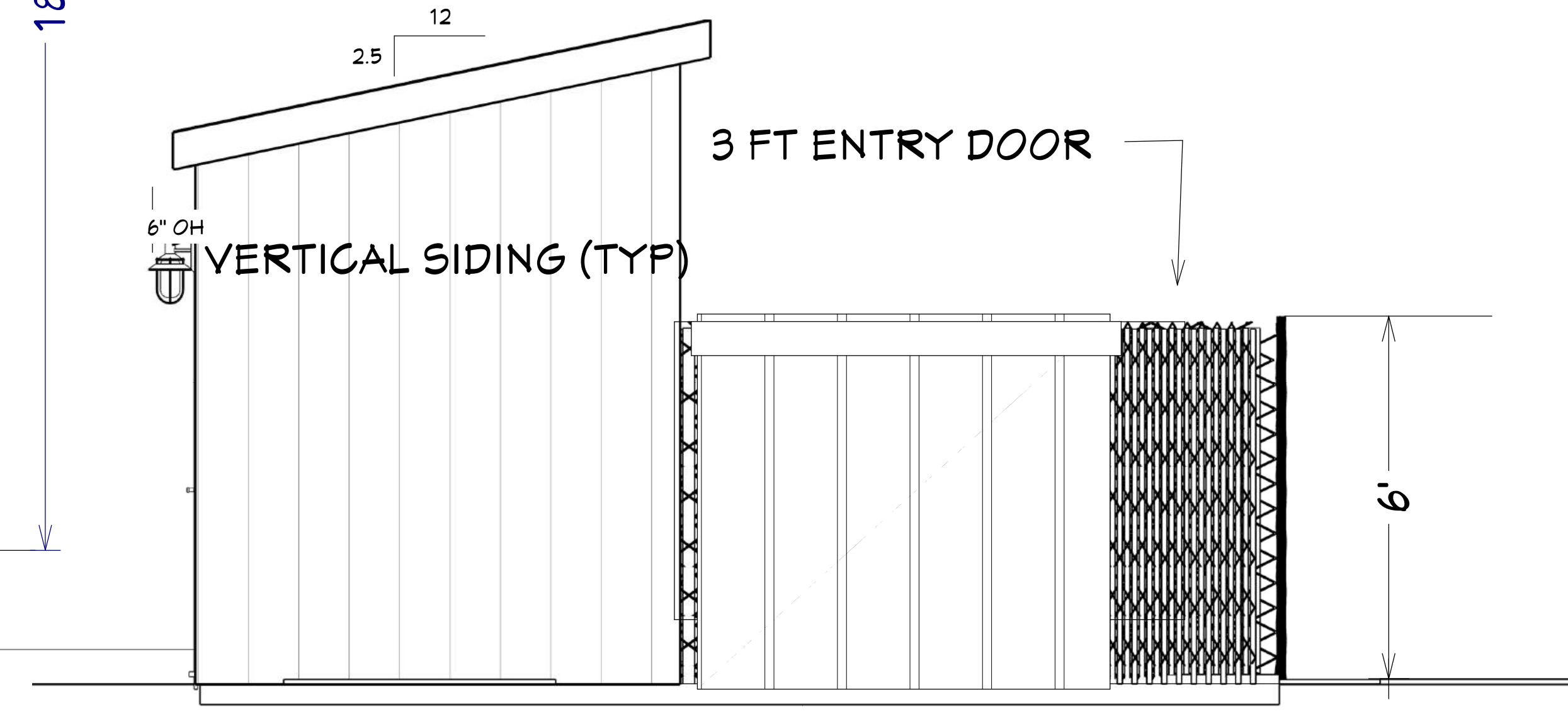
-----ENVELOPE AIR BARRIER CONTINUUMS
 AROUND BUILDING ENVELOPE
 SEAMS AND PENETRATIONS SEALED

DUMPSTER ENCLOSURE/SHORT TERM/LONG TERM BICYCLE STORAGE

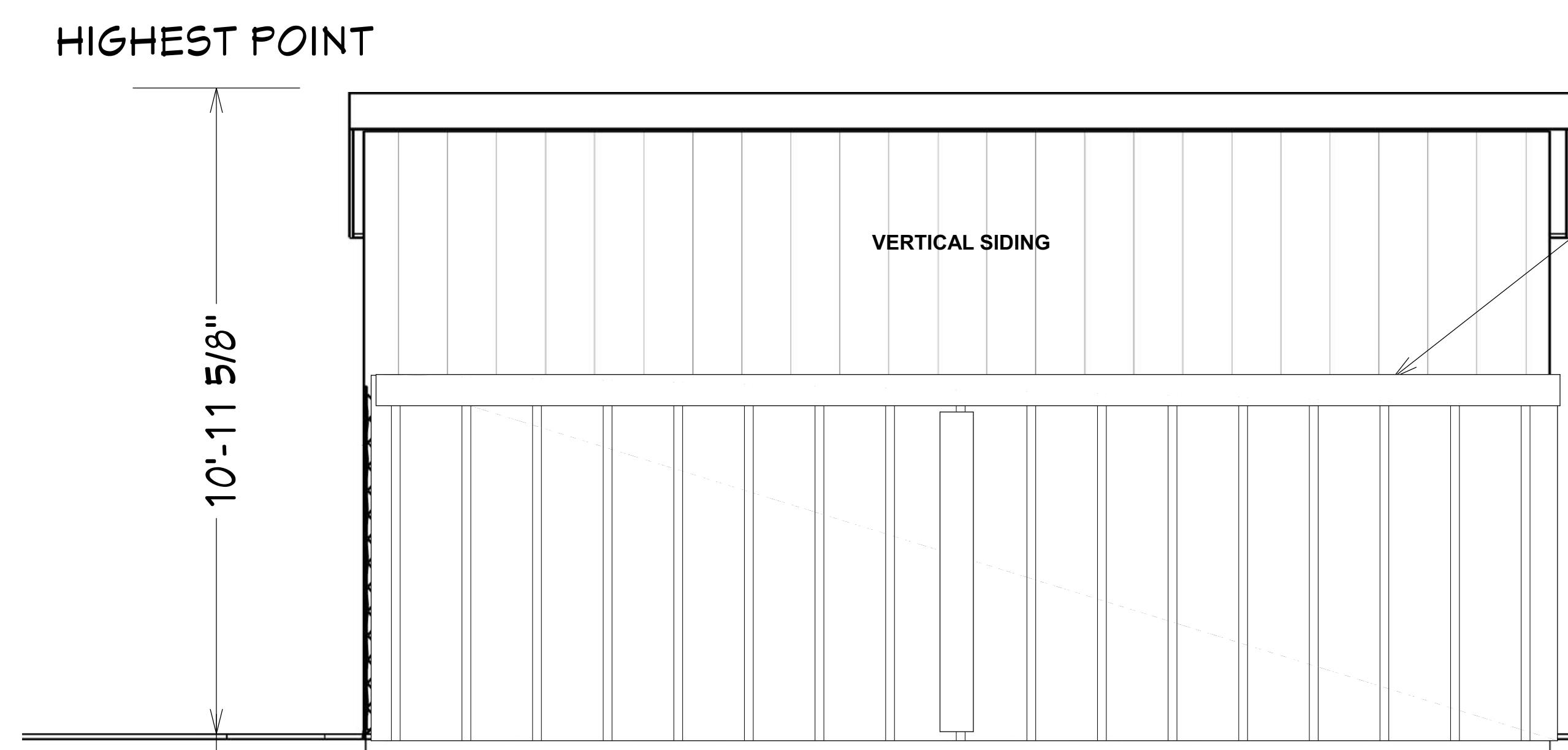
1/2"=1'



REAR ELEVATION
1/2"=1'

