

Burlington Design Advisory Board

645 Pine Street

Burlington, VT 05401

www.burlingtonvt.gov/DPI/DAB

Phone: (802) 865-7188

Ron Wanamaker
Emily Morse
Richard Martin
Gabriel Stadecker
Jay White
Joel Baird, Alt
Kathleen Ryan, Alt



Design Advisory Board

Tuesday, January 13, 2026, 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

Zoom: <https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137

Passcode: 796731

Telephone: US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

1. Agenda

1.1.

ZP-25-517; 355 Ethan Allen Parkway (RL, Ward 7) 355 Ethan Allen Parkway, LLC / Norman Benoit

Proposed addition of two residential dwelling units to each existing building for a change from 12 to 18 residential dwelling units total. (Project Manager, Kirk Dressing)

2. Adjournment

3. Informational and Non-Discrimination Statements

3.1. The programs and services of the City of Burlington are accessible to people with disabilities. Individuals who require special arrangements to participate are encouraged to contact the Department of Permitting & Inspections at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188.

Non-Discrimination

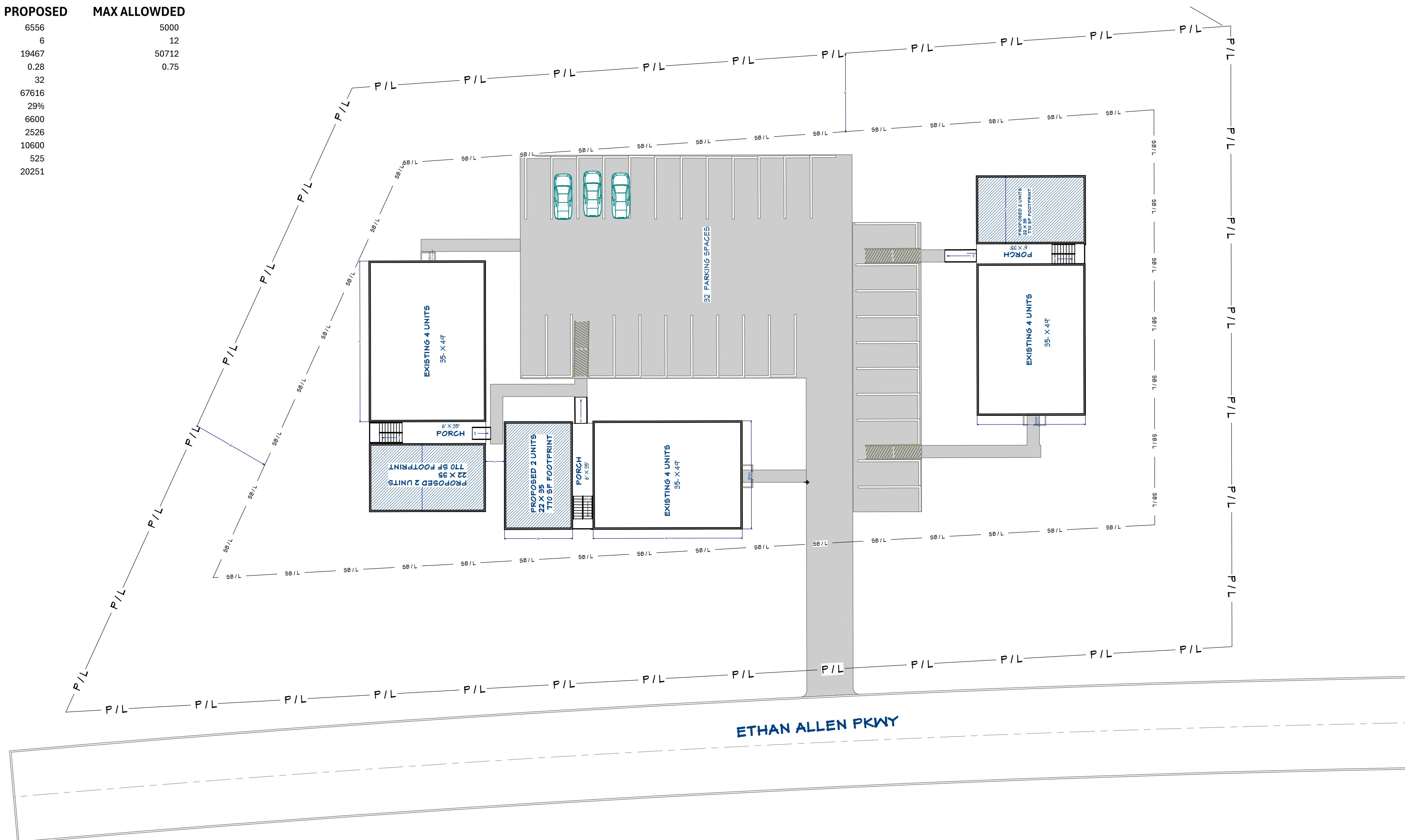
The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status, crime victim status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at (802) 540-2505.

Owner: Wang KE INVESTMENTS,LLC
 Tax Parcel ID 029--1-126--000
 355 Ethan Allen Pkwy
 Lot Area 67,616 sf
 Zoning RESIDENTIAL-LOW INTENSITY

1 Handicap Accessible units in each proposed addition

PDU Regulations were recently revised. 0.5 2.99 acres (1.5)

	EXISTING	PROPOSED	MAX ALLOWDED
Foot print size x 3	3960	6556	5000
Dwelling per structure	4	6	12
Gross Floor Area	14847	19467	50712
FAR 14847/67617	0.21	0.28	0.75
Parking	24	32	
Lot size	67616 sf	67616	
Lot coverage	22%	29%	
Buildings	5145	6600	
Porches	216	2526	
Parking lot/ driveway	9304	10600	
Sidewalks	448	525	
Totals	14897	20251	



PROPOSED SITE PLAN

1"=10'

PERMIT REVIEW ONLY



NUMBER	DATE	REVISION BY	DESCRIPTION

PAGE TITLE
PROPOSED SITE PLAN

PROJECT TITLE
 355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
 NLB CONSTRUCTION CONSULTING,LLC
 111 East Shore Road South
 Grand Isle, VT 05458
 802-355-413

DATE:

10/6/2025

SCALE @24 x 36

PROJECT #

SHEET NUMBER
C1



LOCATION MAP
SCALE: 1" = 2,000 FT

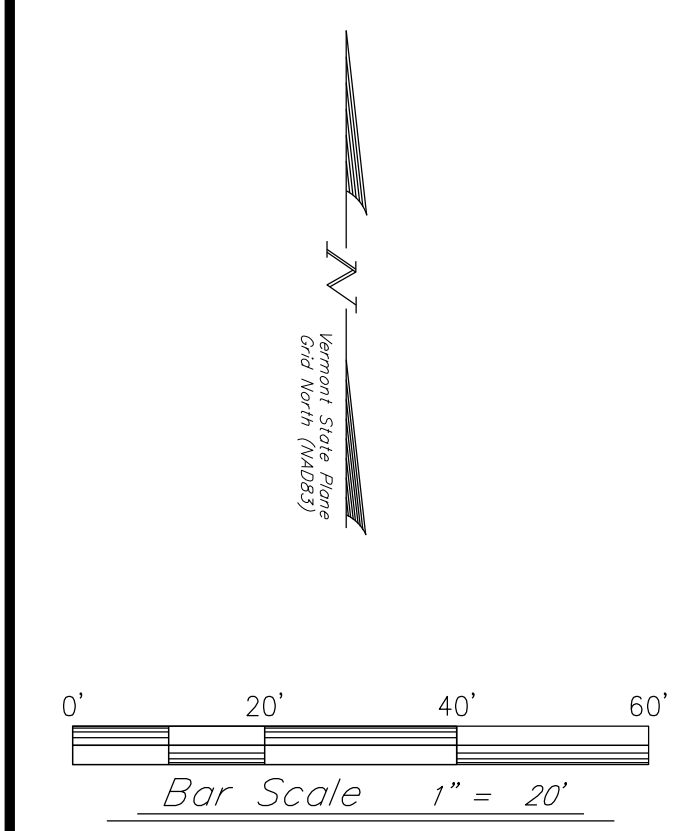
LEGEND

	Survey Control Point
	Existing Sign
	Existing Light Pole
	Existing Deciduous Tree
	Existing Evergreen Tree
	Existing Spot Grade Elevation
	Existing Contour
	Existing Gas Line/Valve
	Existing Sewer Line/Manhole
	Existing Storm Line/Manhole/Basin
	Existing Overhead Electric Line/Power Pole
	Existing Communications Line
	Existing Underground Electric & Telephone Line
	Existing Tree Line
	Existing Chain Link Fence
	Existing Barbed Wire Fence
	Existing Stockade Fence
	Existing Underground Power
	Existing Water Line/Hydrant/Valve/Shutoff
	Approximate Property Line
	Existing Setback
	Existing Easement
	Finish Grade Spot Grade Elevation
	Finish Grade Direction of Flow
	Finish Grade 5-foot Contour Interval
	Finish Grade 1-foot Contour Interval
	New Sewer Line/Manhole
	New Water Line/Hydrant/Valve/Shutoff

- NOTES**
- This plan is not intended to be a boundary survey. Property lines are based on physical evidence and tax map information from the City of Burlington.
 - The horizontal coordinate system is based on NAD83 Vermont State Plane 4400 (US Survey Feet). Elevations are based on NAVD88 datum (US Survey Feet).
 - Existing conditions are based on a topographic survey completed by Krebs & Lansing in November 2025.
 - Utilities are based on visible structures located during the topographic survey and are not warranted to exact or complete. Additional utility information based on City of Burlington mapping. Contractor shall contact Dig Safe and other non-member utilities prior to beginning any excavation.

