

Burlington Design Advisory Board
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DAB
Phone: (802) 865-7188

Ron Wanamaker
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Richard Martin
Gabriel Stadecker
Jay White
Joel Baird, Alt
Kathleen Ryan, Alt



Design Advisory Board

Tuesday, December 9, 2025, 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

Zoom: <https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137
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1. Agenda

1.1.

Session I – 3:00 PM – 3:30 PM

ZPS-25-52; 110 Institute Road (I, Ward 4) City School Department / Administrative Offices / EED / Marty Spaulding

Alternative compliance for proposed Master Sign plan for Burlington High School/Burlington Technical Center. (Project Manager, Mary O’Neil)

1.2.

Session II – 3:30 PM – 4:00 PM

2026 Meeting Schedule

Review and approval of 2026 meeting schedule.

2. Adjournment

3. Informational and Non-Discrimination Statements

3.1.

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Non-Discrimination

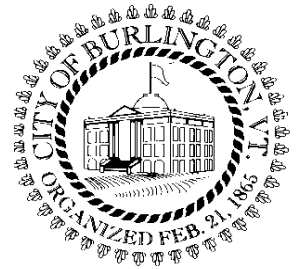
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Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
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*William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Planning Technician
Collin Naheedy, Zoning Compliance Officer*



MEMORANDUM

To: The Design Advisory Board
From: Mary O'Neil, AICP, Principal Planner
RE: ZPS-25-52
Location: 52 / 110 Institute Road
Date: December 9, 2025

File: ZPS-25-52
Location: 52 / 110 Institute Road
Zone: ICC- BHS **Ward:** 4
Date application accepted: October 16, 2025
Applicant/ Owner: Marty Spaulding / Burlington School District
Request: Master Sign Plan for BHS / Burlington Technical Center / Community Gymnasium/
District Support Offices



Background:

- **Zoning Permit ZP-23-536;** Amendment to ZP-223-276 / ZP-22-546 to reflect site changes required by Vermont's Department for Environmental Conservation (DEC) for Corrective Action Plan (CAP). Revision includes removal of remaining areas of contaminated soil outside of the LOD (limit of disturbance) area. Following tree removal the area will be capped with 18" of imported clean fill that can support vegetation growth. The placement of clean soil will cover the undulating bedrock surface and make the hillside area accessible to pedestrians and students. The City of Burlington Parks Department will plant native species to provide bank stabilization, shade and replacement of the trees removed from the area. December 2023.
- **Zoning Permit ZP-22-546;** demolish and remediate existing high school and construct new 250,000 square foot high school/technical center. November, 2022.

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- **Zoning Sketch Plan Review ZSP-22-7**, Sketch Plan Review, demolish and rebuild high school/technical center. September 2022.
- **Zoning Permit 21-0583CA**; Expansion and renovation of Burlington High School and Burlington Technical Center. Request for a parking waiver and a five year project timeline. February, 2021.
- **Zoning Review 20-0194SP**; Sketch Plan review for renovations to BHS. September 1, 2020.
- **Zoning Permit 15-0982CA**; addition of storage shed. April 2015.
- **Zoning Permit 13-0291CA**; installation of rooftop condensing units on Buildings A and B. June 2013.
- **Zoning Permit 13-1037CA**; replace existing HVAC system with new heat pump system and condenser on roof of Building A. May 2013.
- **Zoning Permit 13-0053CA**; install new shed in north east portion of property. July 2012.
- **Non-Applicability of Zoning Permit Requirements 12-0558NA**; installation of photovoltaic system, Certificate of Public Good. November 2011.
- **Zoning Permit 11-1123CA**; install condensing unit on the side of F building at BHS. July 2011.
- **Zoning Permit 10-0850CA**; two new Energy Recovery Units on roof of A Building at Burlington High School. June 2010.
- **Zoning Permit 09-616CA**; Renovations to existing press box including new membrane roof covering, roof access hatch, ladder, and safety rail. March 2009.
- **Zoning Permit 09-321SN**; Electronic sign to be added to previously approved sign. October 2008.
- **Zoning Permit 09-241CA**; Relocate solar array from building side to flat roof of building with new rack mounting structure. September 2008.
- **Zoning Permit 09-137SN**; freestanding sign for Burlington High School. August 2008.
- **Zoning Permit 08-549SN**; one freestanding, internally lit, metal sign for Burlington High School. Application **denied**, February 2008.
- **Zoning Permit 06-457CA**; construction of 3,200 square foot building to house wood chip boiler system for existing high school. March 2006.
- **Zoning Permit 06-452CA**; redevelopment of high school athletic fields, parking, new service and entrance buildings and new sewage pump station. February 2006.
- **Zoning Permit 05-305CCA**; amended plan for building-mounted solar panels at BHS. Reduction from six panels to four. Child of permit 05-058CA. November 2004.
- **Zoning Permit 05-058CA**; Install 6 solar panels attaching to a pole located approximately 35 ft. off the SE corner of building A. July 2004.

- **Zoning Permit 04-723CA**; remove old green house. Enclose with walls, new roof and windows. July 2004.
- **Zoning Permit 00-028**; Installation of two metal halide flood lights on existing poles to illuminate the existing press box for the high school athletic field. July 1999.
- **Zoning Permit 99-186**; Amend previously approved bleacher system at the Burlington High School track to include a press box. October 1998.
- **Zoning Permit 98-305**; Replace existing steel and wood bleachers with new on the east and west sides of the Burlington High School track. Proposal includes installation of a slab on the east side (Portable units on the west). January 1998.
- **Zoning Permit 98-074**; Installation of a handicapped access ramp on the front of the existing Burlington high school. Materials to be painted metal (Dark green and concrete). August 1997.
- **Zoning Permit 97-033**; Add nonilluminated message board section under the existing freestanding sign for Burlington High School. Location on North Avenue and height and overall size to remain the same. July 1996.
- **Zoning Permit 87-678 / COA 87-215**; building three bay one-story garage for storage of aircraft parts for school program. January 1988.
- **Zoning Permit 87-320**; change an existing window on west side to exterior door to provide egress to new classroom. June 1987.
- **Zoning Permit 82-435**; construct bus shelter on the site of a removed bus shelter. September 1982.

Overview: Burlington School District seeks a Master Sign Plan for the BHS/BTC campus. The request includes consideration of Alternative Compliance, **which requires both DAB and DRB review.**

Signage in the Public Right-of-Way is subject to review by the Public Works Department and compliance with the Manual for Uniform Traffic Code Devices, ADA, and City Engineering specifications.

I. Findings

Article 7: Signs

Section 7.1.3 Exemptions

(b) Street Address Identification. As required pursuant to Chapter 27 Section 101 of the Burlington Code of Ordinances, numerals that identify the street address of the property so that it can be easily identified from a public thoroughfare by patrons, guests, and emergency responders provided such numerals are a minimum of 3” and maximum of 10-inches in height, and the area of the numerals does not exceed two (2) square feet. In cases where the building is not located within view of the public street, the numerals shall be located on a mailbox or other suitable device such that it is visible from a public thoroughfare.

Room identification is provided around the building as window decals to provide locational information to firefighters. Per this standard, the signs are directed at emergency responders, and therefore exempt from the standards of this Article. **Affirmative finding for exemption for room identification for emergency responders.**

The large “52” on the South sign band just barely exceeds the 2 sq. ft. limitation (2.18 sq. ft.) so the additional 20% deviation allowed the DRB would permit this street address signage. [Staff notes that the fire marshal has confirmed the official address for BHS will be 110 Institute Road. The building number may, however, be included within the overall Canopy Sign area, and is therefore compliant under those standards. **Affirmative finding.**



(c) Flags

2. *In all other Zoning or Form districts: 1 flag per 25' of a lot's road frontage, up to a maximum of 6 flags which may or may not be attached to up to 6 freestanding poles are permitted. Each flag may be up to 24 sq. ft. in area with no single dimension exceeding 6-feet. The height of any freestanding flag pole shall not exceed the highest point of the Principal building on the lot or 50-feet, which is lower, and shall meet the minimum setback requirements per the district-specific dimensional requirements of Article 4 or 14 or 10-feet, whichever is more restrict.*

Specific height of flag poles and dimensions of the flags have not been provided. The expansive road frontage will allow for the three flags proposed. The dimensional limitations may be Conditions of approval. **Affirmative finding as conditioned.**

(d) Property Management, Information, and Direction Signs. *Non-illuminated Signs two (2) square feet or less in size controlling access to a property and/or oriented to and intended primarily for use internal to the property. Examples may include those announcing no trespassing or solicitation; warning or hidden dangers; the private nature of a road or driveway; directional and parking; and regulating fishing or hunting.*

5 separate freestanding signs are proposed for informational / directional purposes. While non-illuminated, viewed collectively each sign exceeds the 2 sq. ft. limitation. If reviewed as individual directional stacked sign panels (“Beach; Smoking prohibited; Bus Access Only; Community Gym”) each panel is only 1.75 sq. ft; meeting the 2 sq. ft. limitation.

Affirmative finding if DRB concurs that each panel meets the directional sign size limitation.

(j) Murals: *Non-commercial artistic expression in the form of a unique hand-produced work of visual art which is tiled, painted directly upon, or otherwise affixed or placed directly onto an exterior wall of a building or structure provided that the Mural:*

1. *Does not contain any advertising copy, symbols, lettering, logos or other such recognized branding related to products or services provided on the premises where the mural is located except where otherwise permitted and incorporated into a permitted Sign Type as provided in Secs. 7.2.2 through 7.2.14 Sign Types;*

As no image has yet been identified, **no Finding** is possible.



2. *Is placed on a Secondary Frontage or non-street-facing side or rear elevation of a building or structure;*

As illustrated, the proposed mural location fronts North Avenue, and therefore in conflict with this standard.

and,

3. *Is not illuminated.*

No illumination is identified.



Adverse finding for mural exemption as proposed on a street-facing elevation.

The application may be reviewed under the standards and limitations for a Wall Sign (Section 7.2.13); however the area proposed exceeds both locational allowance (*no higher than the floor level of the second story*) and the area limitation (*2 sf per linear foot of street frontage, or elevation where no street frontage is available associated with a first floor tenant.*) *In no case may the total area of all Wall Signs exceed the lesser of 200 sq. ft. or fifteen percent of the area of the façade or elevation to which they are attached.* Reviewed as a Wall Sign, the proposed mural appears to exceed area and locational standards. **Adverse finding.**

Section 7.1.10 Sign Lighting

(i) *Electronic Changeable Message:*

Where permitted as provided in Secs. 7.2.2 through 7.2.14 Sign Types, Electronic Changeable Message displays shall:

1. *Not have any distracting appearance of motion including but not limited to flashing, blinking, shimmering, animation, video, or scrolling advertising.*
Application concurs compliance. **Affirmative finding.**

2. *Limit the luminance of the display not to exceed 5,000 nits at any time.*
The application requests **7,500** nits of illumination. Actual brightness will be controlled by photocell sensor. The applicant offers to ensure that there is no undue glare and that display dims appropriately in lower light conditions. Even with Alternative Compliance, the proposed illumination exceeds allowances of this Section. **Adverse finding.**

3. *Have characters of sufficient size to be easily discerned and must not constitute a safety hazard by distraction of drivers where readily visible to drivers of vehicles on any public way.*
The application defines display size for up to three rows of up to roughly 10" characters. This creates a viewing distance of 100' and maximum viewing distance of roughly 350'. The optimal viewing distance aligns to the distance of cars at the stop line northbound on North Ave. The applicant asserts this is on the small side for recommended display size in this context, but adequate. **Affirmative finding.**

4. *Consist only of alphabetic or numeric characters on a plain background, and shall not include any graphic, pictorial, video, or photographic images.*
BSD requests inclusion of an allowance to use static icons and logos (such as emoji, the Seahorse, or similar) as part of the informational text displays. The intent of the display is to encourage school and civic pride and engagement. **Adverse finding for inclusion of graphics or logos**, unless considered under Alternative Compliance.

5. *Utilize a maximum of only one color for the message on a dark background of only one color.*
BSD also requests inclusion of an allowance to use display colors in a limited manner (such as depiction of the Seahorse in navy adjacent to white text describing an event). **Adverse finding** for compliance with standards. May be considered under Alternative Compliance, below.

6. *Have a minimum display time of two (2) minutes. When the message changes, it must complete the transition within 1 second or as rapidly as is technologically practicable whichever is less with no phasing, rolling, scrolling, flashing or blending.*
The applicant requests a minimum display time shall not be less than **15 seconds**. Due to the nature of the multiple site occupants and the potential for multiple events, the applicant asserts that the display information cycle within a quicker time period than allowed by the ordinance. Even with a 20% variation offered by Alternative Compliance, minimum message display would need to exceed 1 ½ minutes. **Adverse finding for minimum display time.**

7. *Be equipped with a light detector/photocell that automatically adjusts the display's brightness according to natural ambient light conditions.*
Applicant assures compliance with this standard. **Affirmative finding.**

8. *Contain a default mechanism that freezes the changeable message in one position, or shuts off the device entirely, in the event of a malfunction.*

Applicant proposes compliance with this standard. **Affirmative finding.**

9. *Limit the area occupied by the electronic changeable message to no more than 50 percent of the maximum total allowable Sign area as provided in Secs. 7.2.2 through 7.2.14 Sign Types.*

The electronic changeable message is associated with a Monument Sign (Section 7.2.9) which has a maximum allowable area of 60 sq. ft. 50% of that allowance is 30 Sq. ft. With a display of 3'6" x 6'6", display is 23.22 sq. ft. **Affirmative finding.**

10. *Be limited to a maximum of three (3) lines of characters including all letters, numbers, spaces, or other symbols dedicated to the electronic changeable message.*

The application proposes three lines of characters. **Affirmative finding.**

Section 7.1.11: Alternative Compliance

Minor variation and relief from any non-numerical standards found in this Article, and any numerical standard by no more than 20% of such requirements, may be granted by the Development Review Board after review and recommendation by the Design Advisory Board and a Public Hearing.