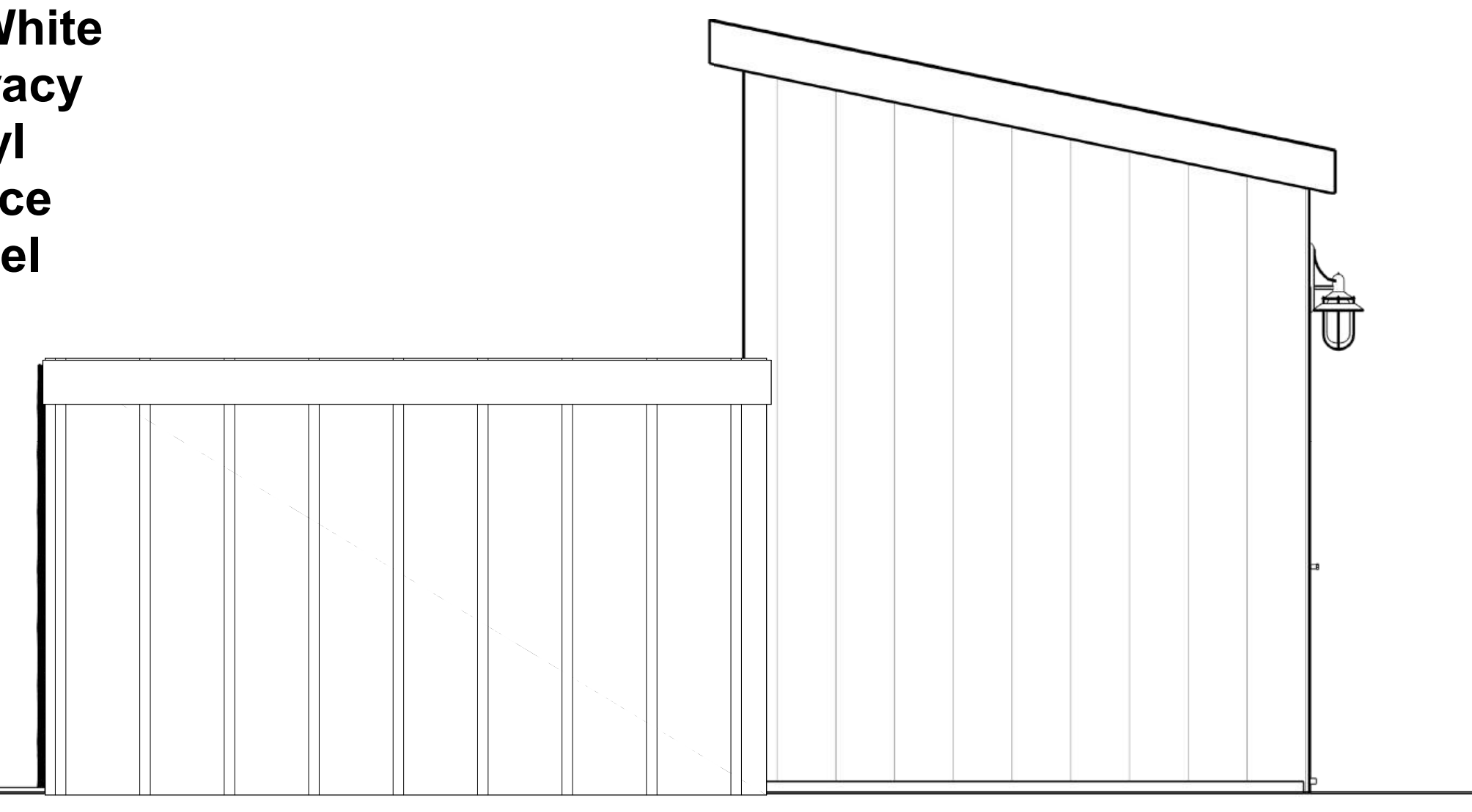


SIDE VIEW



FRONT ELEVATION
1/2"=1'

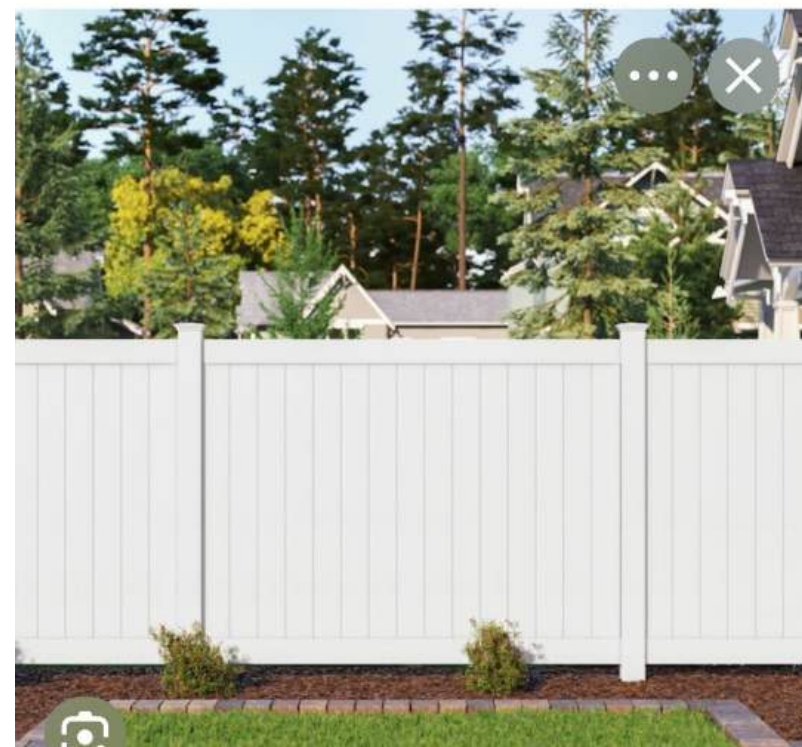
Linden 6
ft. H x 8 ft.
W White
Privacy
Vinyl
Fence
Panel



SIDE VIEW

EXTERIOR LIGHT FIXTURE

With 6 new dwelling units, 2 short term spaces will be needed (i.e. a bike rack), and 6 long term spaces will be needed (i.e. covered within a garage, shed, or within the dwelling units).
Scott Gustin 10/21/25



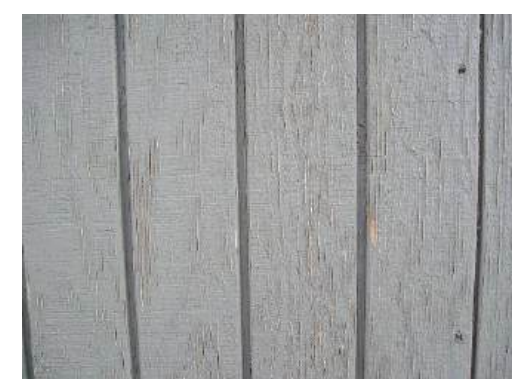
vinyl fence

4 BIKE CAPACITY (TYP)



BIKE RACK BASE DETAIL

RACK ANCHORED TO
4" CONCRETE BASE
4' x 32"



T 111 VERTICAL SIDING
PAINTED WHITE



REVISION TABLE	DESCRIPTION	REVISION BY	DATE

PAGE TITLE

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

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111 East Shore Road South
Grand Isle, VT 05458
802-355-4130

DATE:

4/16/2026

SCALE @24 x 36

PROJECT #
2025-18

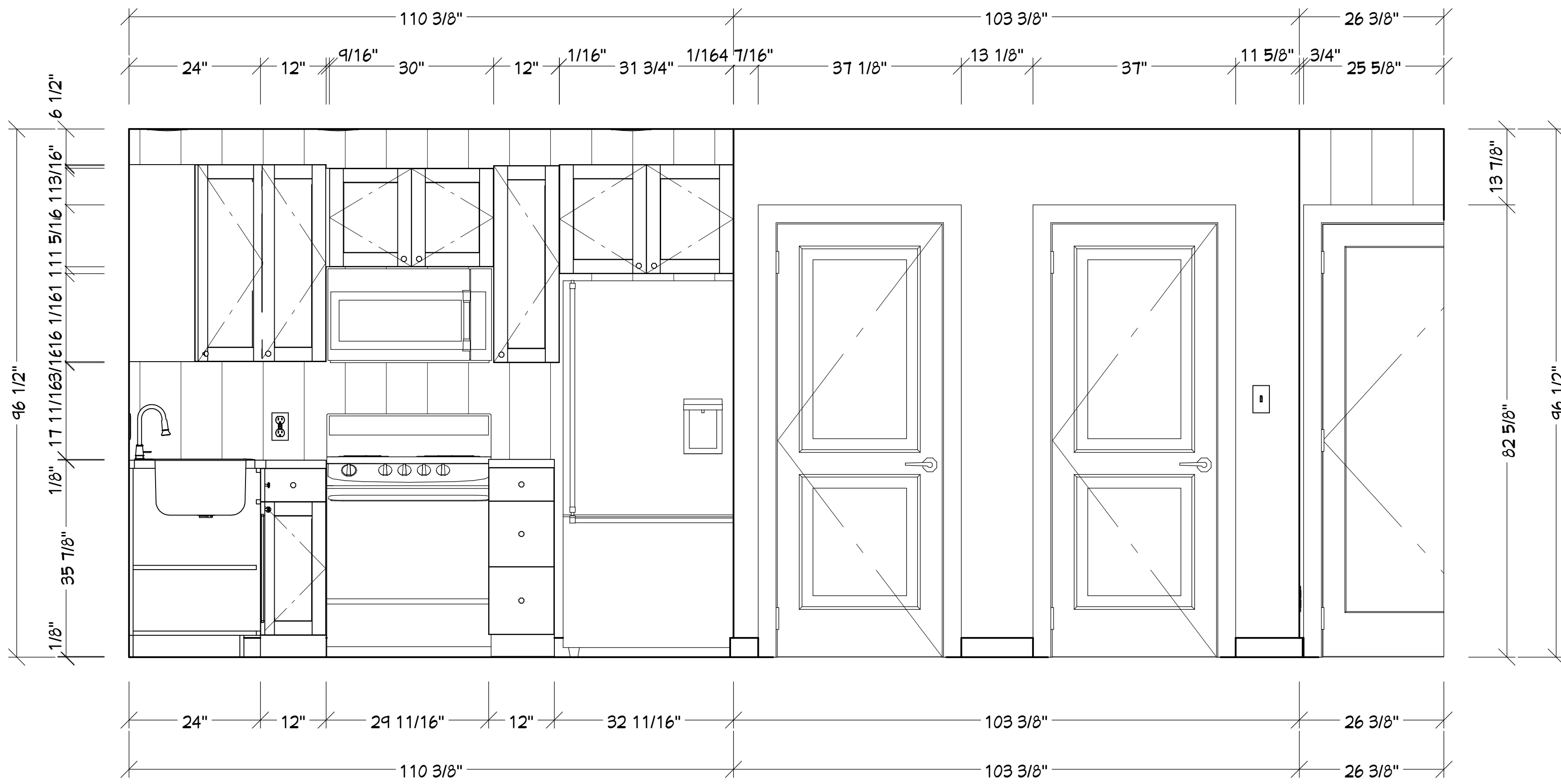
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A4.1