KREBS & LANSING
CONSULTING ENGINEERS
164 Main Street, Suite 201
Colchester, Vermont 05446
P: (802) 878-0375
www.krebsandlansing.com

STAMP:



Project:
353-365 ETHAN ALLEN PARKWAY

Project No.	25301
Scale	1" = 20'
Drawn by	TJB
Checked by	SWH
Date	12/04/2025

Revisions		
No.	Date	Description

Drawing Title
Site Plan

Drawing No.
C-1.0



NUMBER	DATE	REVISION BY	DESCRIPTION

PAGE TITLE
ELEVATIONS

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING, LLC
111 East Shore Road South
Grand Isle, VT 05458
802-355-413

DATE:

10/6/2025

SCALE @24 x 36

PROJECT #

SHEET NUMBER

SK1

EXISTING- NO CHANGES

AREA OF NEW CONSTRUCTION



Exterior Elevation Back
1/4"=1'

AREA OF NEW CONSTRUCTION

EXISTING- NO CHANGES

VINYL SIDING



Exterior Elevation Front
1/4"=1'

PERMIT REVIEW ONLY



REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION



Exterior Elevation Left
1/4"=1'

EXISTING NO CHANGES



Exterior Elevation Right

PAGE TITLE

ELEVATIONS

PROJECT TITLE

355 ETHAN ALLEN PKWY LLC

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Grand Isle, VT 05458
802-355-413

DATE:

10/6/2025

SCALE @24 x 36

PROJECT #

SHEET NUMBER

SK2

PERMIT REVIEW ONLY



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

PAGE TITLE
PROPOSED FLOOR PLANS

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
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111 East Shore Road South
Grand Isle, VT 05458
802-355-413

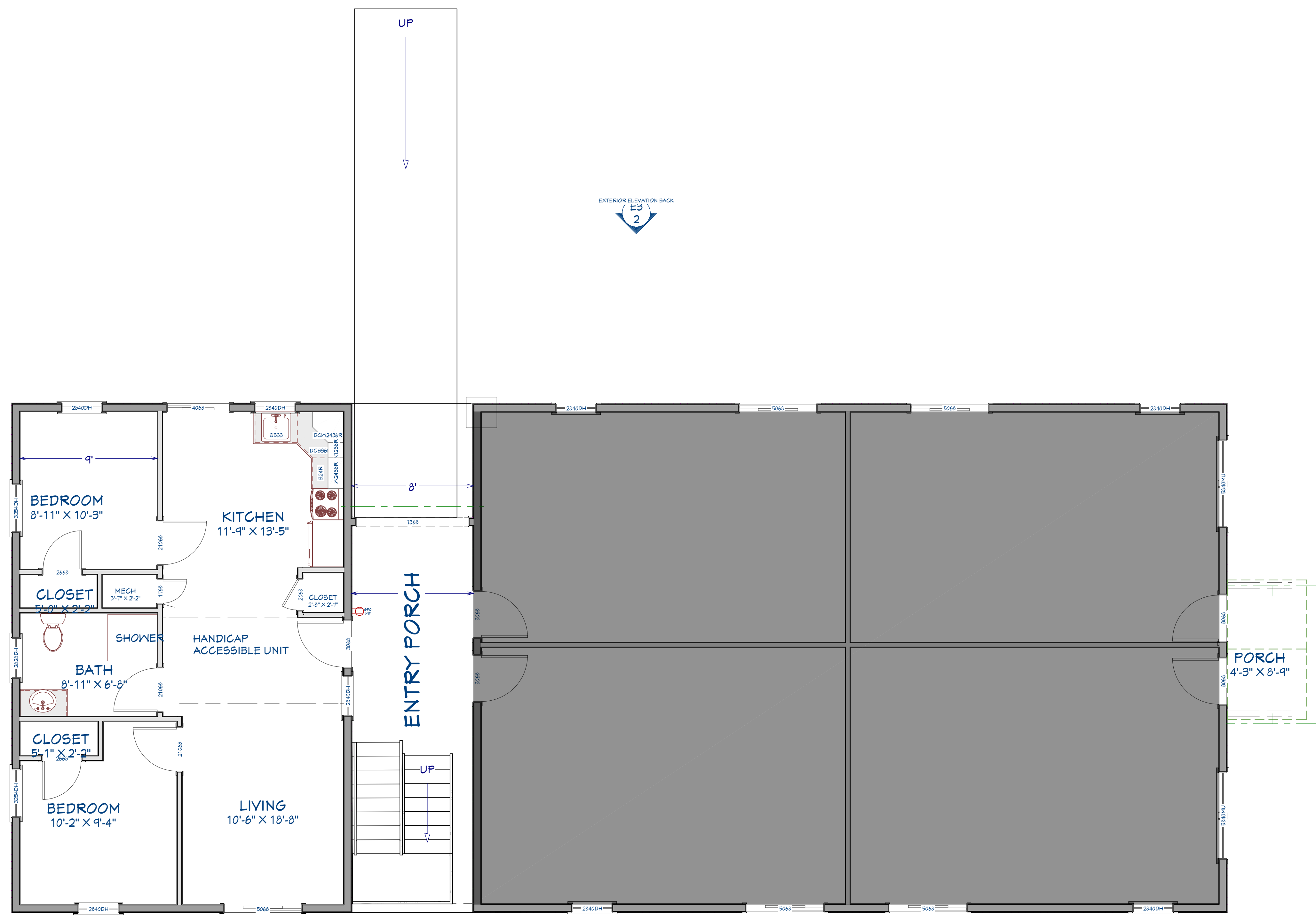
DATE:

10/5/2025

SCALE @24 x 36

PROJECT #

CASE NUMBER
SK3



PROPOSED 1st & 2ed FLOOR PLANS
1/4"=1'

1st Floor

PERMIT REVIEW ONLY

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

PAGE TITLE

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

DRAWINGS PROVIDED BY:
NLB CONSTRUCTION CONSULTING, LLC
 111 East Shore Road South
 Grand Isle, VT 05458
 802-355-4113

DATE:

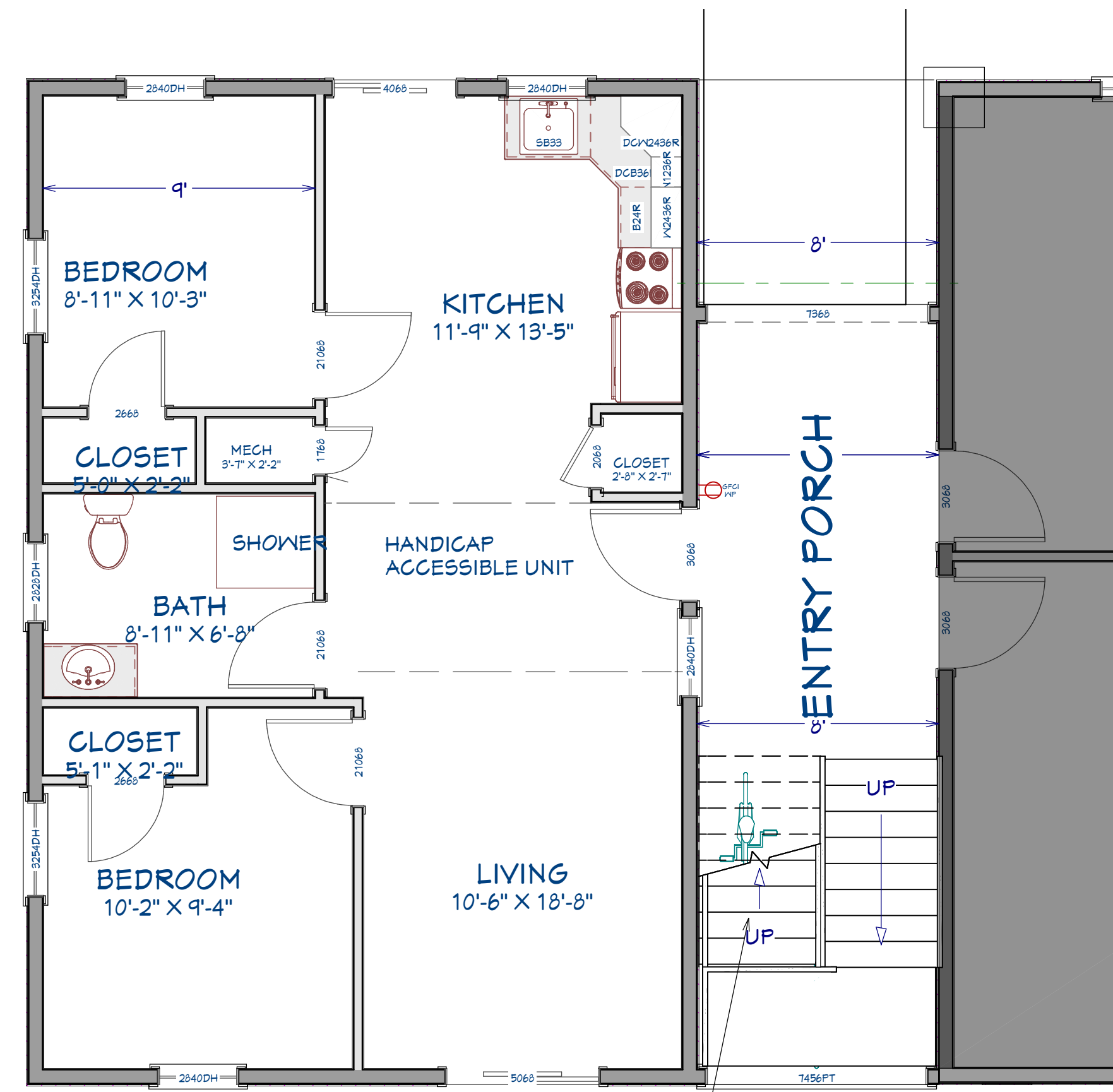
10/22/2025

SCALE @24 x 36

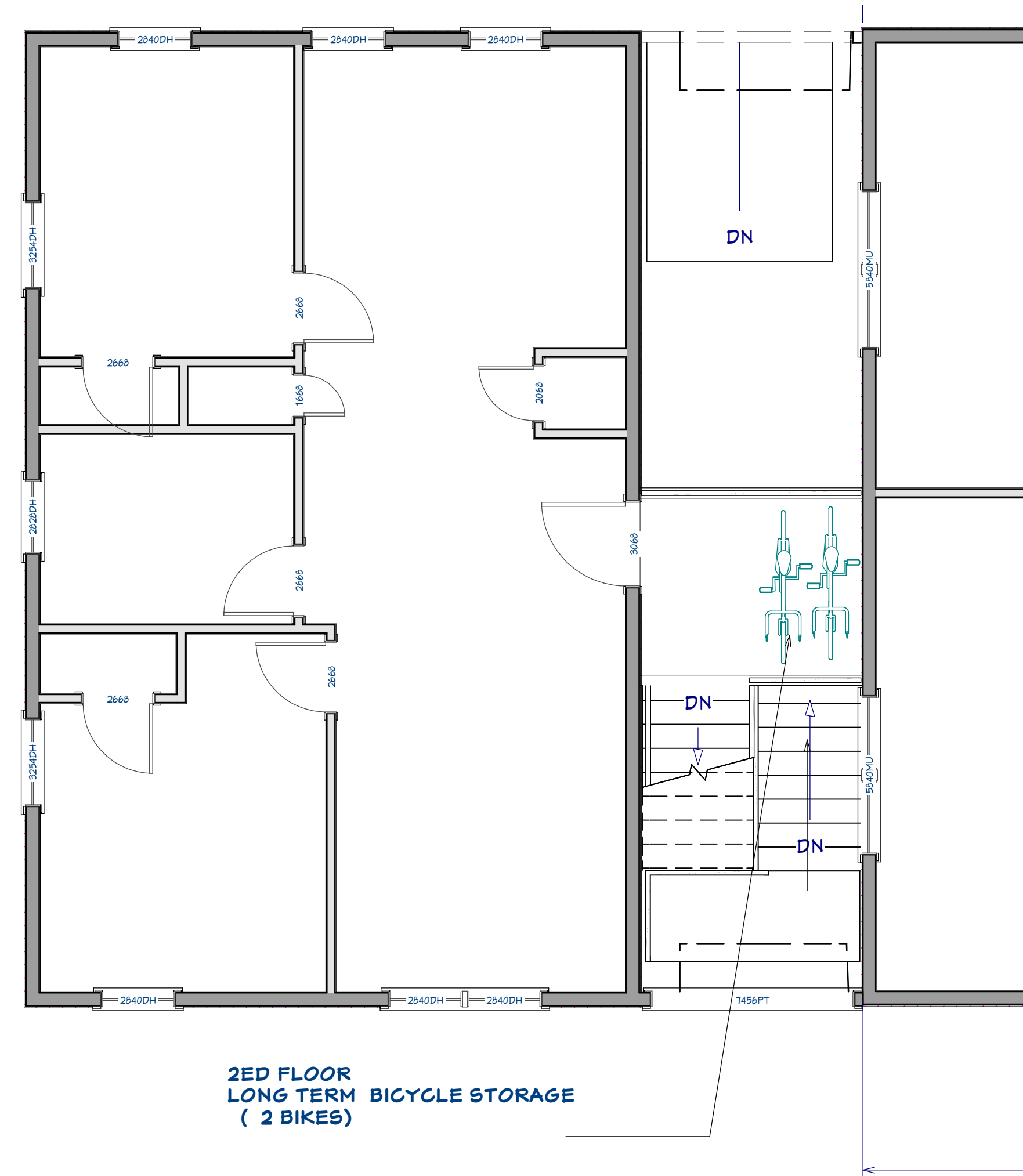
PROJECT #

SHEET NUMBER
SK5

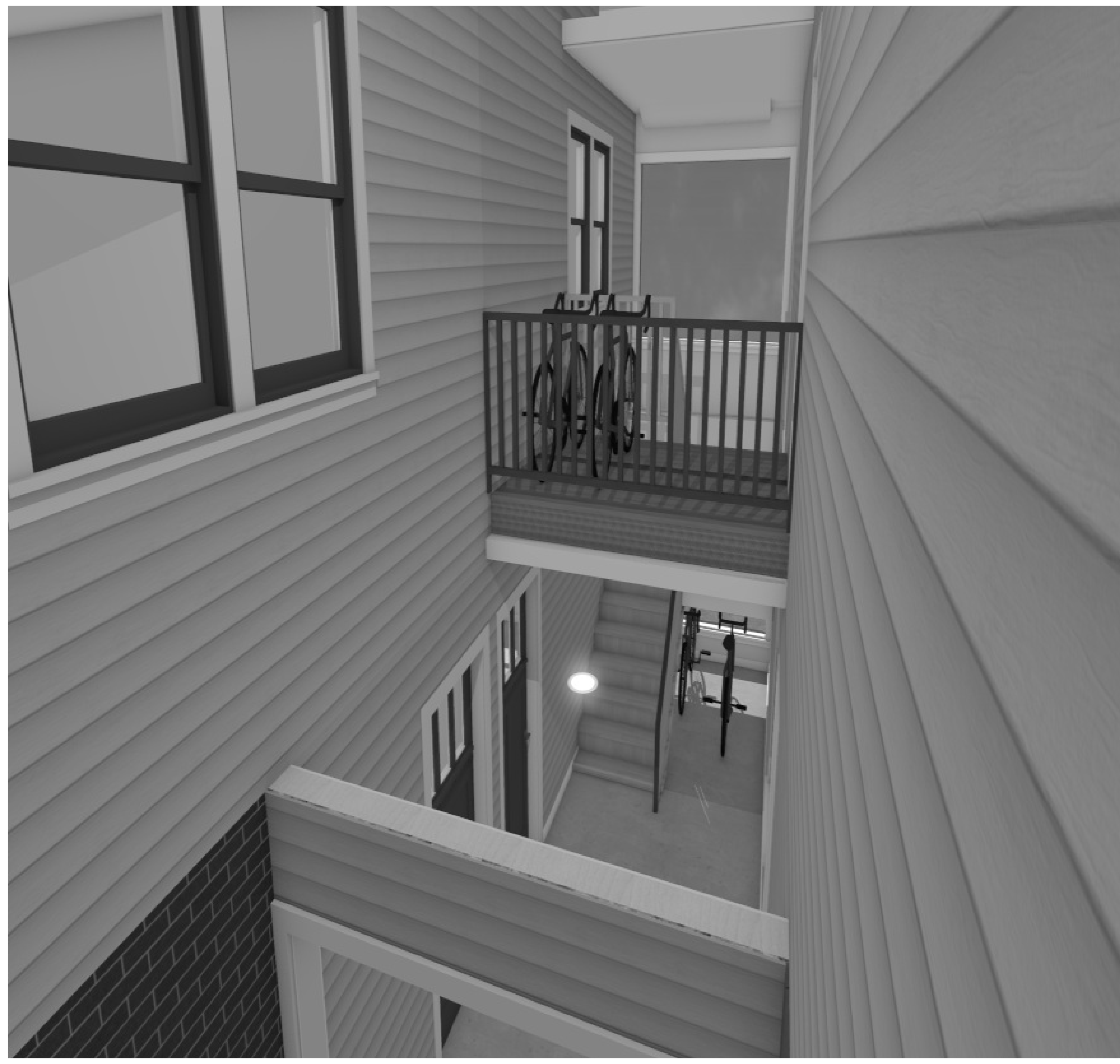
BICYCLE LONG TERM PARKING PLAN



**FIRST FLOOR
 LONG TERM BICYCLE STORAGE
 UNDER STAIR (2 BIKES)**



**2ED FLOOR
 LONG TERM BICYCLE STORAGE
 (2 BIKES)**



PERSPECTIVE

**4 LONG TERM BICYCLE PARKING PLACES PER BUILDING x 3 BUILDINGS
 TOTAL 12**

PERMIT REVIEW ONLY



PERSPECTIVE



NUMBER	DATE	REVISION	DESCRIPTION

PAGE TITLE

PROJECT TITLE
355 ETHAN ALLEN PKWY LLC

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DATE:

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SCALE @24 x 36

PROJECT #

SHEET NUMBER
SK4

PERMIT REVIEW ONLY



Salem 6AM

44460

W. Q



Salem 6AM

44460



Norman

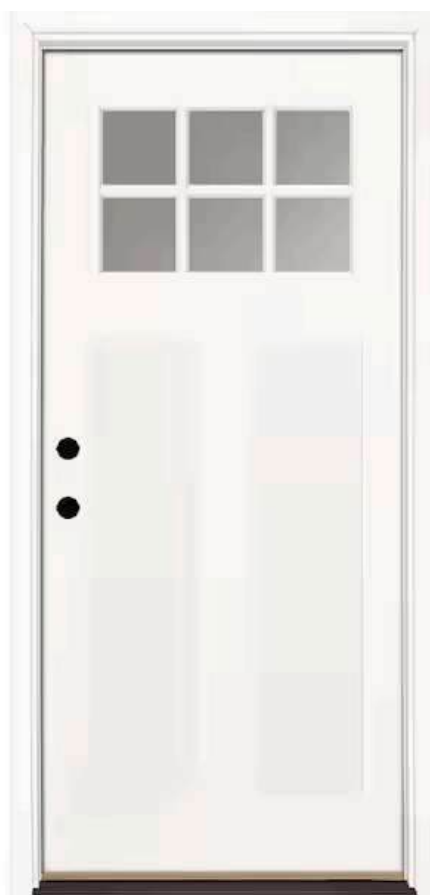
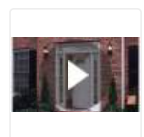
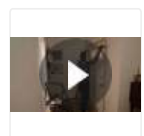
... / [Front Doors](#) / [Fiberglass Doors](#) / [Fiberglass Doors With Glass](#) / [Feather River Doors Fiberglass Doors With Glass](#)

Internet # 204507934 Model # GK3195 UPC Code # 845779069816 Store SKU # 1000021917 Store SO SKU #806449

Feather River Doors

36 in. x 80 in. 6 Lite Right-Hand/Inswing Clear Glass Smooth White: Ready to Paint Fiberglass Prehung Front Door

★★★★★ (45) Questions & Answers (26)



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FRONT DOOR

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- Energy-efficient foam insulation helps you save year-round
- Made of durable fiberglass material

- Elegant, detailed design is perfect for contemporary styled homes
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Color/Finish: **Smooth White: Ready to Paint**



Common Door Size (WxH) in.: **36 x 80**



Door Handing: **Right-Hand/Inswing**



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Today
 In stock 24 mi away
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Delivery
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① [What to Expect](#)



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Saturday - Sunday from 9AM - 9PM ET.

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① [What to Expect](#)

Or call 1-833-HD-APRON(1-833-432-7766)

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Salem 6AM

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W. Q



Salem 6AM

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Lists

Norman

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Internet # 100055901 Model # 27874 UPC Code # 088991552609 Store SKU # 509095

Best Seller

LP SmartSide

LP SmartSide Cedar Texture 8 in. OC Panel Engineered Treated Wood Siding 8 in. Application as 3/8 in. x 4 ft. x 8 ft.

★★★★★ (1468) Questions & Answers (853)



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EXTERIOR VERTICAL SIDING

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\$43⁵²

Pay \$18.52 after \$25 OFF your total qualifying purchase upon opening a new card. Apply for a Pro Xtra Credit Card

- Durable shed siding panels for a beautiful, premium look
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- Install faster with LP SmartSide lightweight shed siding