Decision by the DRB regarding any Alternative Compliance granted shall be made in writing, and upon affirmative findings that:

- (a) The relief sought is necessary in order to accommodate a unique circumstance or opportunity;*
- (b) The relief, if granted, will yield a result equal to or better than strict compliance with the standard being relieved;*
- (c) The relief, if granted, is the minimum variation necessary from the applicable standard to achieve the desired result;*
- (d) The relief, if granted, will not impose an undue adverse burden on adjacent properties; and*
- (e) The remainder of the Sign will otherwise be developed consistent with the purpose of this Article, and all other applicable standards.*

Alternative Compliance is requested for the following deviations from the standards of this part.

1. Inclusion of logos and images on Electronic Display. **Discretionary review by DRB.**
2. Use of display colors on electronic changeable message board. **Discretionary review by DRB.**
3. Increase in illumination of electronic changeable message board (5,000 nit limitation, 7,500 requested. > 20% relief allowance.) Adjacent to residential properties on the east and adjacent to a major thoroughfare, heightened illumination and frequently changing messages can introduce nuisance. **Adverse finding.**
4. Inclusion of Mural on street-facing elevation. Prohibited by Section 7.1.3 (j), *Exemptions.*

When considered as a wall sign proposed area and location are contrary to the standards of Section 7.2.13. While Location is subject to discretionary review under Master Sign Plans (*may vary from the locational standards of Part 2 of this Section*), area is strictly upheld by Sign Types (*no individual Sign may exceed the maximum area limitations for the Specified Sign Type.*). **Adverse finding.**

5. **Area of Monument Sign** 60 Sq. Ft. allowed, 72 sq. ft. or specific signage proposed. 50% may be utilized for electronic message sign. **Discretionary review by DRB.**
6. **Height of Monument Sign** 6' ft from finished grade; 9'4" proposed; > 20% relief. **Adverse finding.**
7. **Setback requirements for Monument Sign.** Required: 3' from front property line or in line with the building façade; 5' from any side property line. Application proposes 56' from North Avenue and 29' from Institute Road (somewhat less when measured to property lines, as defined.) This is a very large site with two street frontages, and placement on an increasing grade. Discretionary review is allowed for sign location under Master Sign Plans. **Discretionary review by DRB.**

Part 2: Sign Types

Per Table 7.2.1-B, All Sign types proposed are permitted in the Institutional District.

Affirmative finding.

Section 7.2.2 Awning and Canopy Sign

These signs are alternately referred to as Canopy or Band Signs; proposed over the south principal entrance; over the rear (north) entrance, at the entrance to Burlington Technical Center, and at the entrance to the community gym. All four signs comply with the standards of this section for width, height, depth, area and illumination. **Affirmative finding.**

Section 7.2.7 Freestanding Yard Sign (small)

The directional signage proposed across the site (for parking, building entrances, prohibitions) collectively exceed the 2 sq. ft. limitation of Directional Sign Exemptions. (Section 7.1.3 (d), above.) As they are fully detached from a building and placed in a yard with external support consisting of 1-2 posts, they may be interpreted as Freestanding Yard Signs.

Quantity is limited to 1 per lot. As Freestanding Yard Signs, they exceed the allowable limit.

Adverse finding if determined to be a Freestanding Yard Sign (small.)

See discussion of alternative interpretation as “panels” that comply with allowed Directional Sign exemption of Section 7.1.3 (d), above.

Section 7.2.9 Monument Sign

Requirements:


Quantity: *1 per primary street frontage* Only 1 is proposed.

Depth (face-to-face) 2.5' Compliant at 2' 1 1/2"

Setback (min):

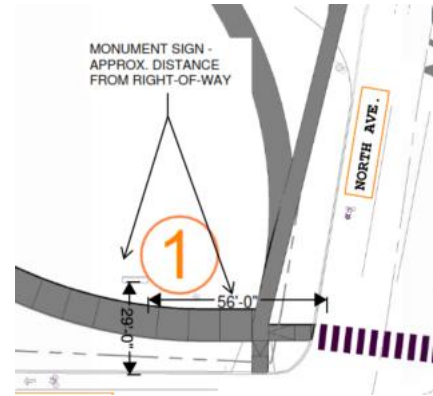
- *The lesser of 3-ft from the front property line or in line with the building façade.*

- 5-ft. from any side property line

Adverse finding. See image. 

Area (Max) 60 sq. ft. (not including supports) or 0.5 sf per linear foot of street-facing building frontage whichever is less. 72 sq. ft. of signage proposed. Utilizes 20% Alternative Compliance Relief. 50% dedicated to electronic changeable message.

Height (overall max) 6-ft from finished grade 9'4" proposed. **Adverse finding.**



If illuminated, a Monument Sign may only be internally or externally illuminated or backlit.

External illumination. **Affirmative finding.**

A Monument Sign associated with a public or civic use may include manual or electronic changeable message.

Electronic changeable message included. **Affirmative finding.**

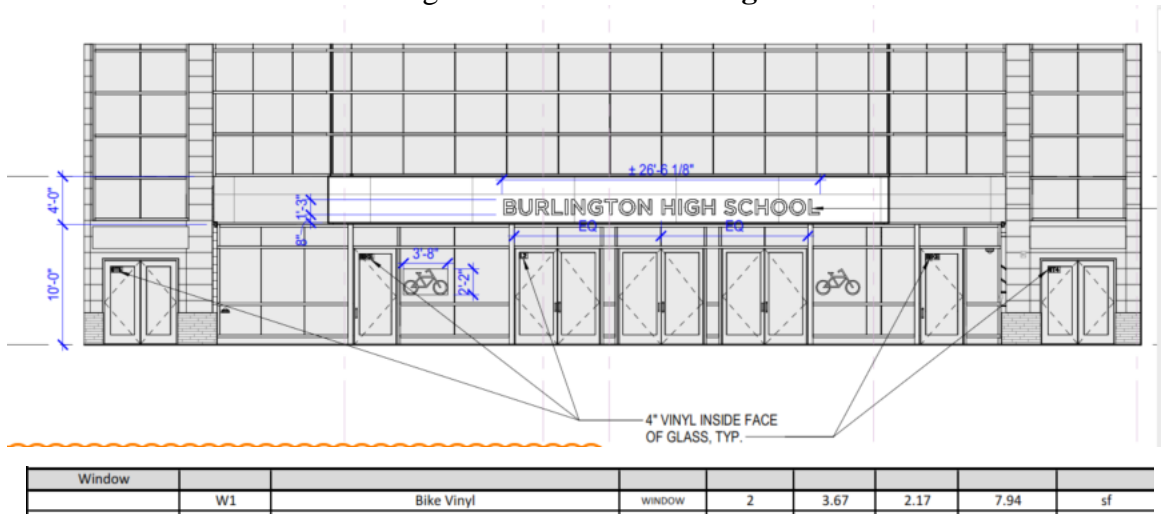
Section 7.2.13 Wall Sign

See discussion of proposed Mural under “Exemptions”, above.

Section 7.2.14 Window Sign

Fire department room identifications are exempt per Section 7.1.3 (b), above.

Bike vinyl is compliant with the 20% limitation of area of any individual window if double window is considered a single installed unit; and is compliant with 30% limitation of total window area of all windows with signs. **Affirmative finding.**



Part 3: Master Sign Plans

Section 7.3.2 Applicability

Within any Mixed Use, Enterprise, or Institutional zoning district, all Signs located on a site, building, or a complex of buildings with three or more owners, tenants, or uses located on a single lot or adjacent lots under common ownership may be granted a Master Sign Plan

submitted by the building owner and reviewed and approved by the DRB under the provisions of this Part. Signs located on City property erected by or at the direction of the City or any of its departments in the performance of their public duty or responsibility may also seek approval under the provisions of this Part.

Where a Master Sign Plan includes sufficient detail regarding the location, type, lighting, and other requirements of r individual Signs, those Signs may be approved as part of the Master Sign Plan without the necessity for an individual permit(s). Otherwise the installation of individual Signs proposed pursuant to, and in compliance with, an approved Master Sign Plan shall receive administrative review and approval pursuant to the procedural requirements of Section 3.2.7.

Section 7.3.3 Submission Requirements

A Master Sign Plan shall be a comprehensive plan of all planned Signs to be located on the site(s) and on all facades of the building(s) or building complex.

Information to be included in a Master Sign Plan shall include, but not be limited to, the following in sufficient detail as necessary to render a decision for the Master Sign Plan and individual Signs as may be applicable:

(a) Total number of Signs proposed, including any existing Signs that will remain.

The list of total signs proposed is on P. 2 of the BHS Signage Permit Package. All previously approved signs have been removed; none will be retained. **Affirmative finding.**

(b) Sketch of Signs clearly indicating size/dimensions of all Signs – including height above finished grade, lettering, logos or other graphics, colors, materials, texture.

Sketches of signs is depicted by A925, A940, A941, A942 drawings, as well as typical product cut sheets for the site Directional signs. **Affirmative finding.**

(c) Types of Signs – See Part 2.

See part (a) (above) for sign types.

(d) Building elevations / photographs clearly illustrating the placement of Signs placed on all buildings.

See A925 for building elevations.

(e) A site plan indicating the location of all freestanding Signs, buildings, and structures.

See A940 for site plan with sign locations.

(f) Methods of illumination.

The Canopy Signs and Street Address Identification are to be halo lit (reverse channel). Diffuse illumination will exit back of letters illuminating metal panel surface behind the letters without spill or glare.

The Monument Sign will be down lit on the north and south faces from the top to illuminate the fixed letters and supporting material. External illumination is acceptable for the BHS portion.

The Monument Sign Electronic Changeable Message is an LED display (self-illuminating).

Affirmative finding.

Section 7.3.4 Flexibility from Existing Standards

(a) *The Master Sign Plan must establish standards of consistency applicable to all Signs to be provided on the subject property with regard to:*

- *Colors;*
- *Letter/graphics style;*
- *Location and Sign Type;*
- *Materials;*
- *Methods of illumination; and/or*
- *Maximum dimensions and proportion.*

See p. 3 of the Sign Submission package. The applicant provides the following information:

a. *Colors* – Fabricated signs will use a combination of White and Navy Blue (School colors). Sign colors by type include:

- i. Canopy Signs and Street Address Identification – Navy Blue face, white returns (to contrast with champagne/silver prefinished metal building fascia).
- ii. Site Directional Signs – White lettering on Navy Blue.
- iii. Fire Department Room IDs – White.
- iv. Monument Sign Lettering – Navy Blue (to contrast with white/gray stone).

b. *Letter/Graphics Style* –

- i. Standard San-Serif fonts Gotham-Medium and Gotham Narrow-Medium throughout. See attached Canopy and Site Directional Sign Submittals.

c. *Location and Sign Type* –

- i. Locations in plan on site as shown on A940.
- ii. Elevations as shown on A926.
- iii. Fire Department Room IDs will be associated with every space at every level of the building.
- iv. Proposed sign is just over 25’ from right of way. Due to site placement and scale of the building and property, Master Sign Plan includes a proposed allowance for the lettering portion of the sign to be as high as 9’-0” above grade.
- v. The proposed mural location is on the face of the southeast stair tower. A structural framework is in place to support future art at this location. Master Sign Plan includes a proposed allowance for an art piece in the future at this location as shown and dimensioned on the building elevation. This location is approximately 320’ setback from the right of way.
- vi. All other sign types are per standard BCDO requirements.

d. *Materials* –

- i. Highway and Official Signs – Painted aluminum, typical.
- ii. Street Address Identification and Canopy Signs – Painted aluminum visible faces, polycarbonate diffuser film back, illumination from internal white LEDs.
- iii. Flags – Fabric.
- iv. Directional Signs – Painted aluminum, including posts.
- v. Fire Department Room IDs – Vinyl.
- vi. Mural – TBD per artist selection at a later date.
- vii. Monument Sign – Concrete foundation; black concrete base; (below) electronic changeable message display; granite wall; painted aluminum letters on stand offs; white LED downlight strips; painted aluminum cap.

e. Maximum Dimension and Proportion –

i. Directional signs are interpreted as stacked sets at six locations with each individual sign being 5” tall and 3’-0” wide. In aggregate some locations may be up to 40” tall and 36” wide (currently proposed signs are up to 30” tall and 36” wide. See attached draft proposed product information.

ii. Monument Sign could be interpreted as approximately 72 SF in area (each side) based on total area of electronic changeable message display, fixed letters and logo, and visual box containing both. Master Sign Plan includes allowance for using the up to 20% numerical relief identified in Sec. 7.1.11 in order to scale the sign appropriately to the site and Civic application.

(b) A Master Sign Plan shall be consistent with the intent and purpose of the form or zoning district within which the site is located and the intent of this Article, and be compatible with the site and character of the surrounding area.