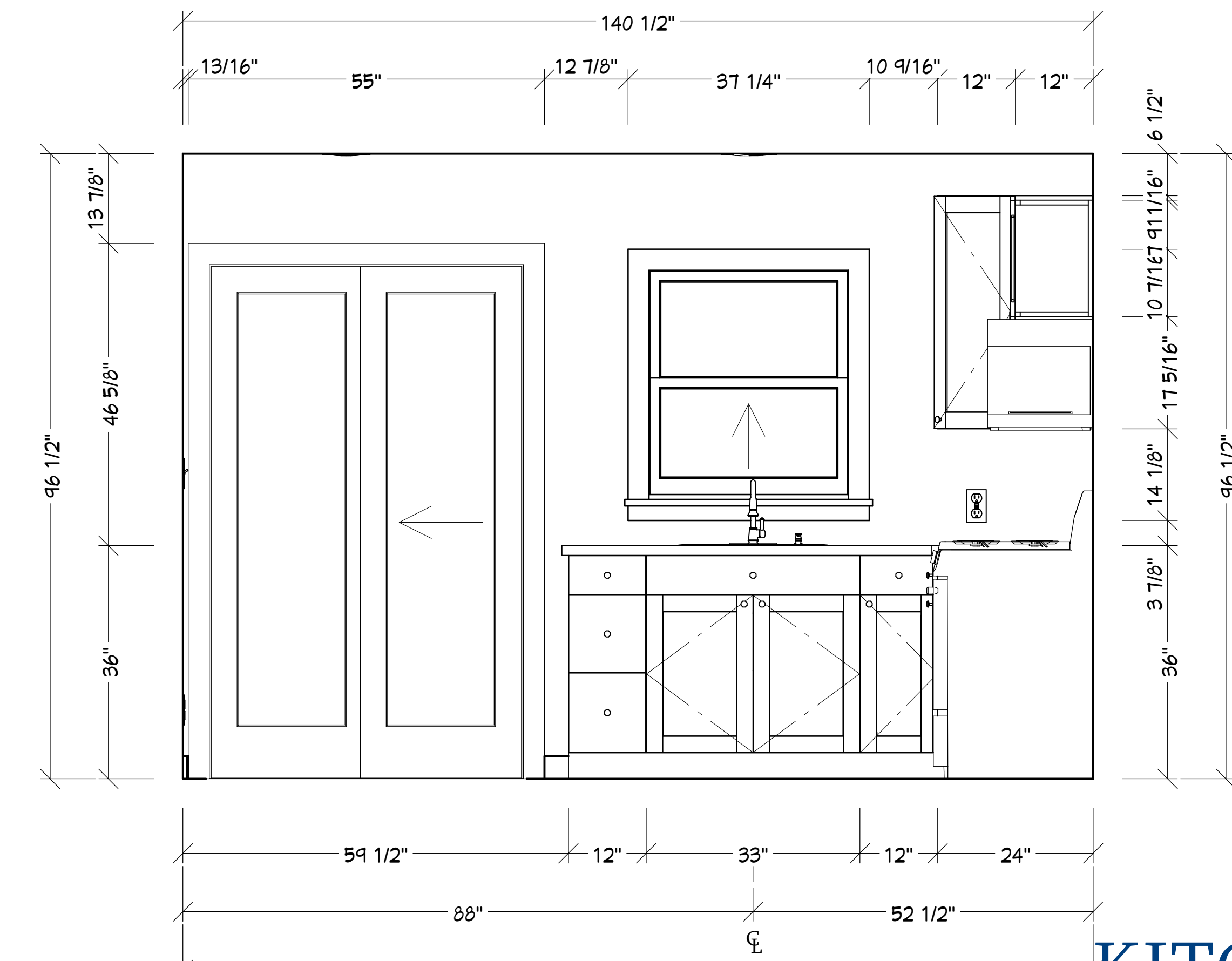
PERMIT REVIEW ONLY

REVISED FOR DRV 2/25/26

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION



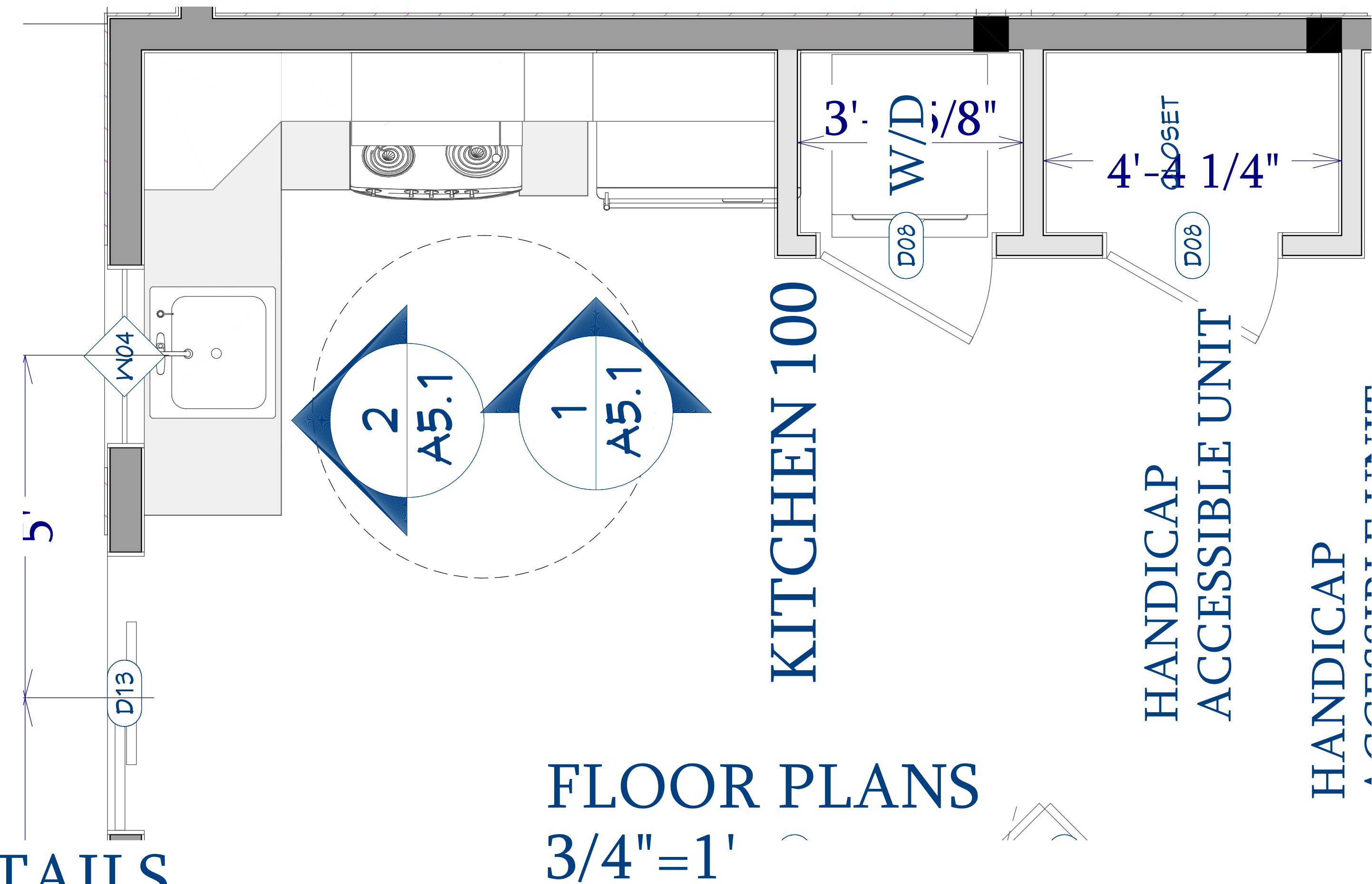
Elevation 1



Elevation 2



PERSPECTIVE



KITCHEN DETAILS

FLOOR PLANS
3/4"=1'

Floor Plan View Dimensioned

PERMIT REVIEW ONLY

WINDOW & DOOR SCHEDULES



WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS	SQ. FT. NET CLEAR OPENING	MANUFACTURER <small>ANDERSON E-SERIES</small>	FLOOR TO SILL HEIGHT
W01	2830SH	1	1	2830SH	33"X37"				
W02	2830SH	1	1	2830SH	33"X37"				
W03	2830SH	1	2	2830SH	33"X37"				
W04	2830SH	1	2	2830SH	33"X37"				
W07	3046SC	1	1	3046SC	37"X55"	YES	7.81		32"
W08	3046SC	1	1	3046SC	37"X55"	YES	7.81		32"
W09	3046SC	1	2	3046SC	37"X55"	YES	10.04		26"
W10	3046SC	1	2	3046SC	37"X55"	YES	10.04		26"
W11	3046SH	1	1	3046SH	37"X55"				
W12	3046SH	1	1	3046SH	37"X55"				
W13	3046SH	1	2	3046SH	37"X55"				
W14	3046SH	1	2	3046SH	37"X55"				
W15	3046SH	1	2	3046SH	37"X55"				
W16	W16-6046MU	1	1	6046	73"X55"				
W17	6054MU	1	2	6054	73"X65"				