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Delivering to [44460](#)

Pickup ✓

Today

105 in stock

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105 available

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How much will you need?

Please note: calculations are estimates only

Calculate by:

Length x Width

Square Footage

Wall

Length:

 ft.

Width:

 ft.

+ Add Wall

Calculate

-

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Salem 6AM 44460

What can ...



Salem 6AM 44460

Menu Quotes Lists Norman

... / Decking / Deck Railings / Deck Railing Systems / NewTechWood Deck Railing Systems

Internet # 316917032 Model # AL-42-8-BLK UPC Code # 810015252222

Customers Also Viewed



Aria Railing 36 in. x 69.43 in. Black Powder Coated Aluminum Preassembled Deck...

★★★★★ (339)

\$209.00

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PEAK Aluminum Railing 6 ft. Matte Black Aluminum Deck Railing Pre-Assembled...

★★★★★ (1459)

\$199.00



New Black

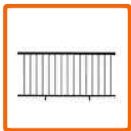
★★

\$97

NewTechWood

Allure 96 in. x 42 in. Black Aluminum Preassembled Railing Kit

★★★★★ (37) Questions & Answers (65)



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STAIR RAILING AND GUARD RAIL!

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- Lightweight and durable aluminum railing for outdoor decks
- Color match stairs is available, preassembled
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- [View More Details](#)

Color Family: **Black**



Product Height x Width (in.): **42 in x 96 in**



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Salem 6AM 44460

What can ...



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Menu Quotes Lists Norman

... / Decking / Deck Boards / Deck Board Samples / Trex Deck Board Samples

Internet # 302673466 Model # PGS90000 UPC Code # 652835215137

Top Rated

Trex

Select 1 in. x 6 in. x 1 ft. Pebble Grey Composite Deck Board Sample

★★★★★ (217) Questions & Answers (311)



UPPER DECK AND STAIR TREADS

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\$6.06 /piece

- 1 in x 6 in x 12 in sample piece
- Made with 95% recycled materials
- Protected against rot, warp, splinters and termites
- [View More Details](#)

Color/Finish: Pebble Grey



Search or ask a question



LUTEC

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4.8 ★★★★★ (23)

LUTEC Dusk to Dawn Outdoor Wall Lights, 16W Integrated LED Cylinder Up-Down Sconce, 3000K Waterproof Aluminum Exterior Lighting, Matte Black Modern Porch and Entryway Wall Light Fixture, 2 Pack

50+ bought in past month



EXTERIOR PORCH LIGHTING



-15% \$ **54**⁹⁹ (\$27.50 / count)

List Price: \$64.99 ⓘ

Or **\$18**³³ /mo (3 mo). [Select from 1 plan](#)





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VINLY SIDING TO MATCH EXISTING

Georgia-Pacific Vision Pro Double 4-in Traditional White Vinyl Siding Panel 8-in x 150-in (8.33-sq ft /piece)

Item #89001 | Model #531651A



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Georgia-Pacific Vision Pro Double 4-in Traditional Clay Vinyl Siding Panel 8-in x 150-in 8.33-sq ft /piece