(c) All of the Signs in a Master Sign Plan shall be designed and organized in a manner consistent and complementary with the overall architecture of the Building, and employ complimentary materials, colors, design, and scale of letters while still providing diversity and differentiation among individual tenants,

*(d) Individual Signs in an approved Master Sign Plan may vary from the **locational standards** of Part 2 of this Article pertaining to each Sign Type, and be granted Alternative Compliance per Sec. 7.1.11. However, no individual Sign may exceed the maximum area limitations for the specified Sign Type, or conflict with the limitations and prohibitions of Sec. 7.1.4 .*

Several signs exceed the limitations of their individual Sign Types, despite consideration of Alternative Compliance.

(e) Except for such variations approved by the DRB by acceptance of a Master Sign Plan pursuant to this Article, all other requirements, permits, and restrictions regarding Signs shall remain in effect.

See **Adverse findings** for deviations from these standards.

If considered for approval, the following are recommended:

II. Conditions of Approval

1. Any relief allowed by the DRB is to be specifically articulated in adoption of a Master Sign Plan.
2. Each flag may be up to 24 square feet in area with no single dimension exceeding 6-feet.
3. The height of any freestanding flag pole shall not exceed the highest point of the Principal building on the lot or 50’feet, whichever is lower.
4. The replacement of “52” on the south canopy with “110” will modestly affect the sign area calculation. A revised plan shall be provided to reflect that change, required by the fire marshal’s office.

5. The applicant team shall coordinate with Technical Services in the Department of Public Works to assure compliance with MUTCD, ADA, and City Engineering specifications for signage within the ROW.
6. Standard Permit Conditions 1-15.



freeman | french | freeman

Burlington High School & Technical Center
Burlington School District
52 Institute Road
Signage Permitting Package

Freeman French Freeman Inc. | Architecture · Planning · Interiors

81 Maple Street · Burlington Vermont 05401
802-864-6844 · www.fffinc.com

Project Name: BHS|BTC

Project Number: 2170

Date: 10/14/2025

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4. Building Signage Preliminary Technical Drawings
5. Site Signage Preliminary Technical Drawings

Burlington High School and Tech Center
Burlington School District
52 Institute Road
Master Sign Plan

October 14, 2025

The property at 52 Institute Road supports staff and operations for Burlington School District (district wide support), Burlington High School, Burlington Technical Center, and provisions for Community access and use of facilities. This document summarizes the Master Sign Plan for the 52 Institute Road site per Burlington Comprehensive Development Ordinance (BCDO), Article 7, Part 3.

Submission Requirements (Sec. 7.3.3)

- (a) The following total number of signs are proposed:
 - a. Highway and Official Signs (7.1.3(a)) as required and as previously shown on zoning civil drawings. Includes signs on site identifying traffic requirements, elements such as ADA required accessible parking spaces, electric vehicle charging stations and policies, etc.
 - b. 1 Street Address Identification (7.1.3(b)), which is located in line, sizing and treatment to match the adjacent Canopy Sign. See enlarged view 2/A926.
 - c. 3 Flags (7.1.3(c)), located near the front entrance to the building. See 1/A940.
 - d. 6 Directional Signs (7.1.3(d)), noting available drives, times of use, and site parking locations and requirements. See 1/A940 and 1/A941.
 - e. For Each Internal Room: Fire Department Directional Signs (7.1.3(d)), required school fire safety room identifications in windows throughout building. See 1/A925.
 - f. 1 Mural (7.1.3(j)), to be created at a later date under separate project. See 3/A925 and 1 and 2/A940.
 - g. 4 Canopy Signs (Sec. 7.2.2), one located at each of the building's primary entrances. See A925 and enlarged views 1, 2, 3, 4 on A926.
 - h. 1 Monument Sign (Sec. 7.2.9), double sided and replacing the site's existing monument sign at the same location. This sign includes fixed lettering and an Electronic Changeable Message display. See 1, 2, on A940, and 1/A942.

The Master Sign Plan replaces all prior approved signs. There are no existing signs on this property remaining.

- (b) Sketch of signs is depicted by A925, A926, A940, A941, A942 drawings, as well as typical product cut sheets for the site Directional signs.
- (c) See part (a) above for sign Types.
- (d) See A925 for building elevations.
- (e) See A940 for site plan with sign locations.
- (f) The Canopy Signs and Street Address Identification are to be halo lit reverse channels. Diffuse illumination will exit back of letters illuminating metal panel surface behind the letters without spill or glare.

The Monument Sign will be downlit on the north and south faces from the top to illuminate the fixed letters and supporting material. The Monument Sign Electronic Changeable Message is an LED display (self-illuminating).

Master Sign Plan Standards (Sec. 7.3.4)

- (a) The Master Sign Plan establishes the following standards of consistency:
- a. Colors – Fabricated signs will use a combination of White and Navy Blue. Sign colors by type include:
 - i. Canopy Signs and Street Address Identification – Navy Blue face, white returns (to contrast with champagne/silver prefinished metal building fascia).
 - ii. Site Directional Signs – White lettering on Navy Blue.
 - iii. Fire Department Room IDs – White.
 - iv. Monument Sign Lettering – Navy Blue (to contrast with white/gray stone).
 - b. Letter/Graphics Style –
 - i. Standard San-Serif fonts Gotham-Medium and GothamNarrow-Medium throughout. See attached Canopy and Site Directional Sign Submittals.
 - c. Location and Sign Type –
 - i. Locations in plan on site as shown on A940.
 - ii. Elevations as shown on A926.
 - iii. Fire Department Room IDs will be associated with every space at every level of the building.
 - iv. Proposed sign is just over 25' from right of way. Due to site placement and scale of the building and property, Master Sign Plan includes a proposed allowance for the lettering portion of the sign to be as high as 9'-0" above grade. (Monument sign by ordinance standard is required to be set back 3' from front right of way and establishes a position for the sign content between grade and 6'-0" above grade.)
 - v. The proposed mural location is on the face of the southeast stair tower. A structural framework is in place to support future art at this location. Master Sign Plan includes a proposed allowance for an art piece in the future at this location as shown and dimensioned on the building elevation. This location is approximately 320' setback from the right of way.
 - vi. All other sign types are per standard BCDO requirements.
 - d. Materials –
 - i. Highway and Official Signs – Painted aluminum, typical.
 - ii. Street Address Identification and Canopy Signs – Painted aluminum visible faces, polycarbonate diffuser film back, illumination from internal white LEDs.
 - iii. Flags – Fabric.
 - iv. Directional Signs – Painted aluminum, including posts.
 - v. Fire Department Room IDs – Vinyl.
 - vi. Mural – TBD per artist selection at a later date.
 - vii. Monument Sign – Concrete foundation; black concrete base; (below) electronic changeable message display; granite wall; painted aluminum letters on stand-offs; white LED downlight strips; painted aluminum cap.
 - e. Maximum Dimension and Proportion –
 - i. Directional signs are interpreted as stacked sets at six locations with each individual sign being 5" tall and 3'-0" wide. In aggregate some locations may be

up to 40" tall and 36" wide (currently proposed signs are up to 30" tall and 36" wide. See attached draft proposed product information.

- ii. Monument Sign could be interpreted as approximately 72 SF in area (each side) based on total area of electronic changeable message display, fixed letters and logo, and visual box containing both. Master Sign Plan includes allowance for using the up to 20% numerical relief identified in Sec. 7.1.11 in order to scale the sign appropriately to the site and Civic application.

Electronic Changeable Message Sign (Sec. 7.1.10(i))

In order to provide an effective, fully functional, and readily visible electronic changeable message sign in alignment BSD, BTC and BHS needs on the site, the following notes and allowances are included in this Master Sign Plan. Each numbered item corresponds to the associated text of Section 7.1.10(i):

1. Sign shall not have any distracting appearance of motion including but not limited to flashing, blinking, shimmering, animation, video, or scrolling advertising. (BCDO language).
2. Luminance of the display shall not exceed 7,500 nits, an increase over the standard BCDO language). Actual brightness will be controlled by photocell sensor and BSD will work with the City to ensure that there is no undue glare and that display dims appropriately in lower light conditions. Note that standards range up to 10,000 nits for visibility in intense sunlight conditions. See also item 7.
3. Display size is selected for up to three rows of up to roughly 10" characters. This creates an optimal viewing distance of 100' and maximum viewing distance of roughly 350'. The optimal viewing distance aligns to the distance of cars at the stop line northbound on North Ave. This is on the small side for recommended display size in this context, but adequate and selected to fit within other zoning priorities.
4. BDCO requirements prohibit any graphical, pictorial, video, or photographic images. As part of this application, BSD requests inclusion of an allowance to use static icons and logos (such as emoji, the Seahorse, or similar) as part of the informational text displays. The intent of the display is to encourage school and civic pride and engagement, and this is in line with that intent.
5. BDCO requirements prohibit any use of color in the display. As part of this application, if the allowance in item 4 is granted, BSD also requests inclusion of an allowance to use display colors in a limited manner (such as depiction of the Seahorse in navy adjacent to white text describing an event).
6. Minimum display time shall not be less than 15 seconds. When the message changes it must complete the transition as rapidly as technologically practicable without phasing, rolling, scrolling, flashing or blending. Due to the nature of the multiple site occupants and the potential for multiple events, it is essential to the purpose of the display that information cycle within a quicker time period than allowed by typical BDCO requirements.
7. Be equipped with a light detector/photocell that automatically adjusts the display's brightness according to natural ambient light conditions. (BCDO language).
8. Contain a default mechanism that freezes the changeable message in one position, or shuts off the device entirely, in the event of a malfunction. (BCDO language).
9. Limit the area occupied by the electronic changeable message to no more than (50) percent of the maximum total allowable Sign area as provided in Secs. 7.2.2 through 7.2.14 Sign

Types. (BCDO language, display is approximately 22 SF, less than 40% of maximum total allowable Sign area).

10. Be limited to a maximum of three (3) lines of characters including all letters, numbers, spaces, or other symbols dedicated to the electronic changeable message. (BCDO language).

This Master Sign Plan was initially prepared by Brian Leet at Freeman French Freeman and any updates will be maintained by Burlington School District or their designated consultant.

Building Sign Calculations

	Sign ID	Description, Location	Type	Quantity	Length (ft)	Height(ft)	Area	Units	Illumination/ notes
Band									
	B1	Southern Main Entry	BAND	1	26.50	1.25	33.13	sf	Prefinished Aluminum reverse halo illuminated letters
	B2	Southern BTC Entry	BAND	1	28.17	1.08	30.51	sf	Prefinished Aluminum reverse halo illuminated letters
	B3	Northern Main Entry	BAND	1	26.50	1.25	33.13	sf	Prefinished Aluminum reverse halo illuminated letters
	B4	Northern Community Entry	BAND	1	16.17	0.83	13.47	sf	Prefinished Aluminum reverse halo illuminated letters
<i>Code Language: 75% of that portion of the Sign Band associated with the street-level use. Awnings may supplement or replace band signage</i>									
	TOTAL Proposed						110.24	sf	
	TOTAL Allowable						319.06	sf	
Window									
	W1	Bike Vinyl	WINDOW	2	3.67	2.17	7.94	sf	none
<i>Code Language: 20% of the area of any individual window located between 4 and 7 feet above the adjacent sidewalk or finished grade. Total area may not exceed 30% of the total window area of all windows with signs per façade or elev.</i>									
<i>Proposed: Door vinyl as shown per hotel standard; additional window signs possible for tenant spaces. Potential window signs for second floor spaces.</i>									
	TOTAL Proposed						7.94	sf MAX	
	TOTAL Allowable				65.25	10.00	130.50	sf MAX	

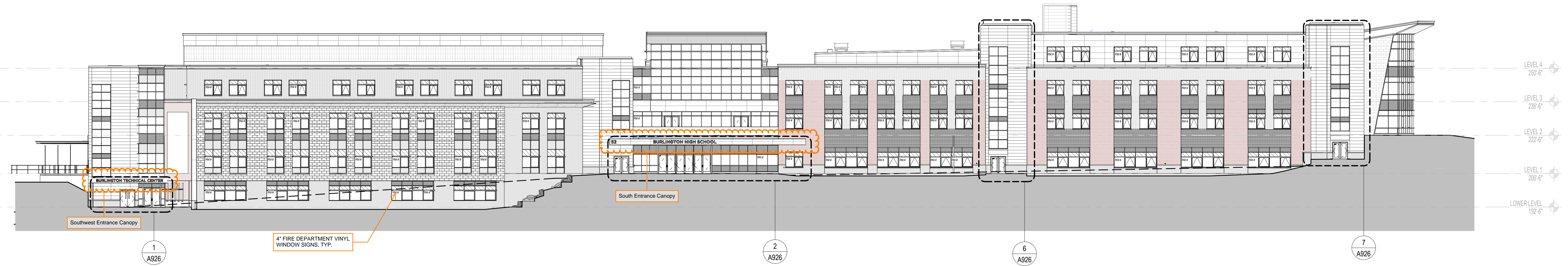
Notes: - All dimensions are total size of sign, except awnings, where dimensions of lettering/ graphics is given based on diagram in ordinance