DOOR SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
D01	2068	1	2	2068 R IN	25 1/2"X82 1/2"	HINGED-DOOR P04	2"X6"X28 1/2" (2)			
D02	21068	2	1	21068 L IN	36"X82 1/2"	HINGED-DOOR P04	2"X6"X39" (2)			
D03	21068	1	1	21068 R IN	36"X82 1/2"	HINGED-DOOR P04	2"X6"X39" (2)			
D05	2668	1	1	2668 L	32"X82 1/2"	2 DR. BIFOLD-LOUVERED	2"X6"X35" (2)			
D06	2668	1	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)			
D07	2668	1	1	2668 R	32"X82 1/2"	2 DR. BIFOLD-LOUVERED	2"X6"X35" (2)			
D08	2668	1	1	2668 R IN	32 1/8"X82 1/2"	HINGED-DOOR P04	2"X6"X35 1/8" (2)			
D09	2668	1	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)			
D10	2668	5	2	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)			
D11	2668	2	2	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)			
D13	3068	1	1	3068 R EX	38"X83"	EXT. HINGED-SLAB	2"X6"X41" (2)			
D14	3068	1	2	3068 R EX	38"X83"	EXT. HINGED-PANEL	2"X6"X41" (2)			

REVISION TABLE	DESCRIPTION	
	REVISION BY	
NUMBER	DATE	

PAGE TITLE
WINDOW & DOOR SCHEDULES

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING, LLC
111 East Shore Road South
Grand Isle, VT 05458
802-355-4130

DATE:

4/15/2026

SCALE @24 x 36

PROJECT #
2025-18

SHEET NUMBER
A6.1

REVISION TABLE	DESCRIPTION
NUMBER	DATE

PAGE TITLE
FOUNDATION PLAN

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING, LLC
111 East Shore Road South
Grand Isle, VT 05458
802-355-4130

DATE:

4/16/2026

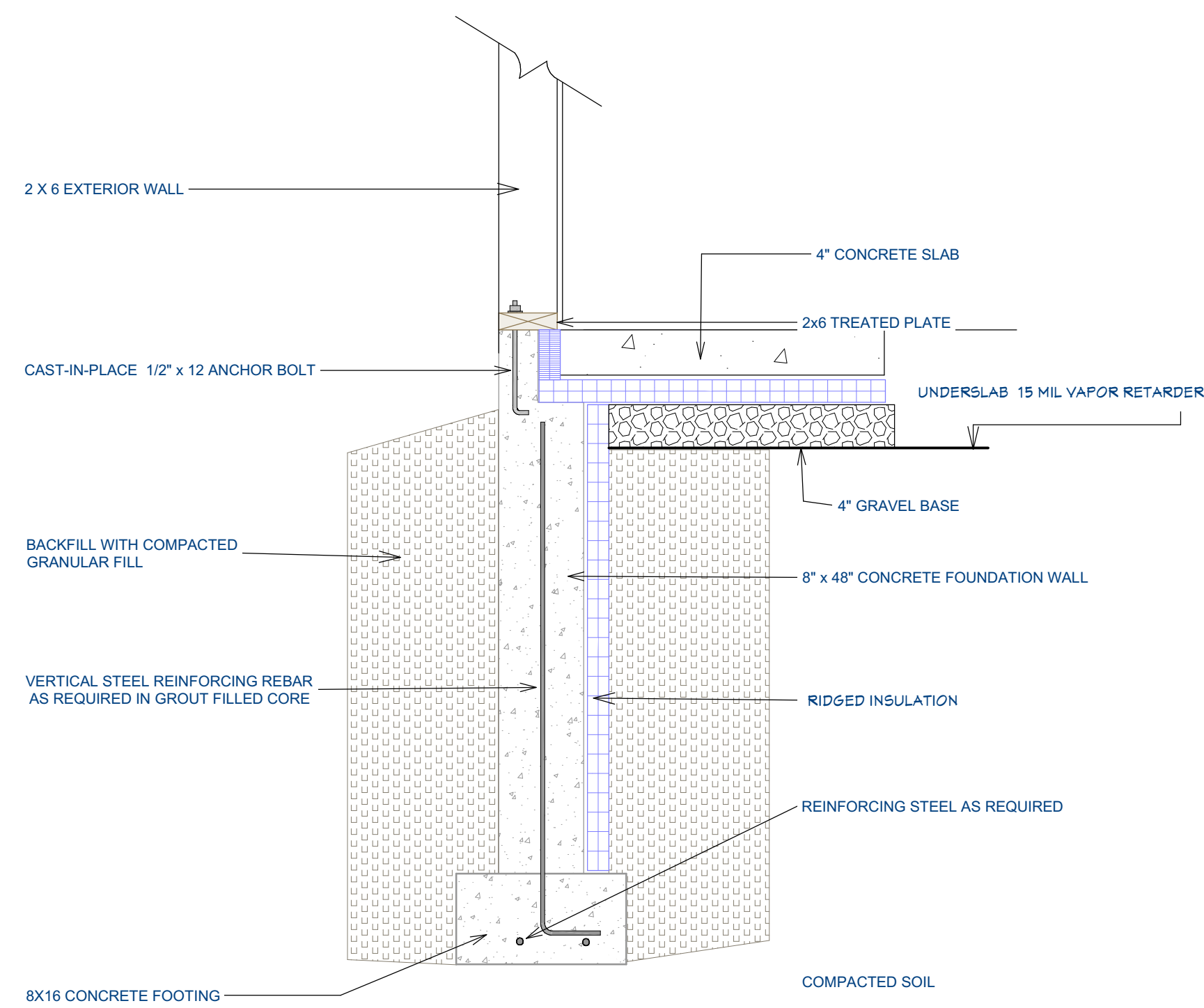
SCALE @24 x 36

PROJECT #
2025-18

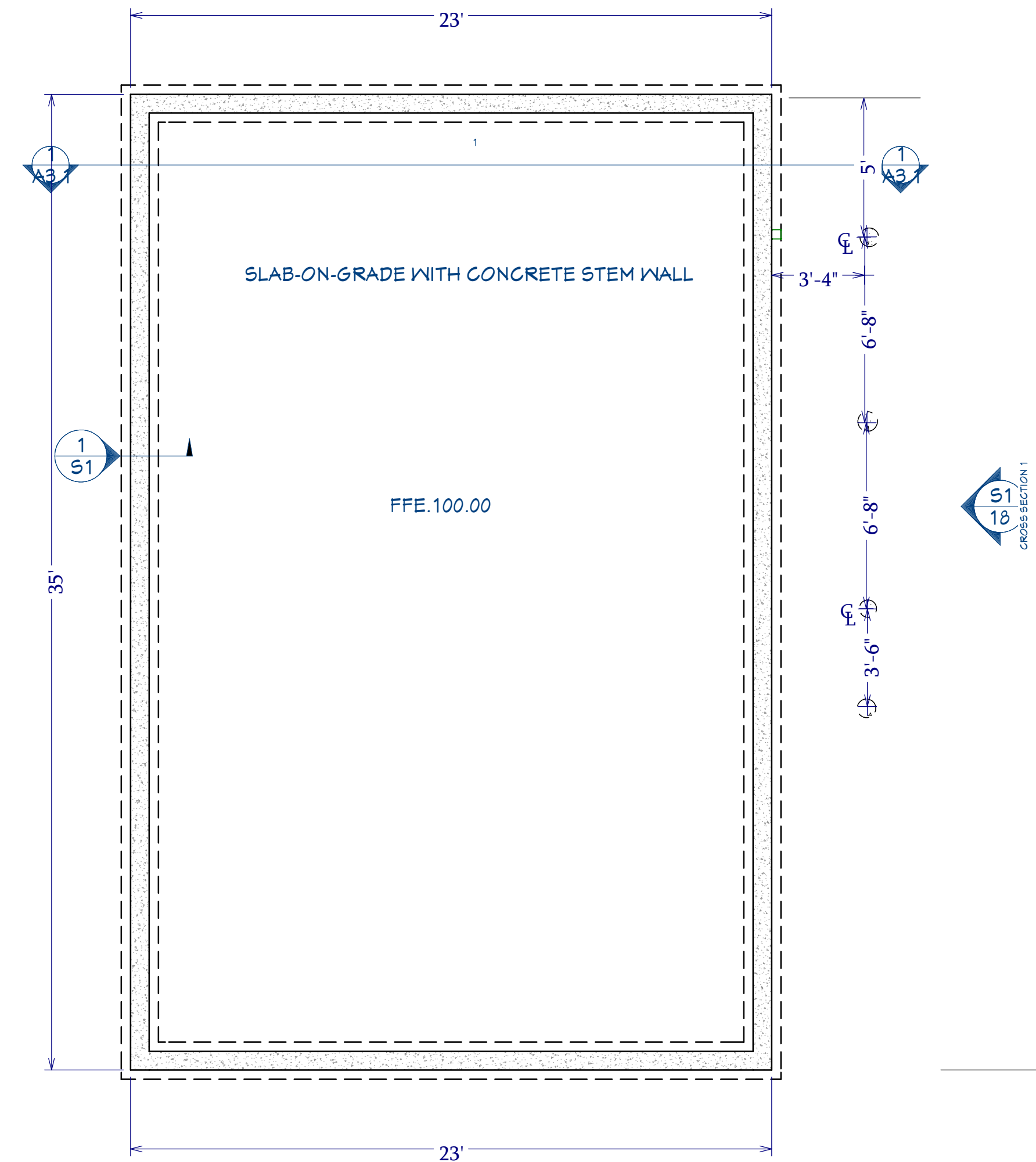
SHEET NUMBER

S1.0

- All concrete to be 3,000 PSI at 28 days
- Footings to be 1'-0"x2'-0" reinforced with 2 runs of #4 rebar and continuous key way.
- Frost walls to be 8"x3'-10" with 2 runs of #4 rebar top and bottom tie
- 1/2"x8" anchor bolts 12" from the corners and 6' OC
- Breaking of ties