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\$18.05



Georgia-Pacific Compass Double 4.5-in Dutch lap Brunswick Vinyl Siding Panel 9.0-in x 145.0-in 9.09-sq ft /piece

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Minimum qty of 22



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Georgia-Pacific Vision Pro Traditional Gray Vinyl Siding Panel 8-in x 150-in 8.33-sq ft /piece

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W. Q



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Menu

Quotes

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Norman

... / [Doors & Windows](#) / [Windows](#) / [Double Hung Windows](#) / [Andersen Double Hung Windows](#)

Internet # 301985319 Model # 9163995 UPC Code # 827705711471 Store SKU # 239213



Andersen

35-1/2 in. x 56-1/2 in. 200-Series White Double-Hung Clad Wood Window with White Interior Low-E Glass and White Hardware

★★★★★ (211) Questions & Answers (130)





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EXTERIOR WINDOWS (TYP)

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35.5 x 56.5

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Or call [1-833-HD-APRON\(1-833-432-7766\)](tel:1-833-HD-APRON)

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Feedback

SHINGLES TO MATCH EXISTING IF POSSIBL

CertainTeed Landmark Weathered Wood Algae Resistant Architectural Roof Shingles (33.33-sq ft per Bundle) \$44.48

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★★★★★ 4.7 47





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CertainTeed Landmark Weathered Wood Algae Resistant Architectural Roof Shingles (33.33-sq ft per Bundle)

Item #4350531 | Model #650589

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\$44.48

Bulk Savings
\$40.03/ Each (10.0% Off) when you buy 36+

\$42.26 When you choose 5% savings on eligible purchases every day. [Learn How](#)

Manufacturer Color/Finish: Weathered Wood



Out of Stock Out of Stock Out of Stock Out of Stock Out of Stock Out of Stock Out of Stock Out of Stock

Calculate How Much You Will Need

Get It Installed

You'll buy materials after the consultation.

CertainTeed Landmark Weathered Wood Algae Resistant Architectural Roof Shingles (33.33-sq ft per Bundle) **\$44.48**

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8 Available

























Department of Permitting & Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
Telephone: (802) 865-7188

*William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Kirk Dressing, Associate Planner
Joseph Cava, Permit Technician
Collin Naheedy, Code Compliance Officer*



MEMORANDUM

TO: Design Advisory Board
FROM: Kirk Dressing, Associate Planner
DATE: January 13, 2026
RE: ZP-25-517; 355 Ethan Allen Parkway

File: ZP-25-517

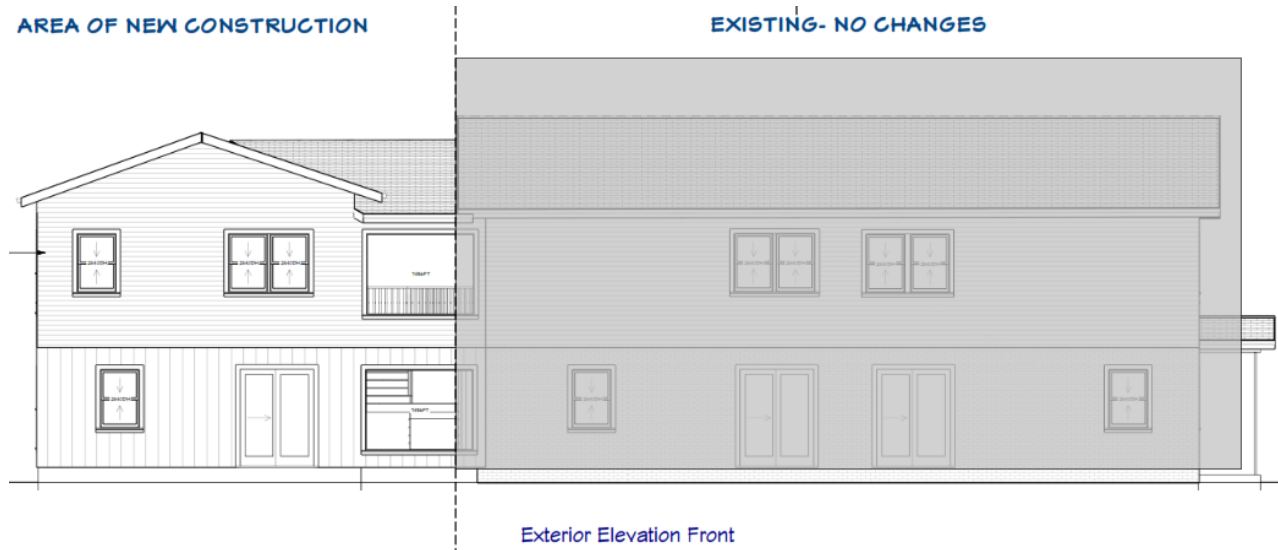
Location: 355 Ethan Allen Parkway

Zone: RL **Ward:** 7

Date application accepted: October 7, 2025

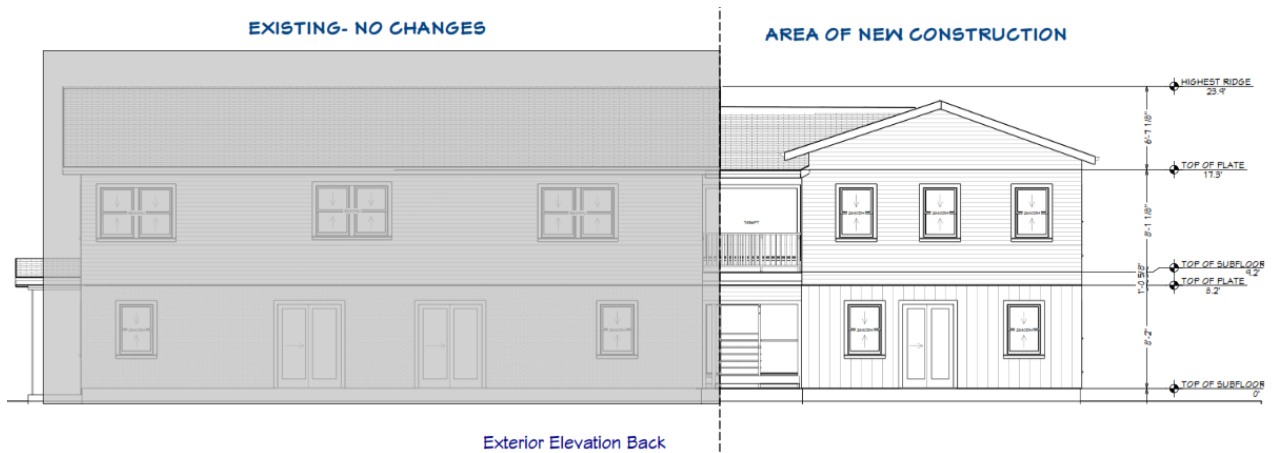
Applicant/Owner: Norman Benoit/355 Ethan Allen Parkway LLC

Request: Additions to three existing multi-family dwellings, each addition will have two units for a total of six new units.



Background:

- **Zoning Permit 1996-269;** Installation of vinyl siding over the existing wood (T1-11) Sections of the multi-Unit residential buildings.



Article 6: Development Review Standards

Part 1: Land Division Standards

Not applicable

Part 2: Site Plan Design Standards

Sec. 6.2.1 Applicability

These standards shall be satisfied for the approval of all development subject to the provisions of this ordinance found in Article 3, Section 3.4.2(1) – Site Plan Review.

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

The landscape, existing terrain and any significant trees and vegetation shall be preserved in their natural state insofar as practicable in keeping with the objectives of the underlying zoning district. Development and site disturbance shall preserve watercourses, wetlands, steep slopes, flood-prone areas, rock outcroppings, wildlife habitat and travel corridors, specimen trees and contiguous stands of forest, and other sensitive ecological and geological areas insofar as practicable in keeping with the objectives of the underlying zoning district. Site plans shall provide suitable buffers from any proposed site improvements, and maintain continuity and contiguousness of greenspace while allowing reasonable development in support of the overall intent of the zoning district. Where any natural features are proposed to be removed or the topography altered, special attention shall be given to replace or mitigate the loss of such features. Any development occurring on parcels containing significant natural areas identified in the city’s Open Space Protection Plan shall avoid disturbance to these natural areas and establish appropriate buffers that protect their natural functions.

Existing trees are depicted on the submitted site plan, however there is neither an inventory provided, nor information as to whether or not any trees are proposed to be removed, or if additional plantings are proposed. The applicant should provide more information about existing/proposed trees and plantings.