FIRE DEPARTMENT IDENTIFICATION NUMBERS

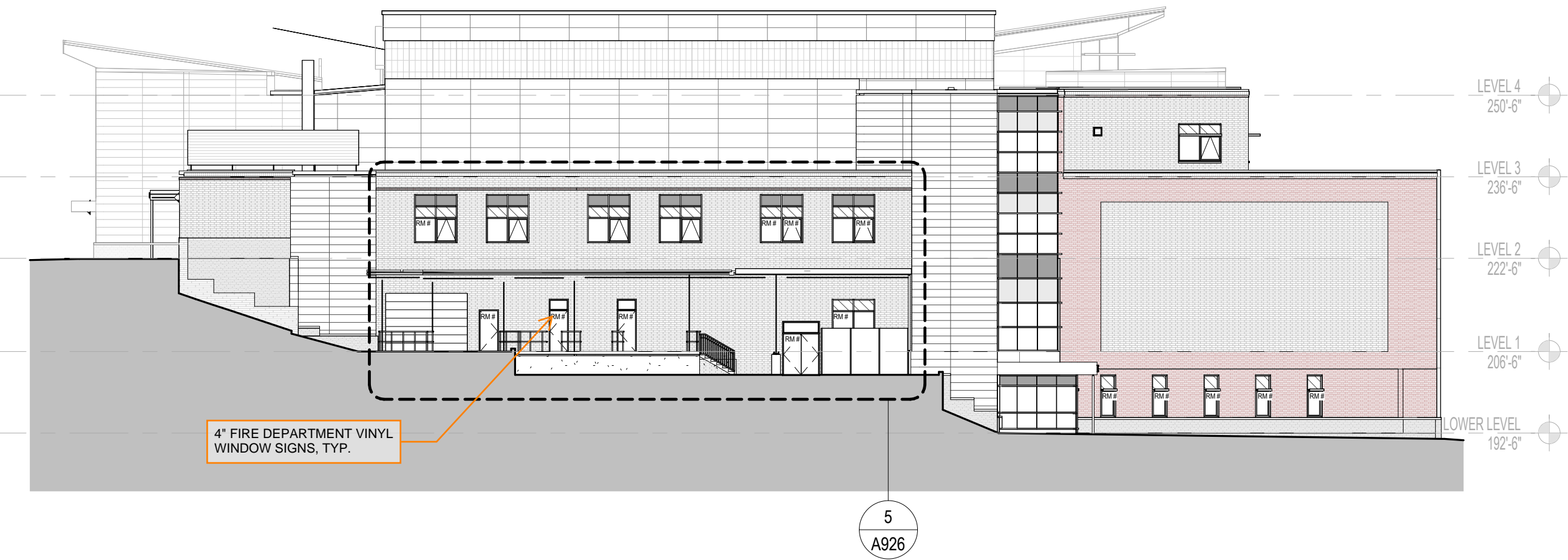
EACH ROOM WITH AN EXTERIOR WINDOW IS TO BE LABELED IN THE UPPER CORNER OF THE LEFTMOST (WHEN VIEWED FROM OUTSIDE) WINDOW WITH A WHITE VINYL CUT-OUT LETTERING 4" TALL MOUNTED TO INSIDE FACE OF GLASS. REFER TO THE SIGNAGE FLOOR PLANS (A920 - A924) FOR ROOM NUMBERS (RM.#).
(PER GLAZING SUBMITTALS GLAZING VISIBLE LIGHT TRANSMITTANCE IS OVER 50% AND OUTSIDE REFLECTANCE IS UNDER 15% - GLASS IS NOT TINTED)

ZONING - SIGNAGE PACKAGE GENERAL NOTES

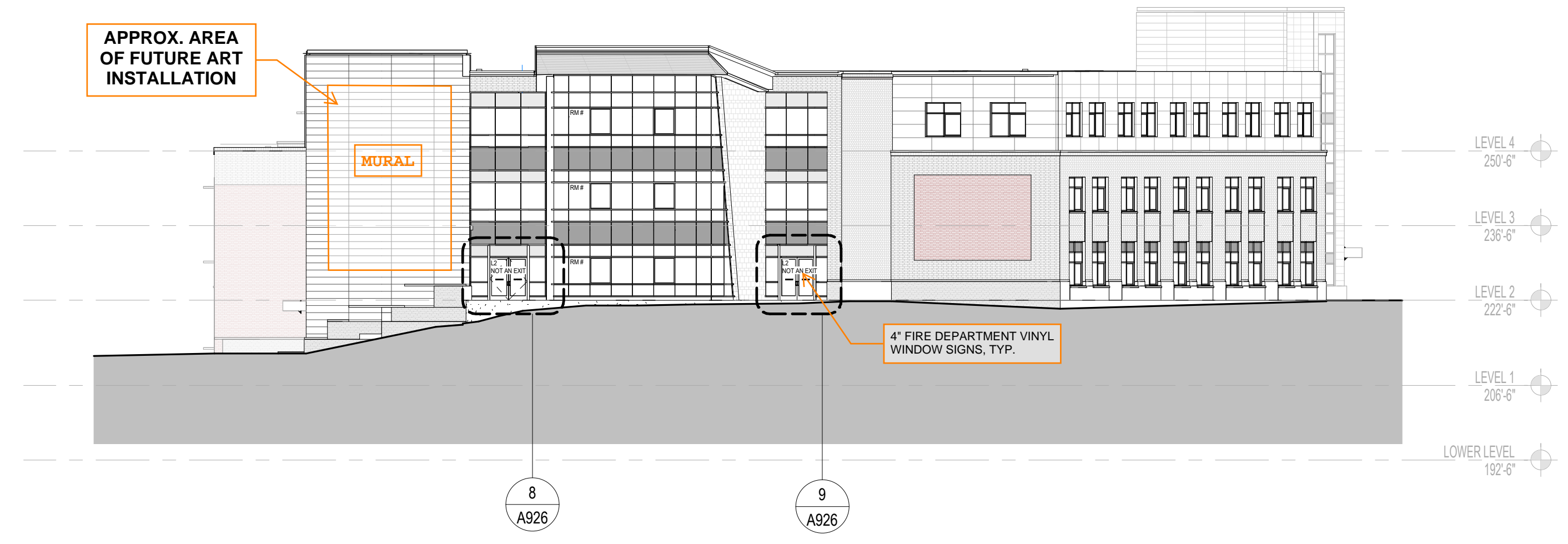
1. VYNIL SIGNAGE AT DOORS AND WINDOWS ARE FOR BUILDING CODE PURPOSES AND ARE NOT SUBJECT TO ZONING REVIEW.



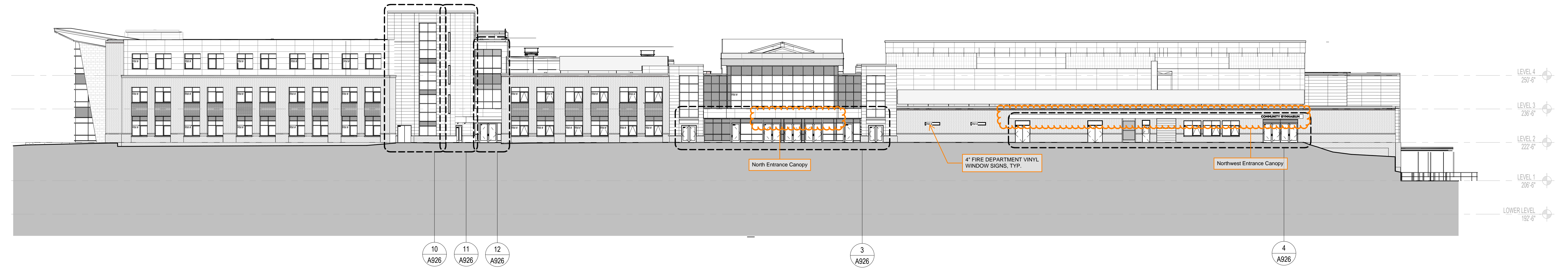
1 SOUTH EXTERIOR SIGNAGE ELEVATION
SCALE: 1" = 20'-0"



2 WEST EXTERIOR SIGNAGE ELEVATION
SCALE: 1" = 20'-0"



3 EAST EXTERIOR SIGNAGE ELEVATION
SCALE: 1" = 20'-0"



4 NORTH EXTERIOR SIGNAGE ELEVATION
SCALE: 1" = 20'-0"

GRAPHIC SCALE: 1" = 20'-0"
0 10' 20' 40'

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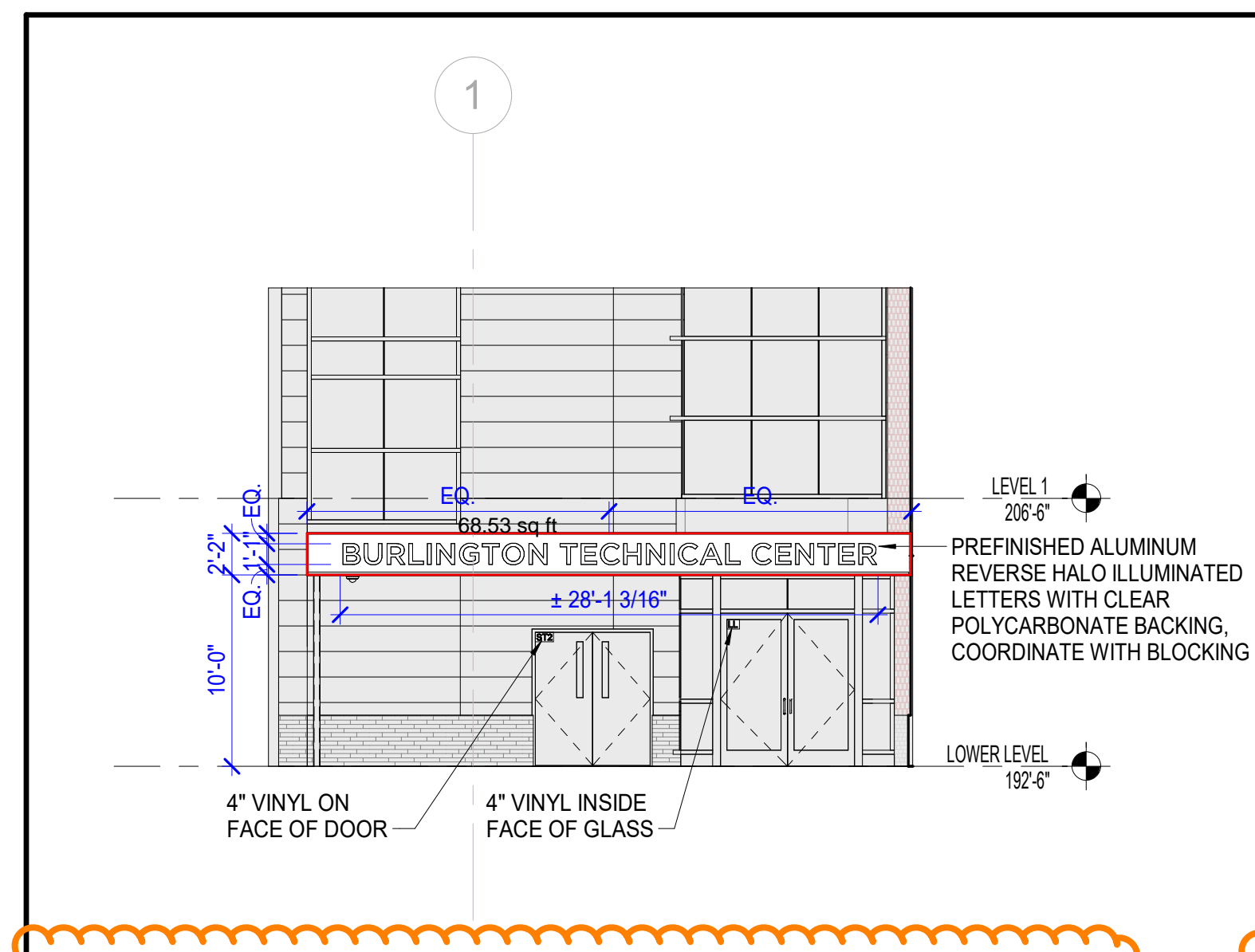
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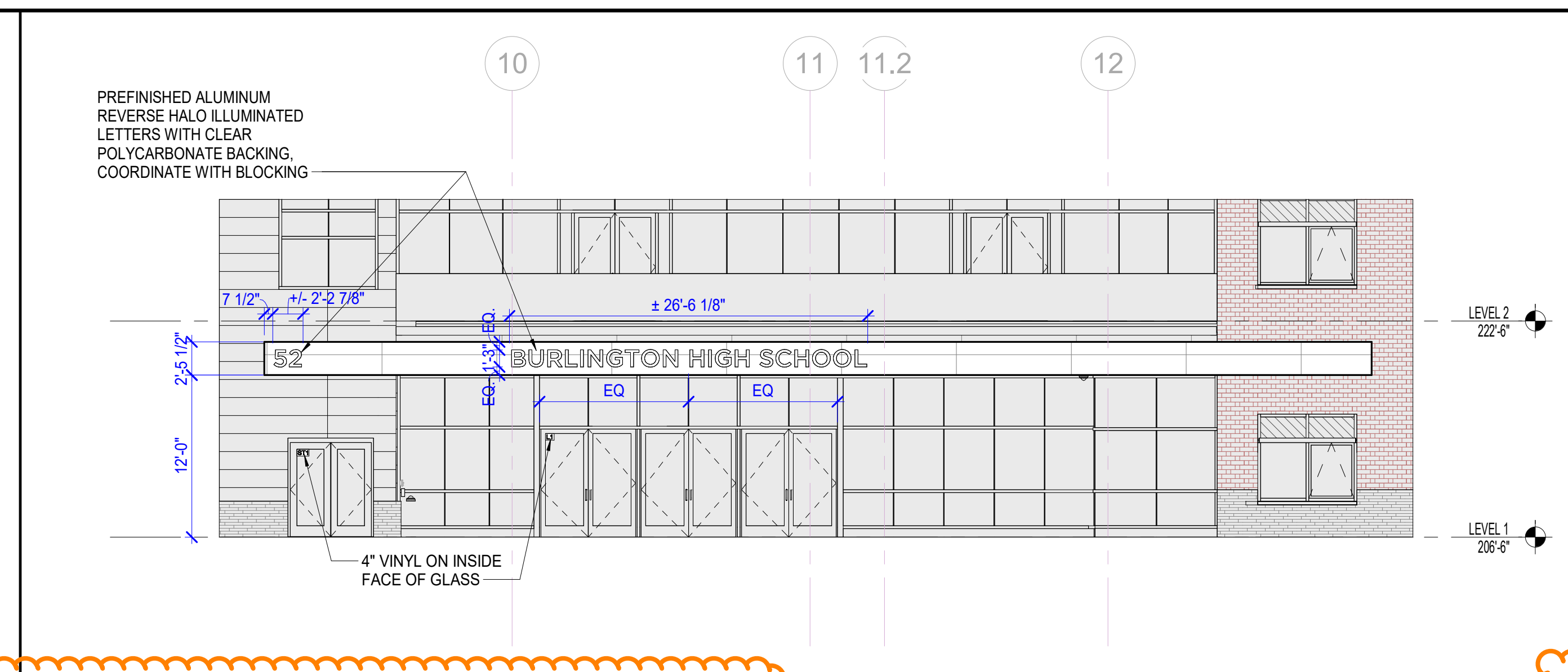
MASTER SIGNAGE PACKAGE