1 SECTION
1"=1'-0"

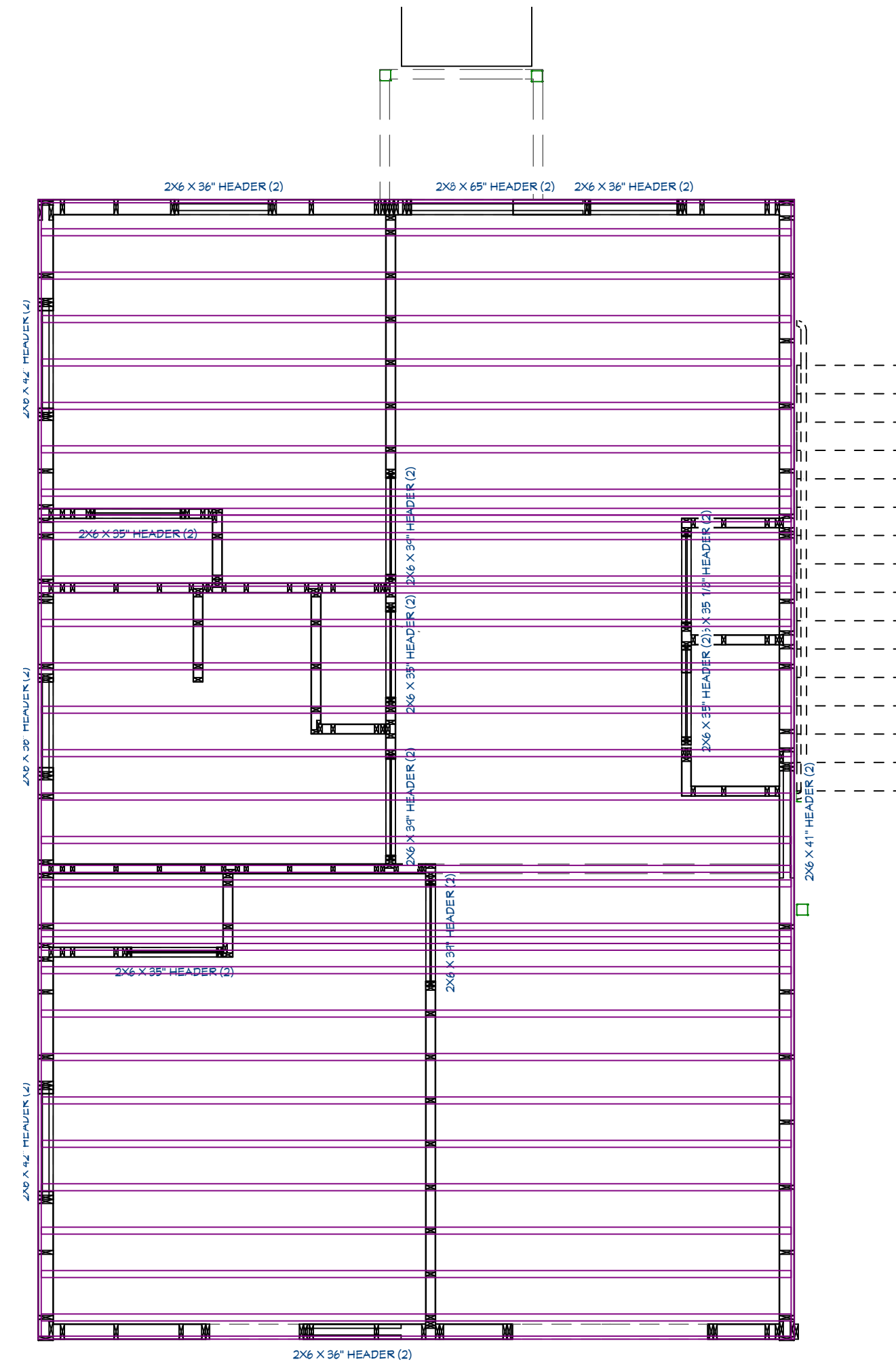


FOUNDATION
1/4"=1'

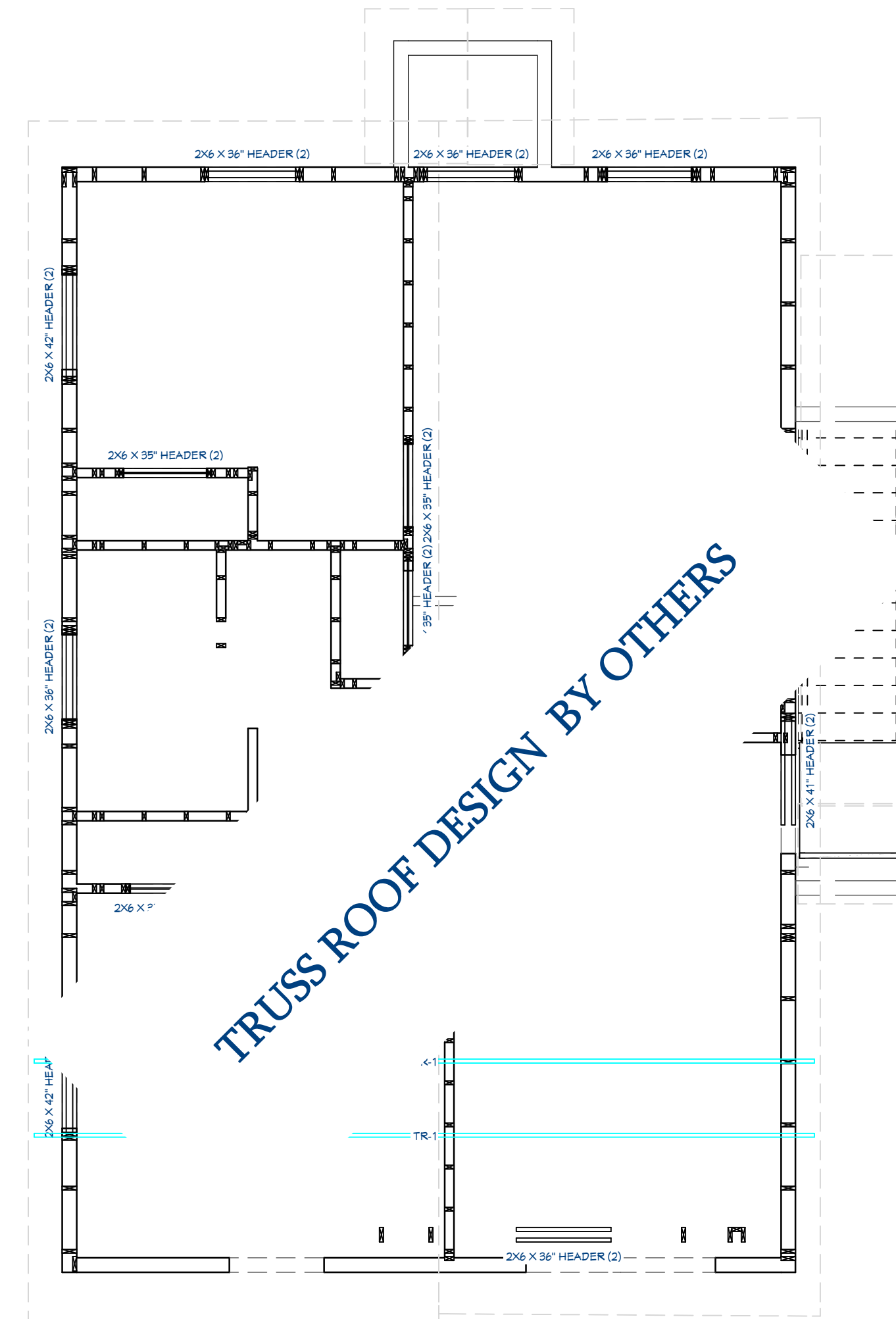
2

3

PERMIT REVIEW ONLY



Framing, Floor Plan View



Framing, Roof Plan View

ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16".

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

MIN. SNOW LOAD 50 LBS PER SQUARE FOOT.

WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

ROOF & FLOOR TRUSS MANUFACTURER: _____



REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR

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PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
 NLB CONSTRUCTION CONSULTING, LLC
 111 East Shore Road South
 Grand Isle, VT 05458
 802-555-4130

DATE:

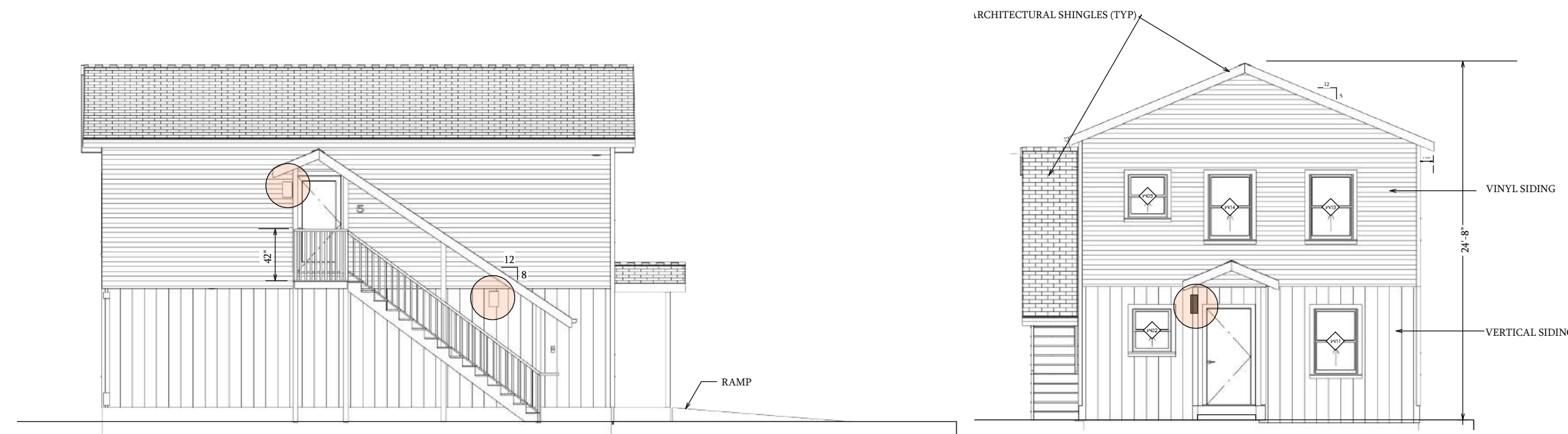
4/16/2026

SCALE @24 x 36

PROJECT #
 2025-18

SHEET NUMBER
S1.2

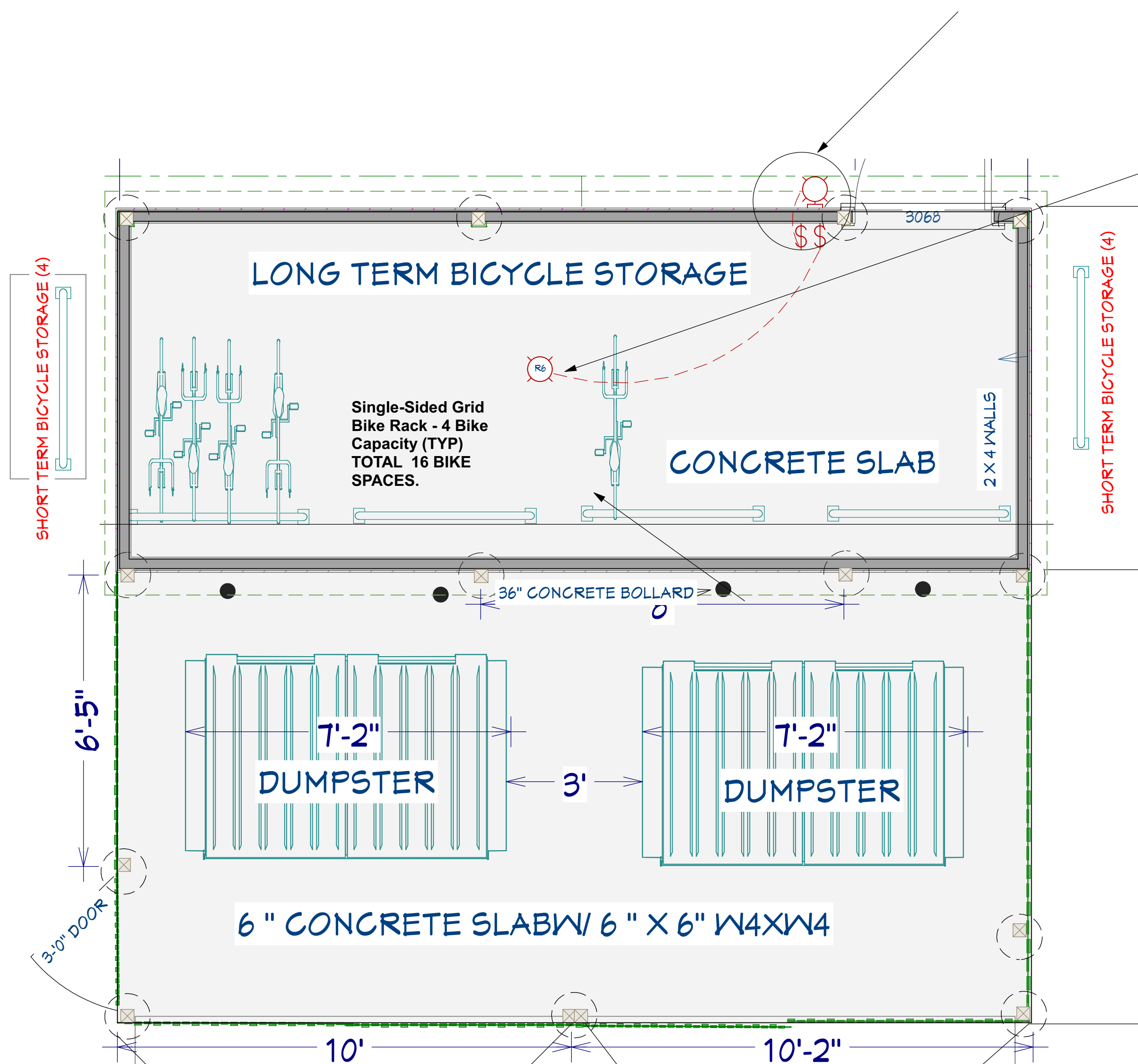
PERMIT REVIEW ONLY



Elevation 8

Exterior Elevation Front

**RP Lighting
and Fans 12"
Tall LED
Outdoor Wall
Sconce**
Model: 4428OB-
17-3K



**Junction Box Light
Fixture with Plastic-
Coated Glass Globe
Junction and Wire Guard**
Item number Item
#: 190h1fc



LIGHTING PLAN

REVISED 4/15/26
PERMIT REVIEW ONLY

REVISION TABLE	DESCRIPTION	REVISION BY	DATE

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355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING, LLC
111 East Shore Road South
Grand Isle, VT 05458
802-355-4130

DATE:
4/16/2026

SCALE @24 x 36

PROJECT #
2025-18

SHEET NUMBER
E-2

REVISION TABLE	DESCRIPTION	REVISION BY	DATE

PAGE TITLE

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

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 111 East Shore Road South
 Grand Isle, VT 05458
 802-355-4130

DATE:
 4/16/2026

SCALE @24 x 36

PROJECT #
 2025-18

SHEET NUMBER
L-2

Emerald Green Arborvitae

Thuja occidentalis 'Emerald Green'

Nature Hills Nursery

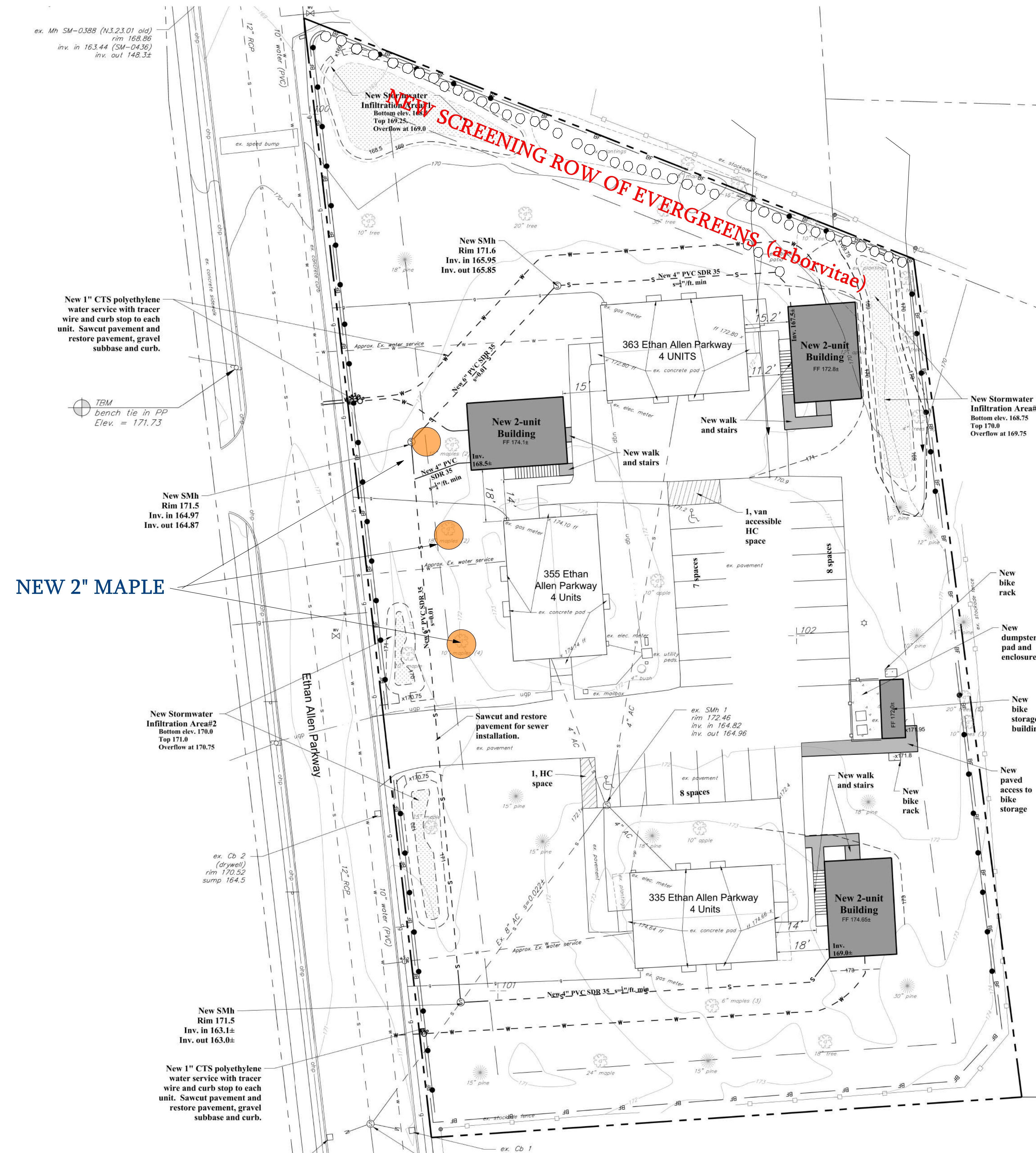
- Vibrant Emerald Green Color Stays Rich Year-Round, Even in Winter Cold
- Cold Hardy: Thrives in Zones 4-8
- Grows 15 ft Tall, 4 ft Wide
- Evergreen Year-Round Color and Privacy
- Great Choice for Privacy Screen or Hedge