(b) Topographical Alterations:

Alteration to the natural contour of the site shall minimize grading, cut, and fill, and shall take necessary measures to protect against erosion and future instability. Any grade changes shall be in keeping with the general appearance of neighboring developed areas. In areas where more intense levels of development are encouraged, development should seek to take advantage of topographical changes to hide and/or blend new construction into the landscape. Proposed design and construction details for any cut and fill, or retaining walls over 3-feet in height, or any height along the lakeshore, shall be subject to review and approval by the city engineer before receiving approval of the site plan.

Minimal grading, primarily for stormwater management, is proposed on this flat site.

(c) Protection of Important Public Views:

Distant terminal views of Lake Champlain and the mountains to the east and west, and important public and cultural landmarks, framed by public rights-of-way or viewed from public spaces shall be maintained through sensitive siting and design to the extent practicable. This shall not be construed to include views from exclusively private property.

Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

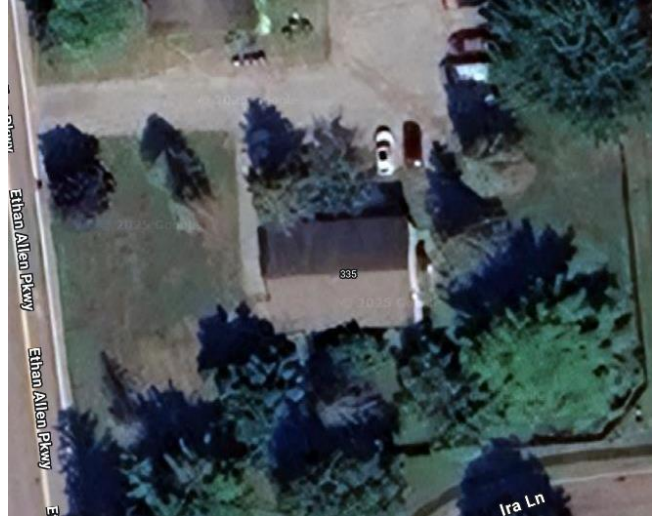
Not Applicable.

(e) Supporting the Use of Renewable Energy Resources:

Where feasible, the site plan should be so designed as to take advantage of the site's inherent potential to utilize sources of renewable energy including direct sunlight, wind, or running water. The site plan should also incorporate site planning and landscaping decisions intended to minimize energy demand such as siting buildings to maximize solar access or the use of deciduous and coniferous trees to create shade and windbreak.

Buildings should, where appropriate within the context of the neighborhood development pattern, maximize their solar exposure by being oriented to maximize natural light and heat gain during winter months, and to minimize casting shadows into ground floor living space of a building on an adjacent property.

The proposed placement of the additions does not appear to maximize solar exposure. The addition proposed in the southeastern corner of the property has a façade that is southern facing, however it appears it will be in the shade of large established trees that will likely limit the amount of sunlight that reaches the units. The two additions in the northwestern corner of the property are on the north, and west sides of the existing buildings. Although the northern most unit will have a south facing façade, it will be in the shadow of the unit proposed directly to the south.



(f) Brownfield Sites:

Where a proposed development involves a known or suspected brownfield, the site plan shall indicate areas of known or suspected contamination, and the applicant shall identify completed or planned remediation necessary to support the intended use(s).

The parcel is not listed on DEC’s Brownfield Sites. Not applicable.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Proposed stormwater infiltration areas are identified on the proposed plan. An Erosion Prevention and Sediment Control plan has not been submitted but one is required.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

Entrances to the new dwellings appear to be enclosed/covered which will offer protection from inclement weather. No changes to the parking area are proposed, it does not appear that there will be any adverse effects on snow storage on the property.

(h) Building Location and Orientation:

The introduction of new buildings and additions shall be consistent with the intent of the district. New buildings and additions should be aligned with the front façade of neighboring buildings to reinforce the existing “street-edge,” or where necessary, located in such a way that complements existing natural features and landscapes. Buildings placed in mixed-use areas where high volumes of pedestrian traffic are desired should seek to provide sufficient space (optimally 12-15 feet) between the curblin and the building face to facilitate the flow of pedestrian traffic. In such areas, architectural recesses and articulations at the street-level are particularly important, and can be used as an alternative to a complete building setback in order to maintain the existing street wall.

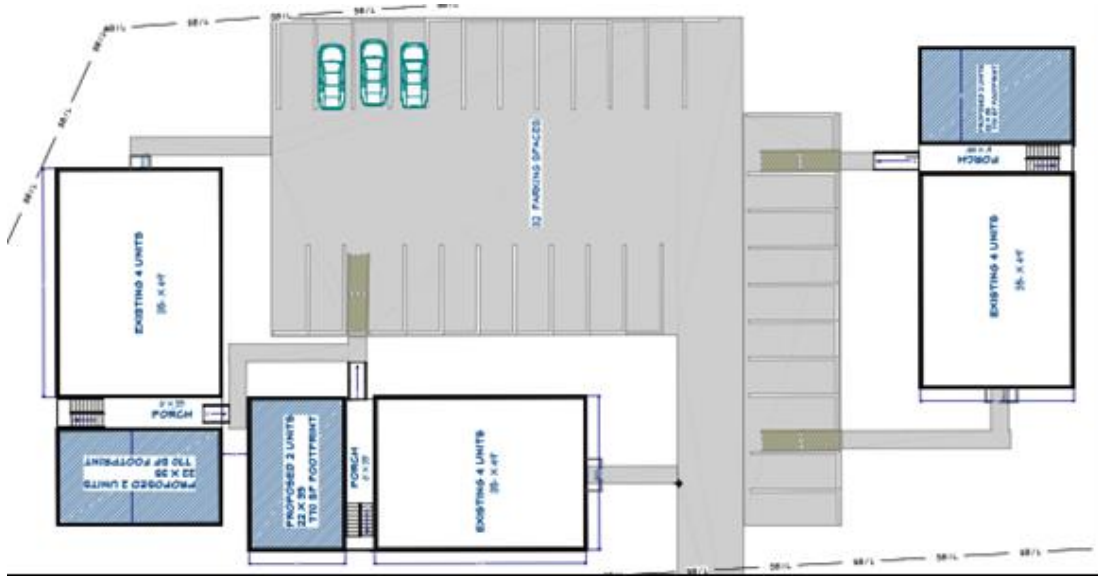
Principal buildings shall have their main entrance facing and clearly identifiable from the public street. The development of corner lots shall be subject to review by the city engineer

regarding the adequacy of sight distances along the approaches to the intersection. To the extent practicable, development of corner lots in non-residential areas should try to place the building mass near the intersection and parallel to the street to help anchor the corner and take advantage of the high visibility location.

In residential areas, accessory buildings shall be located in such a way so as to be secondary and subordinate in scale and design to the principal structure. A parking structure – either attached or detached – shall be setback from the longest street-facing wall of the principal structure and be deferential yet consistent in character and design. Where a garage is not oriented towards the street (i.e. the garage doors face the rear or side yard), the street-facing garage wall shall have windows or doors or other features that break-up the mass into smaller elements, and be blended with the character of the residential portion of the structure.

Where a garage is attached to a principal single-family or duplex residential structure and oriented to the street (i.e. the garage doors face the street) the following standards shall apply:

- 1. Except as provided in subsections 3, 4 and 5 below, a street-facing garage wall shall constitute no more than 50% of the width of the street-facing façade of the entire structure (including the garage portion), and shall not exceed 24-feet. In cases where a street-facing garage wall constitutes between 30%-50% of the street-facing façade, living space is encouraged above to integrate the garage more closely into the design and mass of the overall structure. In cases where the street-facing garage wall constitutes more than 50% of the width of the street-facing façade, living space above is required.*
- 2. Each bay of the garage shall have a separate entrance door of no more than 10-feet in width.*
- 3. Where the width of the street-facing façade of the residential portion of the structure is less than 14 feet, the street-facing garage portion may be allowed up to but not exceeding 14 feet in order to allow for a single garage bay.*
- 4. Where a garage entrance is within a single roofline and wholly integrated into the overall design the front façade of the structure, it may constitute more than 50% of the width of the street-facing façade provided there is interior living space above, and the primary pedestrian entrance offers a clear and welcoming entrance from the street.*
- 5. Enclosed space originally designed and constructed as a garage for vehicular parking but converted to living space may be converted back to enclosed vehicular parking provided there is no expansion of the building footprint necessary to complete the conversion*



The proposed additions are all in alignment with the existing buildings, there will be no new facades, just extensions to what currently exists.