SHEET NO: **A925**

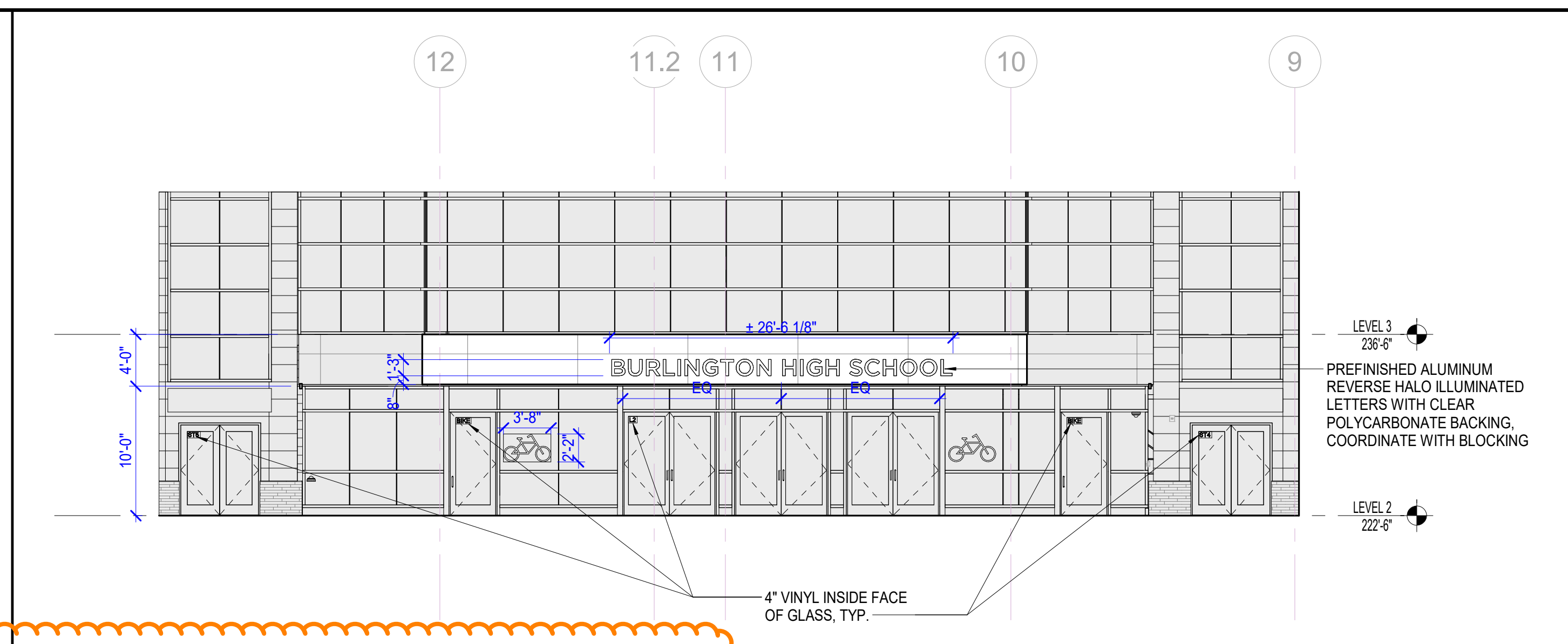
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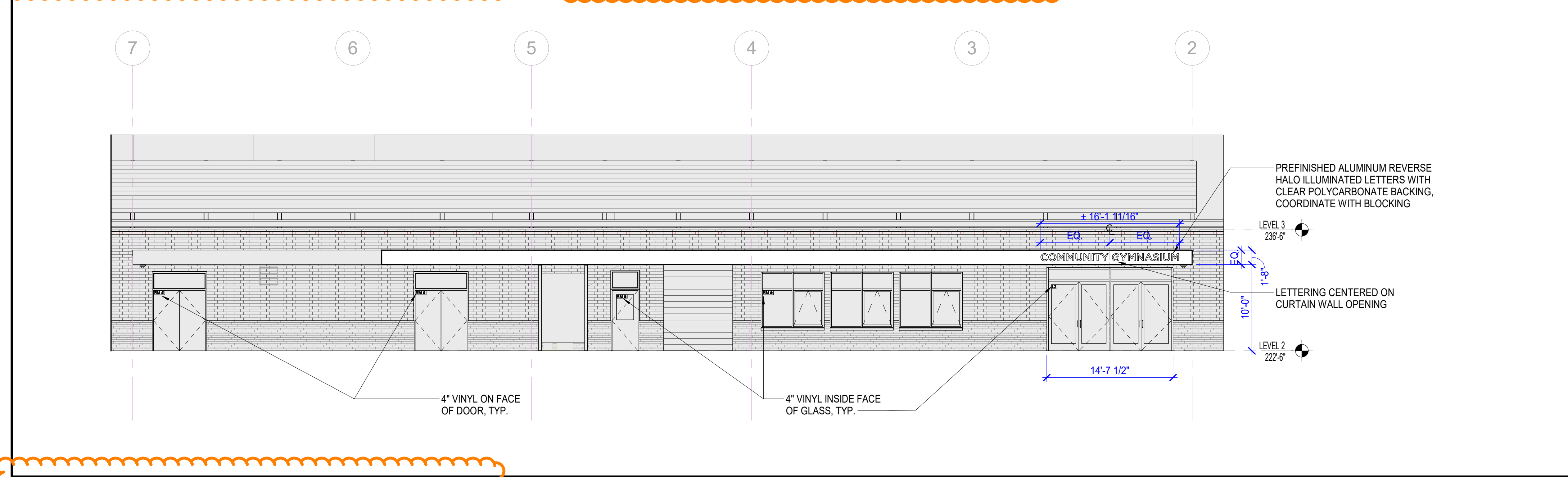
1 SOUTH WEST ENTRY EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



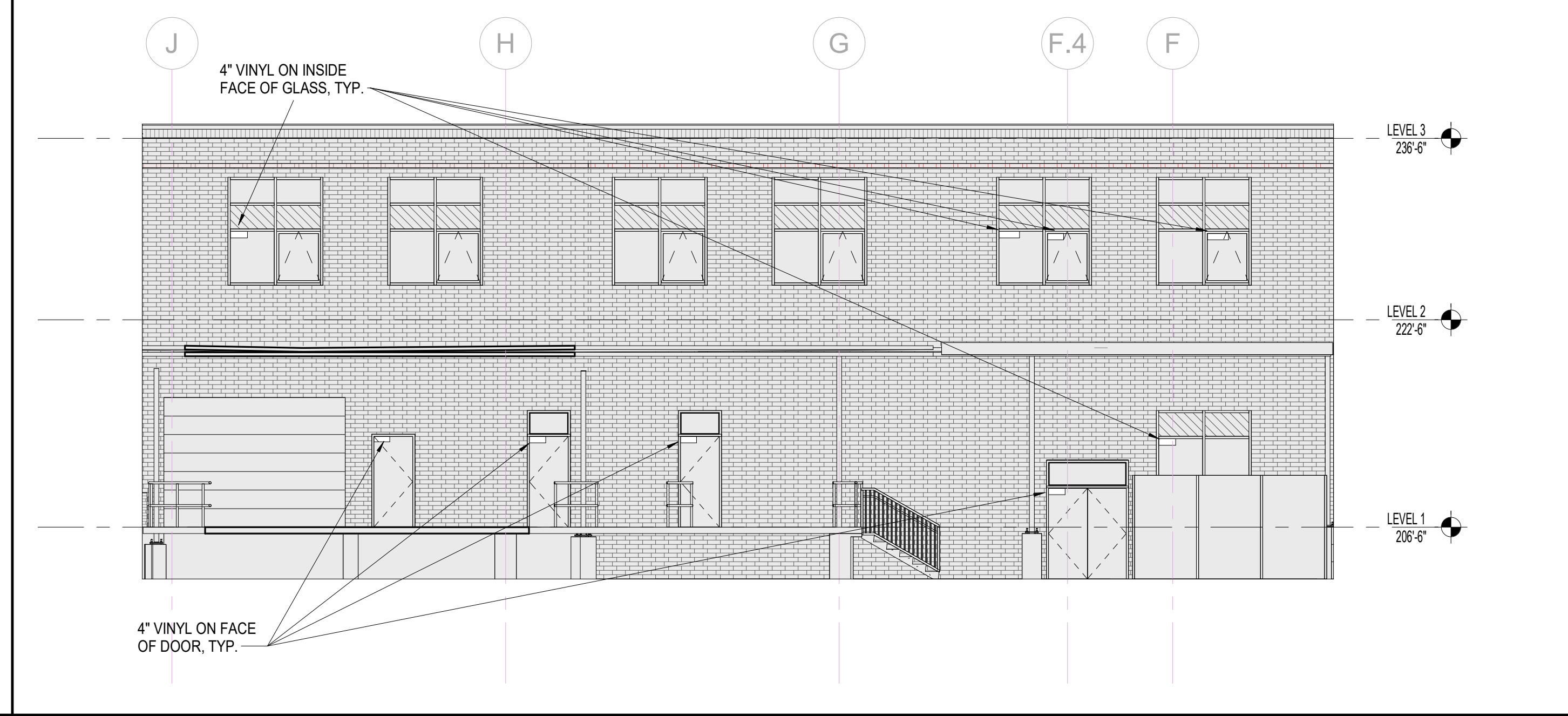
2 SOUTH ENTRY EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



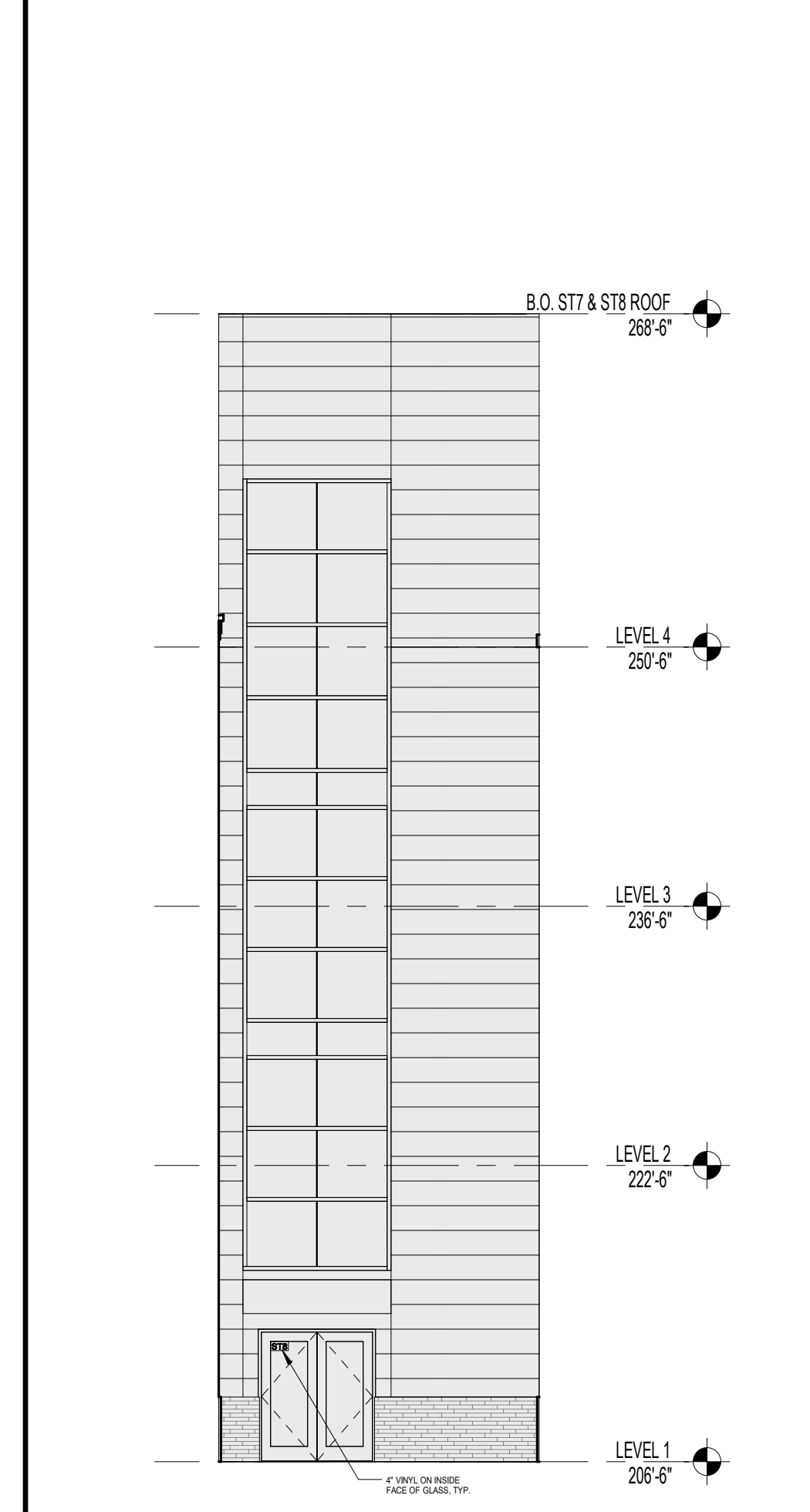
3 NORTH ENTRY EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