SUGAR MAPLE

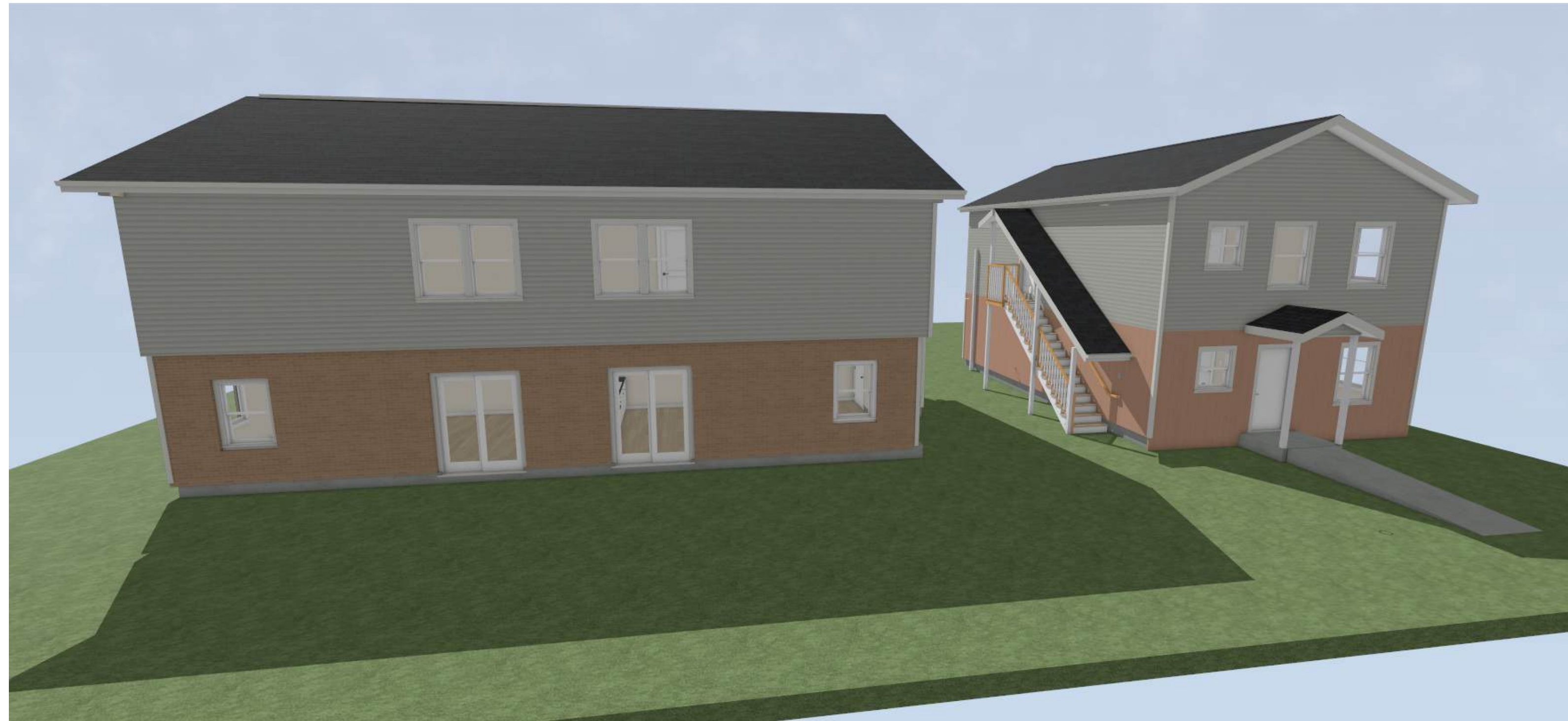
(*Acer saccharum*)

REVISED 3/30/26
 PERMIT REVIEW ONLY



EXISTING TREES TO REMAIN

EA Parkway C draft 4-15-26



**PERSPECTIVE VIEW
OF SEPARATED BUILDINGS**

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR

PAGE TITLE

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355 ETHAN ALLEN PKWY LLC

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802-355-4130

DATE:

4/16/2026

SCALE @24 x 36

PROJECT #
2025-18

SHEET NUMBER

SK50

PERMIT REVIEW ONLY

Department of Permitting & Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Kirk Dressing, Associate Planner
Joseph Cava, Permit Technician
Collin Naheedy, Code Compliance Officer



TO: Development Review Board
FROM:
DATE: June 2, 2026
RE: ZP-26-191; 418 Saint Paul Street

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: Residential - Corridor Ward: 6

Owner/Applicant: Allan Walker-Hodkin

Request: Combined preliminary and final plat approval for proposed 2-lot subdivision. No development proposed.

Applicable Regulations:

Article 4 (Zoning Maps and Districts), Article 6 (Development Criteria & Guidelines), and Article 10 (Subdivision)

Background Information:

The applicant is seeking combined preliminary and final plat approval for a 2-lot subdivision. No development is included in this subdivision. All development anticipated on the subject lands is to be pursued under separate zoning permit.

Recommendation: Combined Preliminary and Final Plat approval as per, and subject to, the following findings and conditions.

I. Findings

Article 4: Maps & Districts

Sec. 4.4.5, Residential Districts:

(a) Purpose

(b) Dimensional Standards

Table 4.4.5-1: Lot Size, Frontage, Setback, and Lot Coverage Standards in Residential Districts

Table 4.4.5-1 Lot Size, Frontage, Setback, and Lot Coverage Standards in Residential Districts

District	Min. Lot Frontage ^{2,3,4,5} (linear feet)	Setbacks ^{1,6,7,8,9}			Lot Coverage ^{1,10}
		Front	Side	Rear	
Residential Low (RL)	30'	Min: Avg. of front setback 2 adjacent lots on both sides +/- 5 feet Max required: 25 ft	Min: 10% of lot width or avg. of side setback of 2 adjacent lots on both sides Max required: 20 ft	20 ft.	45%
Residential Medium (RM)				15 ft.	55%
Residential High (RH)	N/A	15 ft.		80%	
Residential Corridor (RC)	N/A	Min required: 5 ft Max permitted: 20 ft		80%	

1. Details regarding the measurement of and exceptions to coverage and setback standards are found in Art 5.
2. The DRB may reduce the frontage requirements for lots fronting on cul-de-sacs, multiple streets, or corner lots to more closely reflect an existing neighborhood pattern.
3. Exceptions to frontage requirements for flag lots and small lot subdivisions are found in Sec. 5.2.2
4. For lots in RL or RM with more than two primary buildings, the minimum lot frontage shall be 45'.
5. Average setback for front and side setbacks are calculated based on 4 adjacent lots, two on each side within the same block and on lots with the same frontage requirements. For the purposes of determining the required front setback only, among the comparative sample of four neighboring properties, one may be removed from the averaging calculation.
6. Where there are fewer than 2 adjacent lots on both sides within the same block having the same street frontage, the average side yard setback shall be calculated from the fewer number of lots. Where there are no adjacent lots, the side setback shall be 10% of the lot width. Refer to Sec. 5.2.5 for additional details.
7. A 75 ft setback shall be required from the ordinary high water mark of Lake Champlain and the Winooski River. Additional setbacks from the lakeshore and other water features may be applicable per the requirements of Sec 4.5.3 Riparian and Littoral Conservation Overlay Zone.
8. For properties in the RL and RM zones with frontage along Lake Champlain or the Winooski River, the front yard setback shall not be required to exceed 50 feet.
9. An additional ten per cent (10%) lot coverage may be permitted for accessory residential features per (d) 2C below.

Proposed lot 1 frontage remains unchanged at 57.96'. Setbacks remain unchanged with the exception of the rear setback which as proposed is ±30.93'. The proposed lot coverage of lot 1 is ±34%. Proposed frontage of lot 2 is 50.39'. As there is no existing or proposed structure, there are neither setbacks nor lot coverage. **(Affirmative finding)**

(c) Permitted and Conditional Uses:

No change of use is proposed. Not applicable.

(d) District Specific Regulations:

Not applicable.

Article 6: Development Review Standards:

Part 1: Land Division Design Standards

Section 6.1.2 Review Standards

(a) Protection of important natural features

The arrangement of blocks and lots shall preserve watercourses, wetlands, steep slopes, flood-prone areas, rock outcroppings, wildlife habitat and travel corridors, specimen trees and contiguous stands of forest, and other sensitive ecological and geological areas to the extent practicable.

There are no significant natural features in the land to be subdivided. (**Affirmative finding**)

(b) Block Size and Arrangement

Not applicable.

(c) Arrangement of Lots

The lot is regular in shape, and the arrangement is consistent with other parcels in the neighborhood. (**Affirmative finding**)

(d) Connectivity of streets within the city street grid

Both lots will have access to the existing street grid. (**Affirmative finding**)

(e) Connectivity of sidewalks, trails, and natural systems

Not applicable.