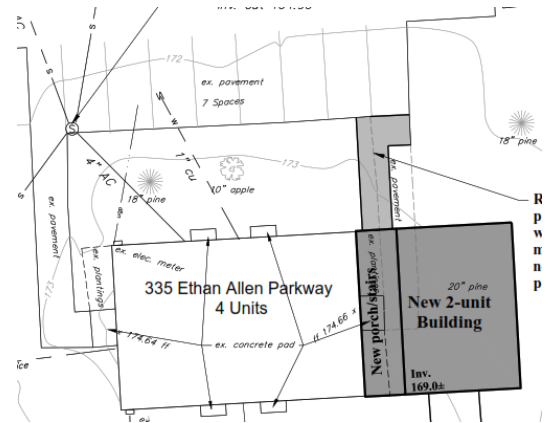
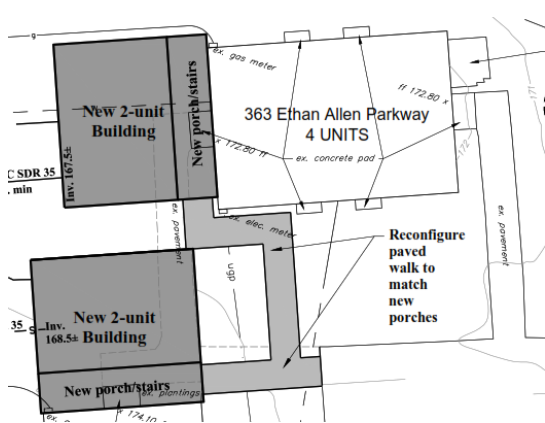
(i) Vehicular Access:

Curb cuts shall be arranged and limited in number to reduce congestion and improve traffic safety. A secondary access point from side roads is encouraged where possible to improve traffic flow and safety along major streets. The width and radius of curb cuts should be kept to the minimum width necessary, and sight triangles and sufficient turnarounds for vehicles shall be provided to reduce the potential for accidents at points of egress.

There are no proposed changes to the curb cut or parking lot. Not Applicable.

(j) Pedestrian Access:

Pedestrians shall be provided one or more direct and unobstructed paths between a public sidewalk and the primary building entrance. Well defined pedestrian routes shall be provided through parking areas to primary building access points and be designed to provide a physical separation between vehicles and pedestrians in a manner that minimizes conflicts and improves safety. Where sidewalks and driveways meet, the sidewalk shall be clearly marked by differentiated ground materials and/or pavement markings.



The submitted site plan shows the proposed reconfiguration of paved walkways that lead from the parking area to the unit entrances.

(k) Accessibility for the Handicapped:

Special attention shall be given to the location and integration of accessible routes, parking spaces, and ramps for the disabled. Special attention shall also be given to identifying accessible access points between buildings and parking areas, public streets and sidewalks. The federal Americans with Disabilities Act Accessibility Guidelines (ADAAG) shall be used as a guide in determining the adequacy of the proposed development in addressing the needs of the disabled.

ADA compliance is under the jurisdiction of the building official.

(l) Parking and Circulation:

To the extent possible, parking should be placed at the side or rear of the lot and screened from view from surrounding properties and adjacent public rights of ways. Attempts to link adjacent parking lots or provide shared parking areas which can serve neighboring properties simultaneously shall be strongly encouraged.

Parking shall be laid out to provide ease in maneuvering of vehicles and so that vehicles do not have to back out onto city streets. Dimensions of spaces shall at a minimum meet the requirements as provided in Article 8. The perimeter of all parking areas shall be designed with anchored curb stops, landscaping, or other such physical barriers to prevent vehicles from encroaching into adjacent green spaces.

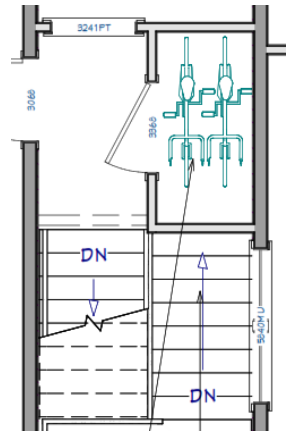
Surface parking and maneuvering areas should be shaded in an effort to reduce their effect on the local microclimate, air quality, and stormwater runoff with an objective of shading at least 30% of the parking lot.

All parking areas shall provide a physical separation between moving and parked vehicles and pedestrians in a manner that minimizes conflicts and gives pedestrians a safe and unobstructed route to building entrance(s) or a public sidewalk.

Where bicycle parking is provided, access shall be provided along vehicular driveways or separate paths, with clearly marked signs indicating the location of parking areas. Where bicycle parking is located proximate to a building entrance, all shared walkways shall be of sufficient width to separate bicycles and pedestrians, and be clearly marked to avoid conflicts. All bicycle parking areas shall link directly to a pedestrian route to a building entrance. All bicycle parking shall be in conformance with applicable design & construction details as provided by the dept. of public works.



The bicycle parking plan is not clear. There are two different plans for bicycle parking areas, and it is not clear which is being proposed. There are problems with both renderings. Second story bicycle parking is not practical as not everyone is able to regularly carry a bicycle and/or electric bicycle up and down a flight of stairs. The orientation and access to the second level enclosed bicycle parking area is not logical and would likely not function as intended. Maneuvering a bicycle out of the enclosed area would be cumbersome and difficult, and both bicycles would not be able to be removed independent of one another. No changes to vehicular parking or circulation are proposed.



(m) Landscaping, Fences and Retaining Walls:

Landscaping shall be used to beautify the development site and to provide specific functions and benefits to the uses and buildings on the site. These include but are not limited to stormwater retention and erosion control, winter windbreaks and summer shade, recreational and habitat corridors, buffers and screening of parking areas, and creating privacy for and from adjacent property.

Existing trees shall be retained and incorporated into a landscape plan to the extent possible, and existing trees to be retained shall be protected during construction in accordance with specifications provided by the city arborist. Contiguous green space, both within the site and with adjacent properties, should be provided on a site whenever possible and be designed to provide wildlife travel corridors and habitat preservation, as well as enabling recreational access. If open space is intended to be publicly accessible, it shall be designed to maximize accessibility for all individuals including the disabled, encourage social interaction, and facilitate ease of maintenance. Along the street edge, landscaping shall be used to provide a visual buffer into parking areas from the public street and reinforce the streetscape.

The selection of plant materials and planting sites should create a sustainable landscape, and consideration shall be given to factors such as hardiness, salt tolerance, disease resistance, invasiveness, root and canopy spread, underground and overhead utilities, soil conditions, and microclimates. The use of native plant materials is encouraged, and the use

*of plants considered invasive by VT Agency of Agriculture shall be prohibited. For more information on sustainable landscapes, applicants are encouraged to consult *Planting Sustainable Landscapes: A Guide for Plan Reviewers* prepared for the Vermont Department of Forests Parks and Recreation by the Vermont Chapter of the American Society of Landscape Architects.*

New or replacement street trees shall be provided consistent with the city's Street Tree Master Plan. All proposed street trees shall be selected and planted in accordance with specifications provided by the city arborist.

Fences may be placed within the required setback along a property line, but shall be setback sufficiently to provide for the maintenance of both sides of the fence without entering onto the adjacent property and shall present a finished side to the adjoining property and public street. Fences placed within a clear sight triangle shall adhere to the standards of Sec. 5.2.6 (c). Styles, materials, and dimensions of the proposed fence shall be compatible with the context of the neighborhood and the use of the property.

Retaining walls greater than 5 feet tall shall incorporate textured surfaces, terracing, and/or vegetation to avoid long monotonous unarticulated expanses and to minimize adverse visual impacts to neighboring properties. As with fences, retaining wall styles, materials, and dimensions shall be compatible with the context of the neighborhood and use of the property

While the submitted site plan identifies existing trees and proposed stormwater infiltration areas, there is no discrete landscaping plan. One is needed.

(n) Public Plazas and Open Space:

Where public open space is provided as an amenity to the site plan, it should be sited on the parcel to maximize solar exposure, with landscaping and hardscape (including fountains, sitting walls, public art, and street furniture) to encourage its use by the public in all seasons. Public plazas should be visually and physically accessible from public rights-of-ways and building entrances where appropriate and shall be designed to maximize accessibility for all individuals, including the disabled and encourage social interaction.

Public space should be coordinated with the surrounding buildings without compromising safety and visibility. Public spaces should be surrounded by active uses that generate pedestrian traffic, and connect the space to major activity centers, streets, or corridors.

New structures and additions to existing structures shall be shaped to reduce shadows on public plazas and other publicly accessible spaces. In determining the impact of shadows, the following factors shall be taken into account: the mass of area shaded, the duration of shading, and the importance of sunlight to the utility of the type of open space being shadowed. Proposed development shall be considered for solar impact based the sun angle during the Vernal and Autumnal Equinox.