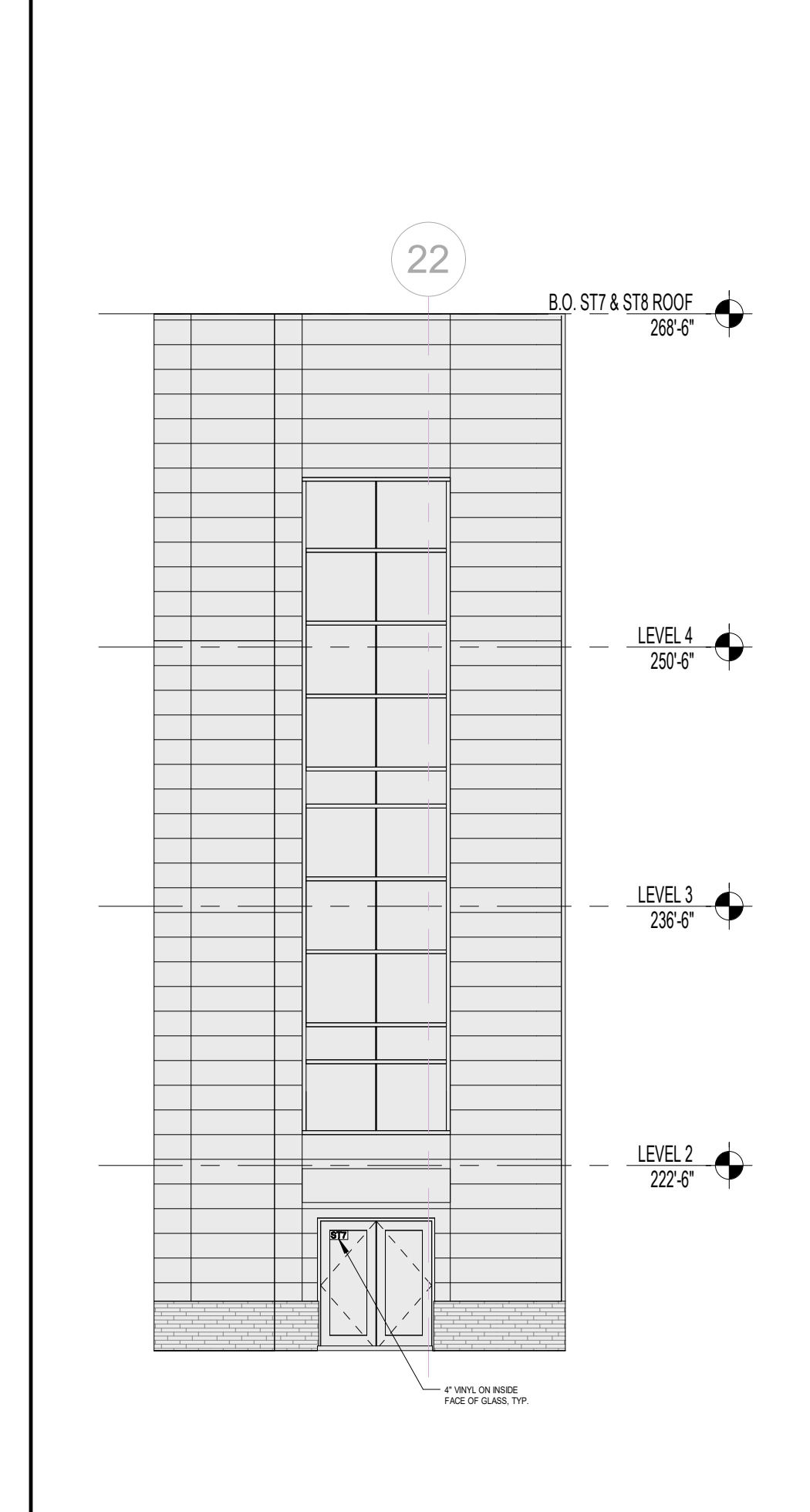
4 NORTH-WEST ENTRY EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



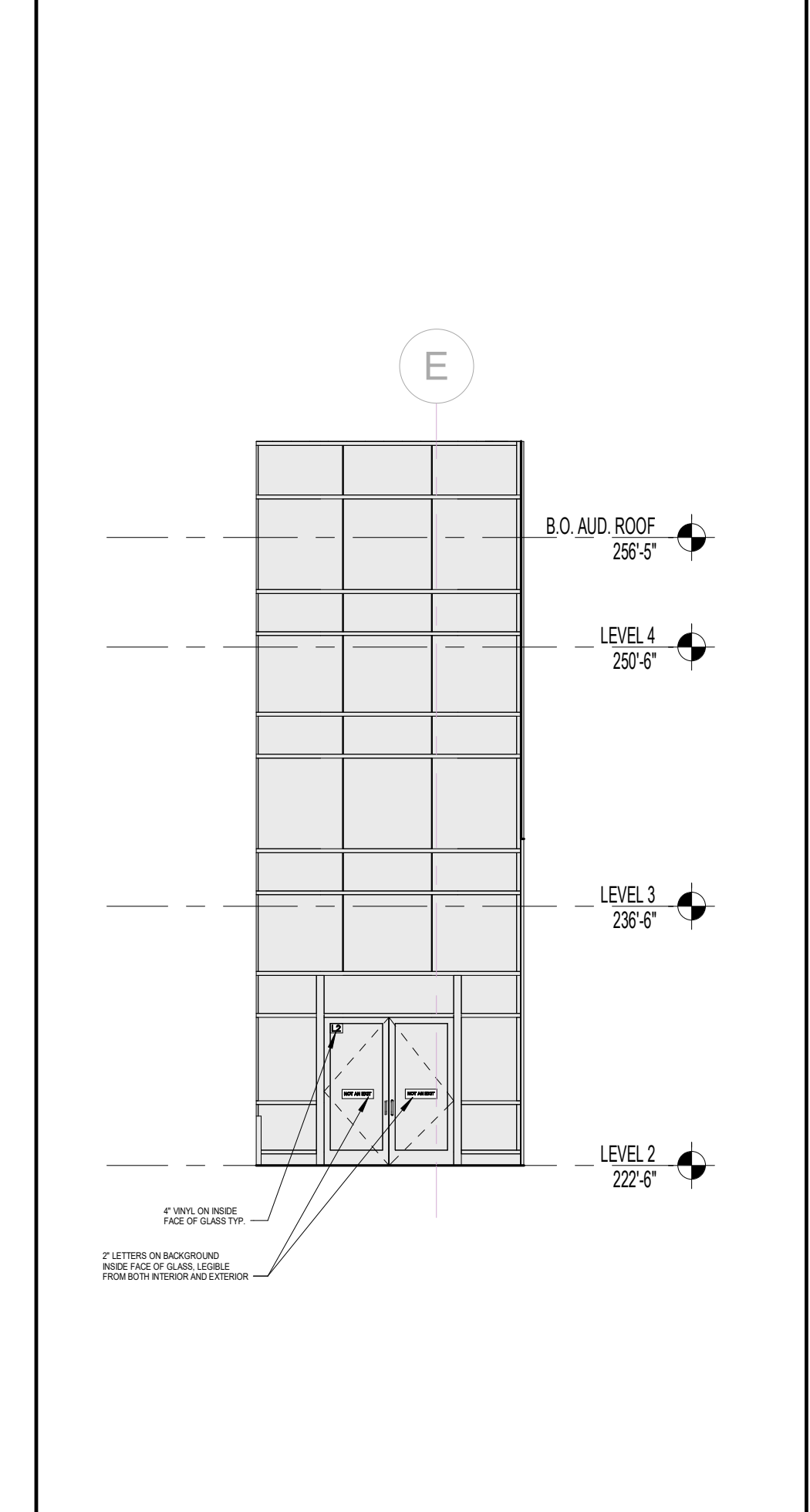
5 WEST FACADE EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



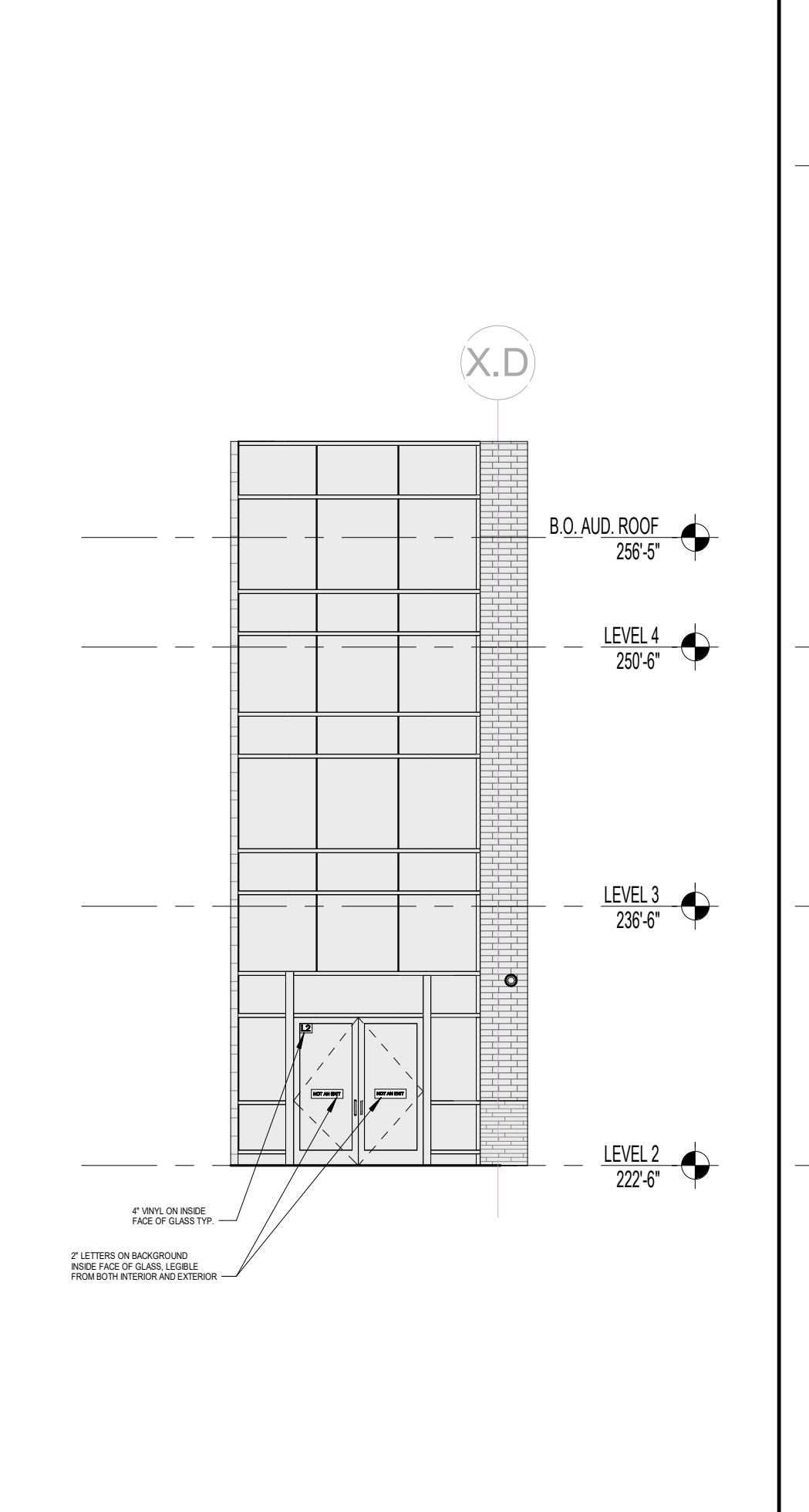
6 STAIR 8 EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