Sec. 10.1.9, Final Plat Review

D. Review Criteria

Decisions by the DRB on a final plat shall be based on the project's conformance with the following:

1. *The requirements of the underlying zoning district(s) and all applicable overlay district(s) as set forth in Article 4;*
See Article 4 above.
2. *The review criteria for Conditional Uses and Major Impact in Article 3, Part 5 where applicable;*
Not applicable.
3. *The requirements of Article 5 with regard to Special Uses and Performance Standards as applicable; and,*
Not applicable.
4. *The land division and site development principles and design standards in Article 6.*
See Article 6 above.

II. Conditions of Approval

1. Within 180 days of approval, a mylar copy of the approved final plat, with all applicable signatures, shall be filed in the city's land records. Failure to do so renders this approval null and void.
2. Standard conditions 1-15.

Superintendent of City Parks
 "I, _____, superintendent of parks, do hereby certify that this plat has been examined by me and found to comply with the street panting, and park area, requirements set forth in the regulations governing plats of subdivided land adopted by the city council, with the following exceptions:"

 City Superintendent of Parks

City Fire Marshal
 "I, _____, fire marshal, do hereby certify that this plat has been examined by me and found to comply with the fire prevention requirements set forth in the regulations governing plats of subdivided land adopted by the city council, with the following exceptions:"

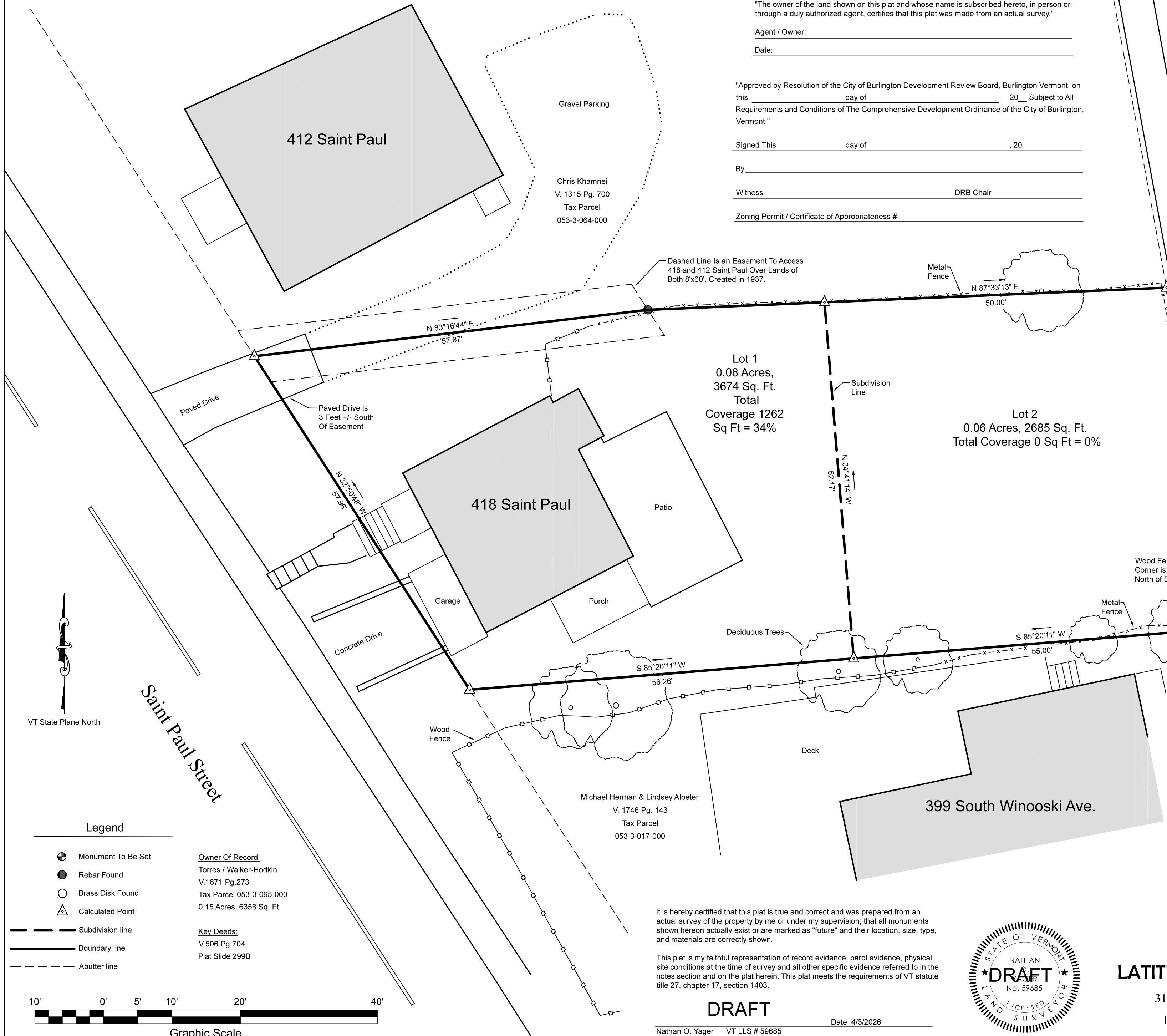
 City Fire Marshall

City Engineer
 "I, _____, city engineer, do hereby certify that this plat has been examined by me and found to comply with the engineering requirements set forth in the regulations governing plats of subdivided land adopted by the city council, with the following exceptions:"

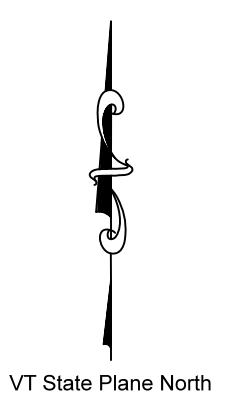
 City Engineer

Applicant
 "The owner of the land shown on this plat and whose name is subscribed hereto, in person or through a duly authorized agent, certifies that this plat was made from an actual survey."
 Agent / Owner: _____
 Date: _____

"Approved by Resolution of the City of Burlington Development Review Board, Burlington Vermont, on this _____ day of _____, 20____ Subject to All Requirements and Conditions of The Comprehensive Development Ordinance of the City of Burlington, Vermont."
 Signed This _____ day of _____, 20____
 By _____
 Witness _____ DRB Chair
 Zoning Permit / Certificate of Appropriateness # _____

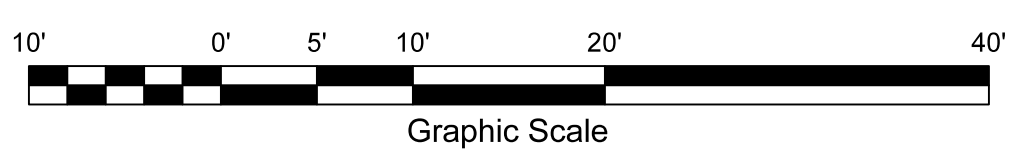


- Notes
- The purpose of this subdivision plat is to divide the lands owned by Nathalie Torres and Allan Walker-Hodkin, located at 418 Saint Paul Street, Burlington, VT tax parcel 053-3-065-000 in two lots, Lot 1, and Lot 2 as shown on plat.
 - This plat is based on records researched in the city of Burlington, VT, land records and a closed loop traverse using a total station in combination with survey grade GPS measurements completed on 4/3/2026. Accuracy of measurements meet the standards for a urban survey.
 - Distances are shown to the hundredth of a foot and bearings are shown to the nearest second for mathematical closure purposes only.
 - Bearings shown are in reference to Vermont State Plane North established using dual frequency survey grade GPS observations on site.
 - An attempt has been made to identify or delineate easements, rights of way, lease lands, encroachment, etc. observed in the field or found in the land records. Additional encumbrances may exist that are not shown on this plat.
 - Map references: survey plat slide numbers in the Burlington land records: Slide 299B.
 - Capped rebar set are 5/8" dia. with aluminum cap "Latitudes Land Survey VT59685 NH1005" set flush with existing grade.
 - All parcels are in zoning district Residential Corridor.



Legend

- ⊕ Monument To Be Set
 - Rebar Found
 - Brass Disk Found
 - △ Calculated Point
 - Subdivision line
 - Boundary line
 - - - Abutter line
- Owner Of Record:
 Torres / Walker-Hodkin
 V.1671 Pg.273
 Tax Parcel 053-3-065-000
 0.15 Acres, 6358 Sq. Ft.
- Key Deeds:
 V.506 Pg.704
 Plat Slide 299B



It is hereby certified that this plat is true and correct and was prepared from an actual survey of the property by me or under my supervision; that all monuments shown hereon actually exist or are marked as "future" and their location, size, type, and materials are correctly shown.

This plat is my faithful representation of record evidence, parol evidence, physical site conditions at the time of survey and all other specific evidence referred to in the notes section and on the plat herein. This plat meets the requirements of VT statute title 27, chapter 17, section 1403.

DRAFT
 Nathan O. Yager VT LLS # 59685 Date 4/3/2026



Boundary Subdivision Survey
 for
Nathalie Torres and Allan Walker-Hodkin
 418 Saint Paul Street
 Burlington, VT

LATITUDES Land Surveying
 315 Saint Paul, Burlington, VT
 latitudeslandsurveying.com

Date 4/3/2026
 Scale 1"=10'
 Project #26004

To the Development Review Board,

We are submitting for approval of a subdivision to the lot currently located at 418 St Paul Street. The resulting two subdivided lots would include: (1) the existing home at 418 Saint Paul Street and (2) the land that faces South Winooski Ave, with the tentative address 395 South Winooski Ave.

The subdivision has been drawn and designed in accordance with the residential corridor upzoning and is made with no specific development plans. We would sell the land to someone with the means to build additional housing in the community.

Thank you,
Nathalie and Allan