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

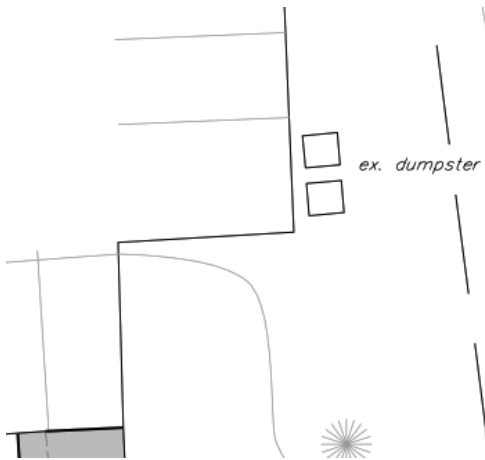
The application materials include a model of an outdoor wall light. No information regarding the location or number of lights is included. More information regarding the lighting plan is needed, including proposed illumination levels.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 5 Performance Standards.



The proposed site plan identifies existing dumpster location, however there does not appear to be any enclosure. One is needed.

PART 3: Architectural Design Standards

Sec. 6.3.1 Applicability.

These standards are enacted and shall be satisfied for the approval of all development subject to the provisions of this ordinance found in Article 3, Section 3.4.2(b) – Design Review.

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

Proposed buildings and additions shall be appropriately scaled and proportioned for their function and with respect to the purpose of the zoning district. They should integrate harmoniously into the topography, and to the use, scale, and architectural

details of existing buildings in the vicinity; however, such consideration shall not require building height to be more limited than otherwise allowed within an applicable zoning district or overlay zone per Article 4.

The following shall be considered:

1. Massing, Height and Scale:

While architectural styles or materials may vary within a streetscape, proposed development should maintain an overall scale similar to that of surrounding buildings, or provide a sensitive transition, where appropriate, to development of a dissimilar scale.

In low and medium residential districts, the height and massing of existing residential buildings should be carefully considered when evaluating the compatibility of additions and infill development; however, no modifications by the DRB shall be made to projects which otherwise limit the allowable Principal Structure footprint, height, and number of units per building otherwise permitted by Tables 4.4.5-1 and 4.4.5-2.

Buildings should maintain consistent massing and perceived building height at the street level, regardless of the overall bulk or height of the building. Buildings should maintain a relationship to the human scale through the use of architectural elements, variations of proportions and materials, and surface articulations. Large expanses of undifferentiated building wall along the public street or sidewalk shall be avoided. The apparent mass and scale of buildings shall be broken into smaller parts by articulating separate volumes reflecting existing patterns in the streetscape, and should be proportioned to appear more vertical than horizontal in order to avoid monotonous repetition. (See also (d) Provide an active and inviting street edge below.)

The proposed additions appear to have a maximum height ± 1.5 ft less than the existing buildings. The design and scale of the proposed additions matches the existing buildings, and the slight difference in height offers visual appeal. The additions are proposed to be directly aligned with the existing buildings but are offset and proportionally narrower with rotated gable ends. As proposed, the additions avoid simply being identical extensions of what is currently in place.

2. Roofs and Rooflines.

New buildings should incorporate predominant roof forms and pitches within the existing neighborhood and appropriate to the context. Large expanses of undifferentiated roof forms shall be avoided. This can be achieved by incorporating dormers or some variation in the roof form to lessen the impact of the massing against the sky. While flat roofs can be a reasonable architectural solution, pitched roof forms and architectural elements that enhance the city's skyline are strongly encouraged. Roof eaves, parapets, and cornices should be articulated as an architectural detail. Roof-top mechanicals shall be screened from view from the public street, and should be incorporated into and hidden within the roof structure whenever possible.

Solar panels, light colored ballast or roof membranes, split roof clerestories, planted or "green" roof technologies (with a clearly articulated maintenance plan) and "gray water" collection are encouraged. Active rooftop uses are also encouraged

to add to the visual complexity and activity of the city's skyline, and afford public access to otherwise unseen views of the city and surrounding landscape.

The proposed additions feature the same style pitched roof as the existing building, however, the gable ends are rotated which lessens the impact of massing against the sky.

3. Building Openings

Principal entrances shall be clearly defined and readily identifiable from a public street whether by a door, a canopy, porch, or other prominent architectural or landscape features. People with physical challenges should be able to use the same entrance as everyone-else and shall be provided an "accessible route" to the building. Attention shall also be accorded to design features which provide protection from the affects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage.

Window openings shall maintain consistent patterns and proportions appropriate to the use. The window pattern should add variety and interest to the architecture, and be proportioned to appear more vertical than horizontal.

Buildings placed on a side or rear property line where no setback is required shall contain neither doors nor windows along such façade so as not to restrict future development or re-development options of the adjacent property due to fire safety code restrictions. Otherwise they should be setback a minimum of 5-feet.

Entrances to the new dwellings appear to be enclosed/covered which will offer protection from inclement weather. Proposed windows are similar to what exists, except the proposed second floor windows are singles as opposed to the mulled windows on the existing buildings which makes the windows appear less horizontal and adds variety and interest.

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

Not applicable.

(c) Protection of Important Public Views:

Development shall preserve distant terminal views of Lake Champlain and the Adirondack Mountains and important public and cultural landmarks from public places and along east-west public rights-of-way to the extent practicable. This shall not be construed to include similar views from exclusively private property.

Sensitivity shall be used in the massing of proposed development such that light and air is allowed to penetrate and some views may be preserved. Alternatives that extend access to such views by allowing public access into and through the proposed development are encouraged. In no case shall development be permitted to span across the public rights-of-way in such corridors.

There are no protected public views here. Not applicable.

(d) Provide an active and inviting street edge:

Building facades shall be varied along the street edge by the integration of architectural features, building materials, or physical step-backs of the façade along its length. Large expanses of undifferentiated building wall shall be avoided. This may be accomplished by incorporating fenestration patterns, bays, horizontal and vertical façade articulations, the rhythm of openings and prominent architectural features such as porches, patios, bays, articulated bases, stepping back an elevation relative to surrounding structures, and other street level details. The use of traditional facade components such as parapet caps, cornices, storefronts, awnings, canopies, transoms, kick plates, and recessed entries are highly encouraged. In areas where high volumes of pedestrian traffic are desired, the use of architectural recesses and articulations at the street-level are particularly important in order to facilitate the flow of pedestrian traffic

Inventory of materials has been provided. Color rendered elevations of the proposed additions indicate they will remain visually similar to what exists with the noticeable difference being the proposed additions have vertical wood siding on the first level compared to the brick of the existing building.

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Owners of historic structures are encouraged to consult with an architectural historian in order to determine the most appropriate repair, restoration or replacement of historic building materials as outlined by the requirements of Art 5, Sec. 5.4.8

Exterior finish material information has been provided. The materials such as vinyl and engineered treated wood siding, and composite deck boards appear to be acceptably durable.

(f) Reduce energy utilization:

All new construction shall meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.

Windows and doors will be required to meet Residential Building Energy Standards (RBES).

(g) Make advertising features complementary to the site:

Where signs and other advertising features are proposed, the applicant shall meet the requirements as per Article 7 – Signs. The size, location. Design. Texture, lighting, and materials of all exterior signs and advertising features shall not detract from the use and enjoyment of proposed buildings or surrounding properties. National branding through signage and architecture shall be discouraged.

Not applicable.

(h) Integrate infrastructure into the building design:

Exterior machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory features shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties.

Rooftop mechanicals, including heating and cooling devices and elevator equipment, should be incorporated into the structure’s design, and shall be arranged to minimize their visibility from the street level. Such features, in excess of one foot in height, shall be either enclosed within the roof structure, outer building walls, or parapets, or designed so that they are integrated into the overall design and materials of the building. Where such rooftop features do not exceed ten percent (10%) of the total roof area, they may be considered “ornamental and symbolic features” pursuant to Sec. 5.2.7 for the purposes of measuring building height.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 5 Performance Standards.

Not applicable.

(i) Make spaces secure and safe:

Spaces shall be designed to facilitate building evacuation, accessibility by fire, police or other emergency personnel and equipment, and, to the extent feasible, provide for adequate and secure visibility for persons using and observing such spaces. Building entrances/entry points shall be visible and adequately lit, and intercom systems for multi-family housing should be incorporated where possible, to maximize personal safety.

The application materials include a specific model of outdoor wall light, however, no information regarding the number or location of lights has been provided.

Items for the Board’s consideration:

- EPSC and Stormwater plans are required.
- A landscaping plan is required.
- There is no dumpster enclosure.

- The bicycle parking plan is not clear, and what has been provided is not practical.