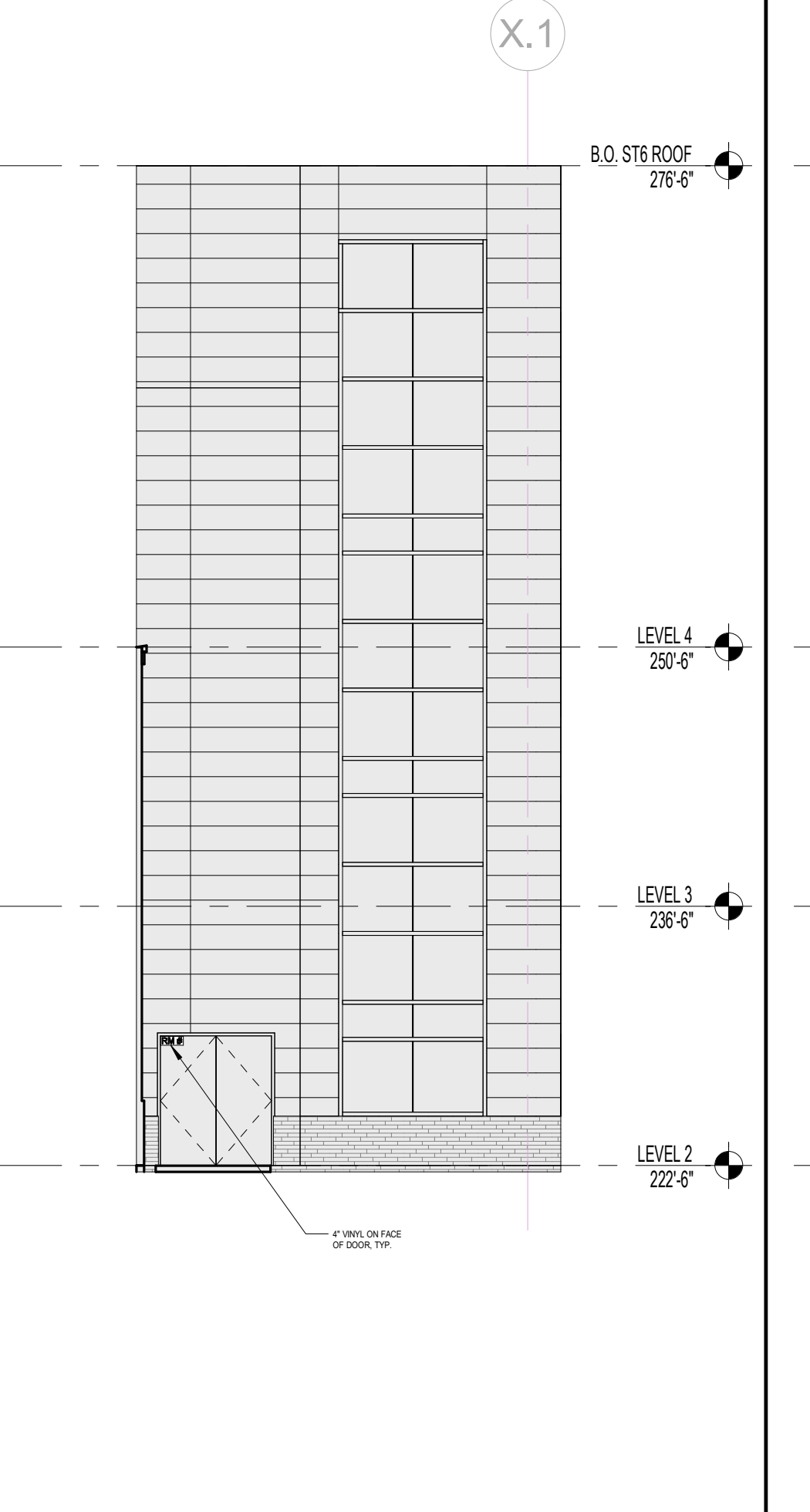
7 STAIR 7 EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



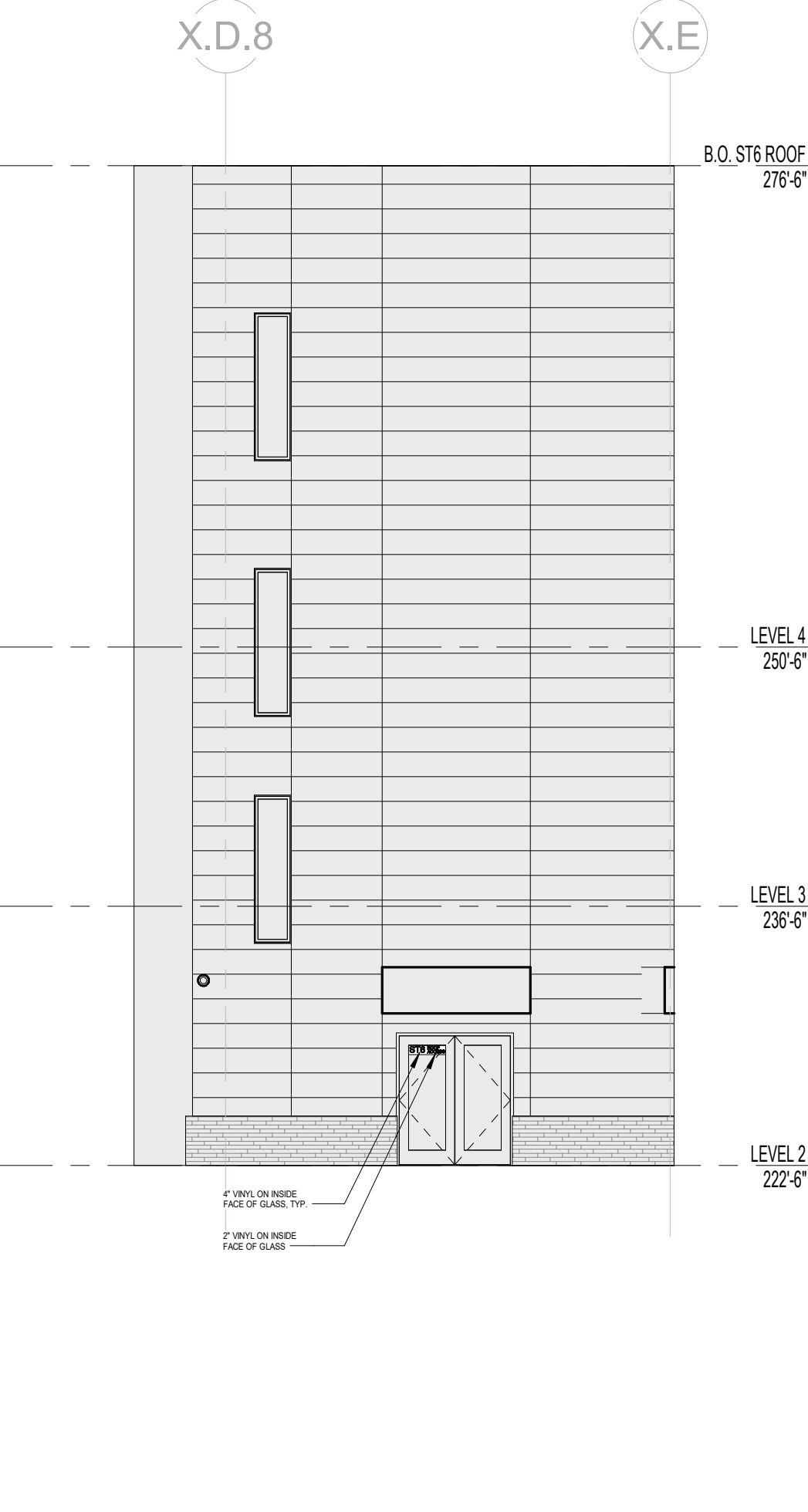
8 C WING EXT. SIGNAGE ELEV. 1
A926 SCALE: 1/8" = 1'-0"



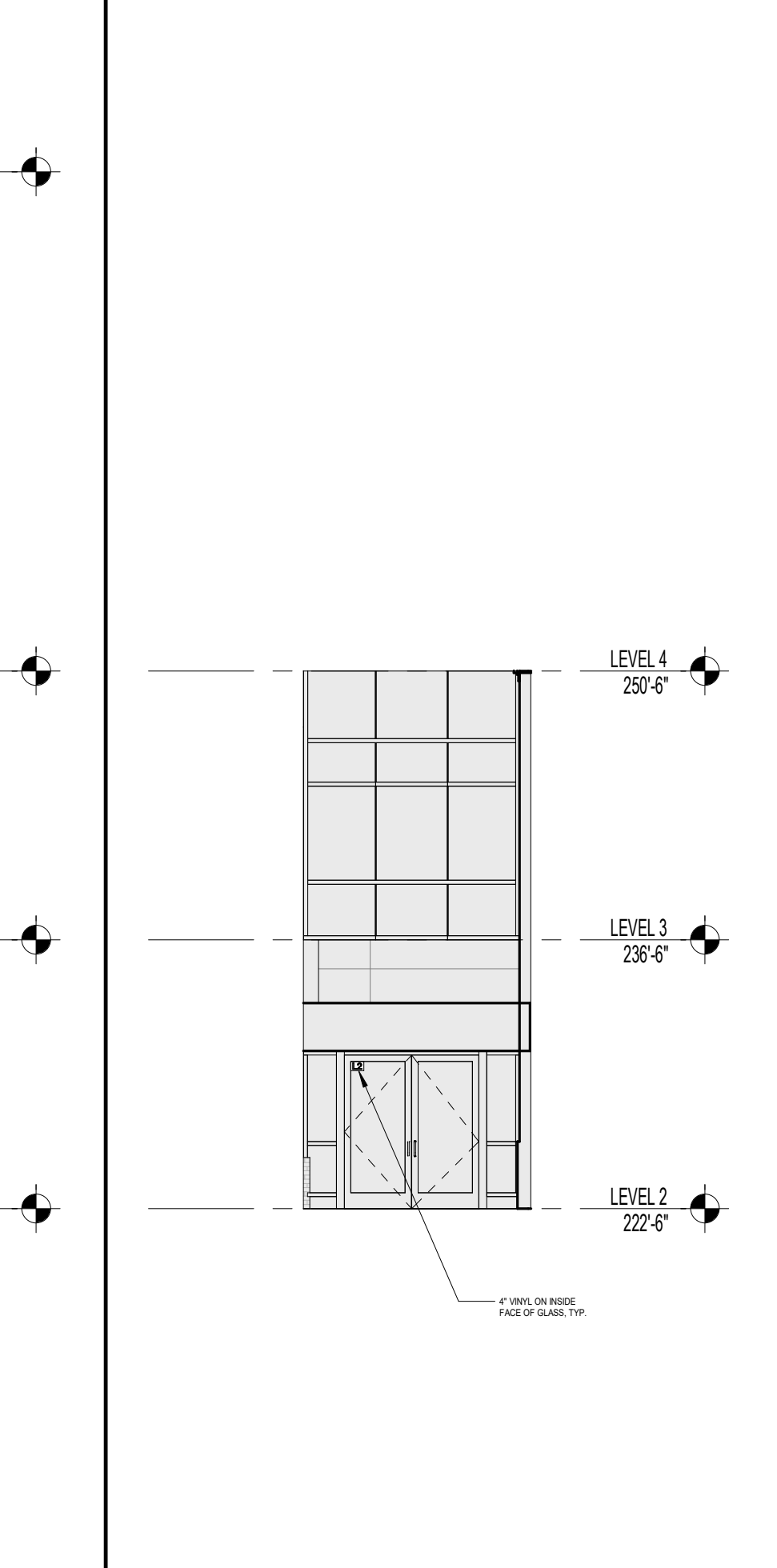
9 C WING EXT. SIGNAGE ELEV. 2
A926 SCALE: 1/8" = 1'-0"



10 ELEC. CLOSET EXT. SIGNAGE ELEV.
A926 SCALE: 1/8" = 1'-0"



11 STAIR 6 EXTERIOR SIGNAGE ELEVATION
A926 SCALE: 1/8" = 1'-0"



12 C WING EXT. SIGNAGE ELEV. 3
A926 SCALE: 1/8" = 1'-0"

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FFP PROJECT NO: **Proj #2170**

DATE: 06/27/2025 SCALE: 1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

CD ISSUE: NOT ISSUED
Rev. 90 - Signage Bid 06/27/2025
Rev. 93 - Signage Bid Date 93
Update: 10/10/2025
Rev. 98 (CCD 98)

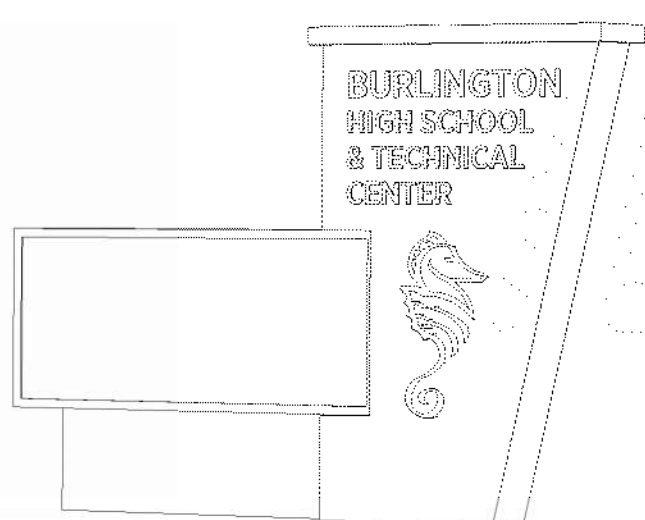
SHEET CONTENTS:

EXTERIOR ENTRY SIGNAGE ELEVATIONS

SHEET NO: **A926**

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10/14/2025 11:32:55 AM



→ BHS
→ BTC
↑ COMMUNITY GYM
BUS ACCESS ONLY (BSD define hours)
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ BHS
↑ BTC
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ BTC
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ COMMUNITY GYM
NO BEACH PARKING
NO SMOKING OR TOBACCO

AUTHORIZED ACCESS ONLY
NO BEACH PARKING
NO SMOKING OR TOBACCO

MISCELLANEOUS SIGNAGE
1. 3 FLAG POLES AT SOUTH MAIN ENTRANCE.
2. MURAL ART WORK AT EAST FACADE (NORTH AVE.)

SITE SIGN FONT HIERARCHY
1. ENTRANCES
2. POLICIES
3. SMALL PRINT
EXACT FONT SIZES TO BE REVIEWED IN SIGN SUBMITTAL OR MOCKUP.

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1

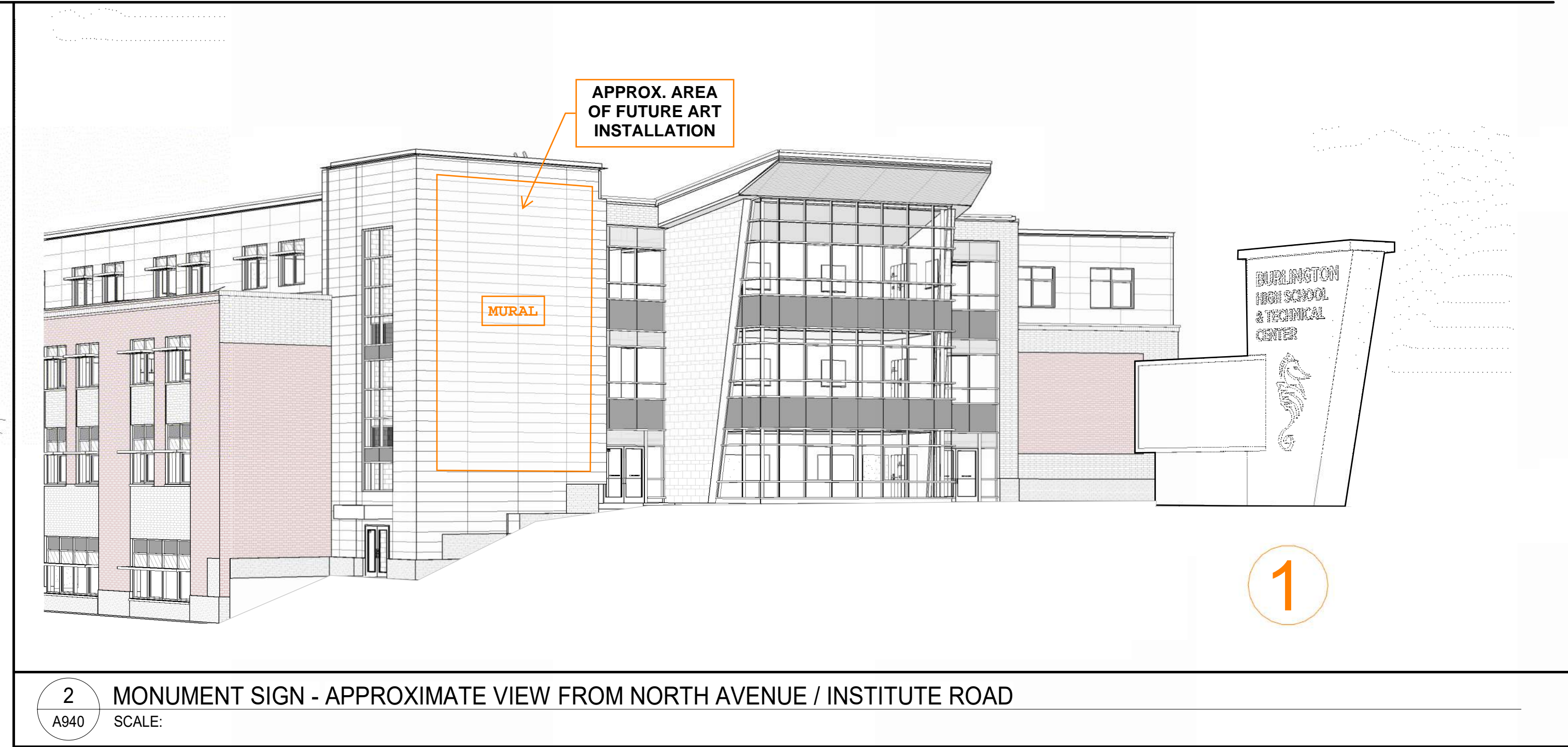
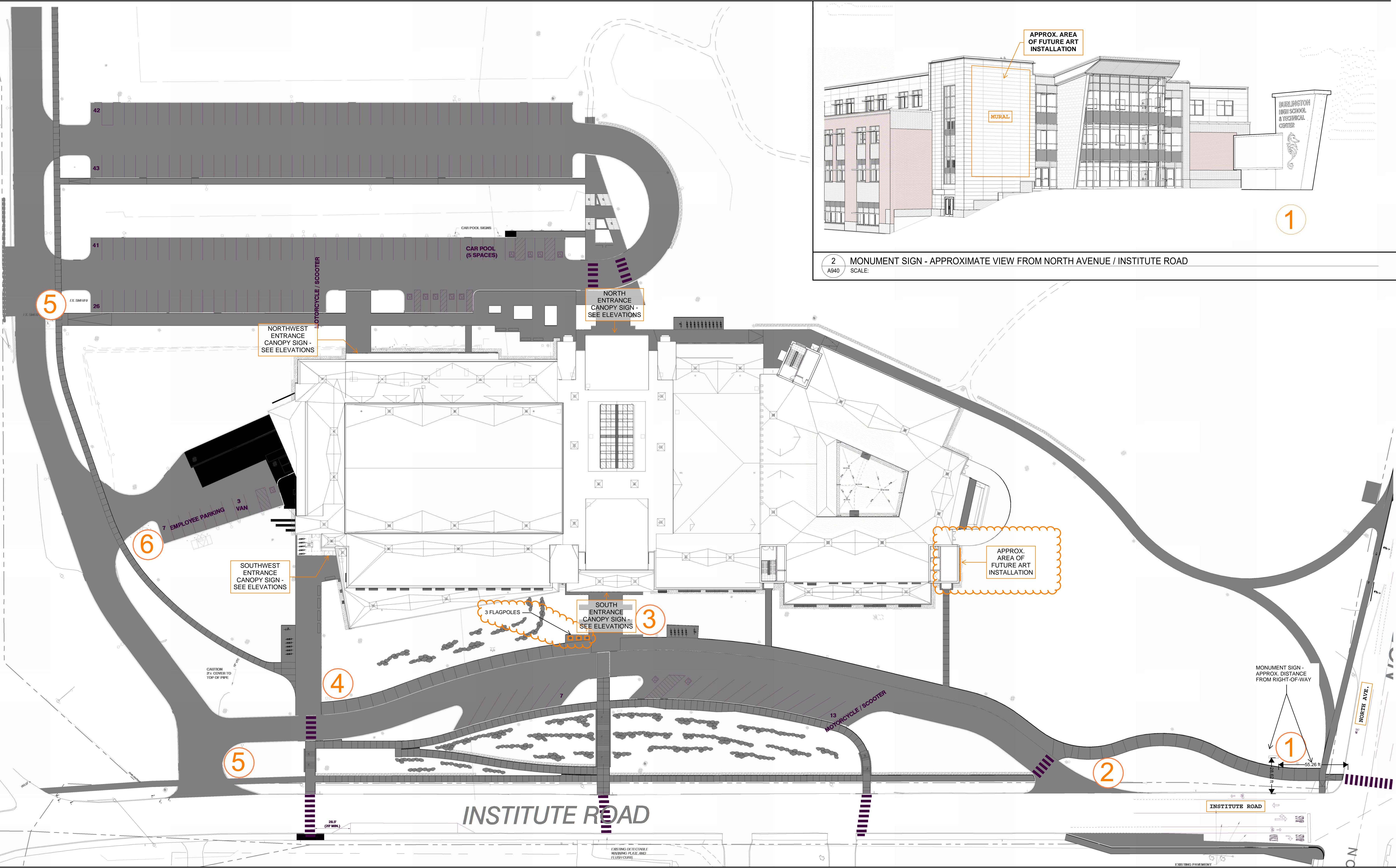
2

3

4

5

6



1 SITE SIGNAGE - SITE PLAN
A940 SCALE: 1" = 30'-0"

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FFI PROJECT NO: **Proj #2170**

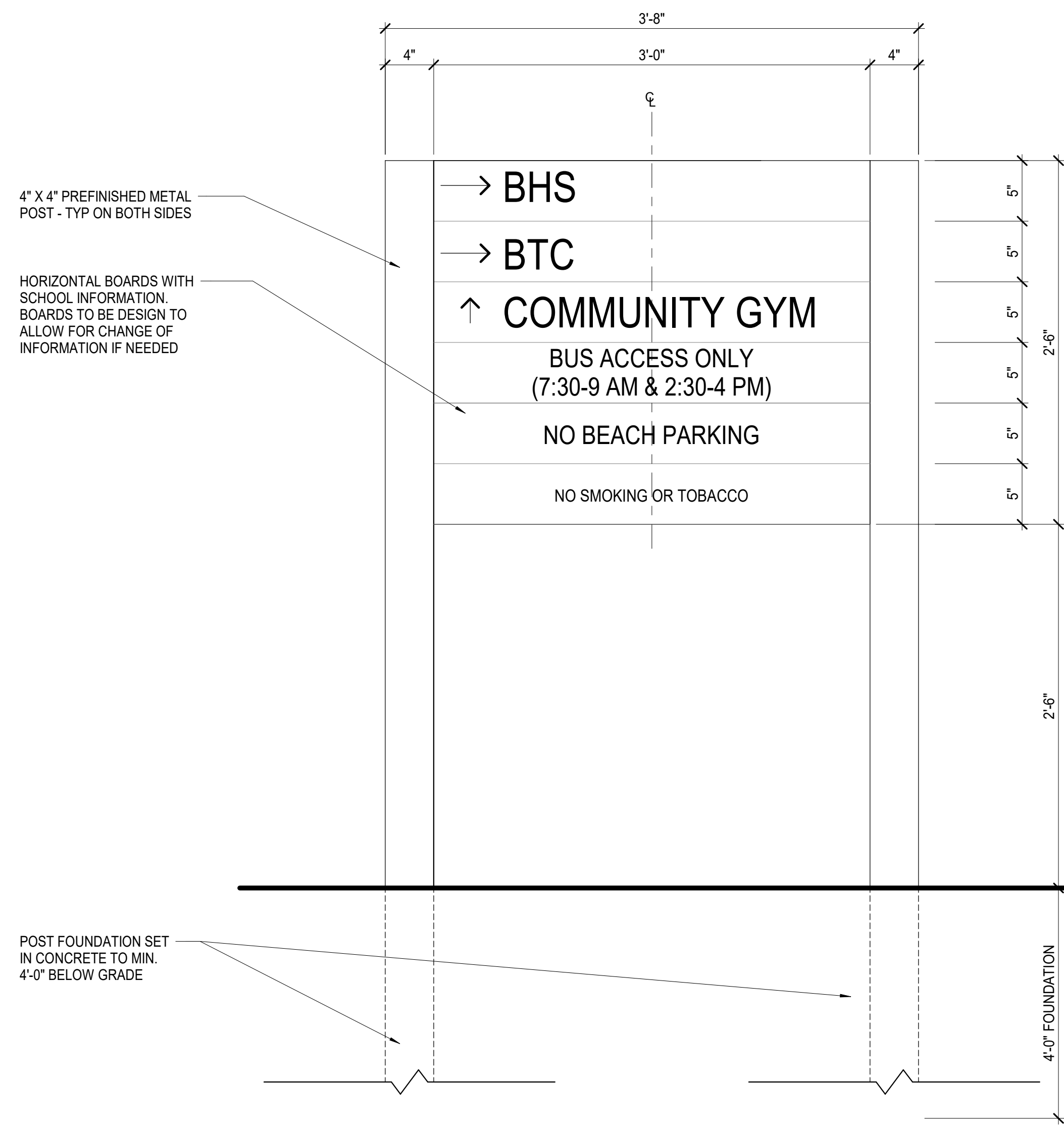
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DRAWN BY: Author CHECKED BY: Checker

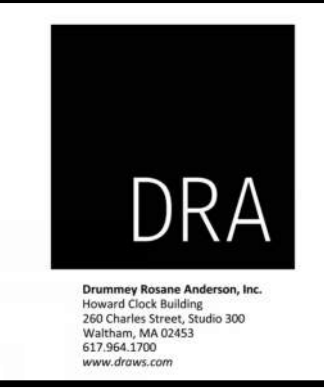
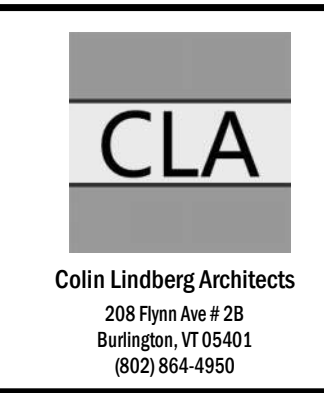
SHEET CONTENTS:
MASTER SIGNAGE PACKAGE

SHEET NO: **A940**

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1 TYP. SITE SIGNAGE
A941 SCALE: 1 1/2" = 1'-0"



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FFF PROJECT NO: **Proj #2170**

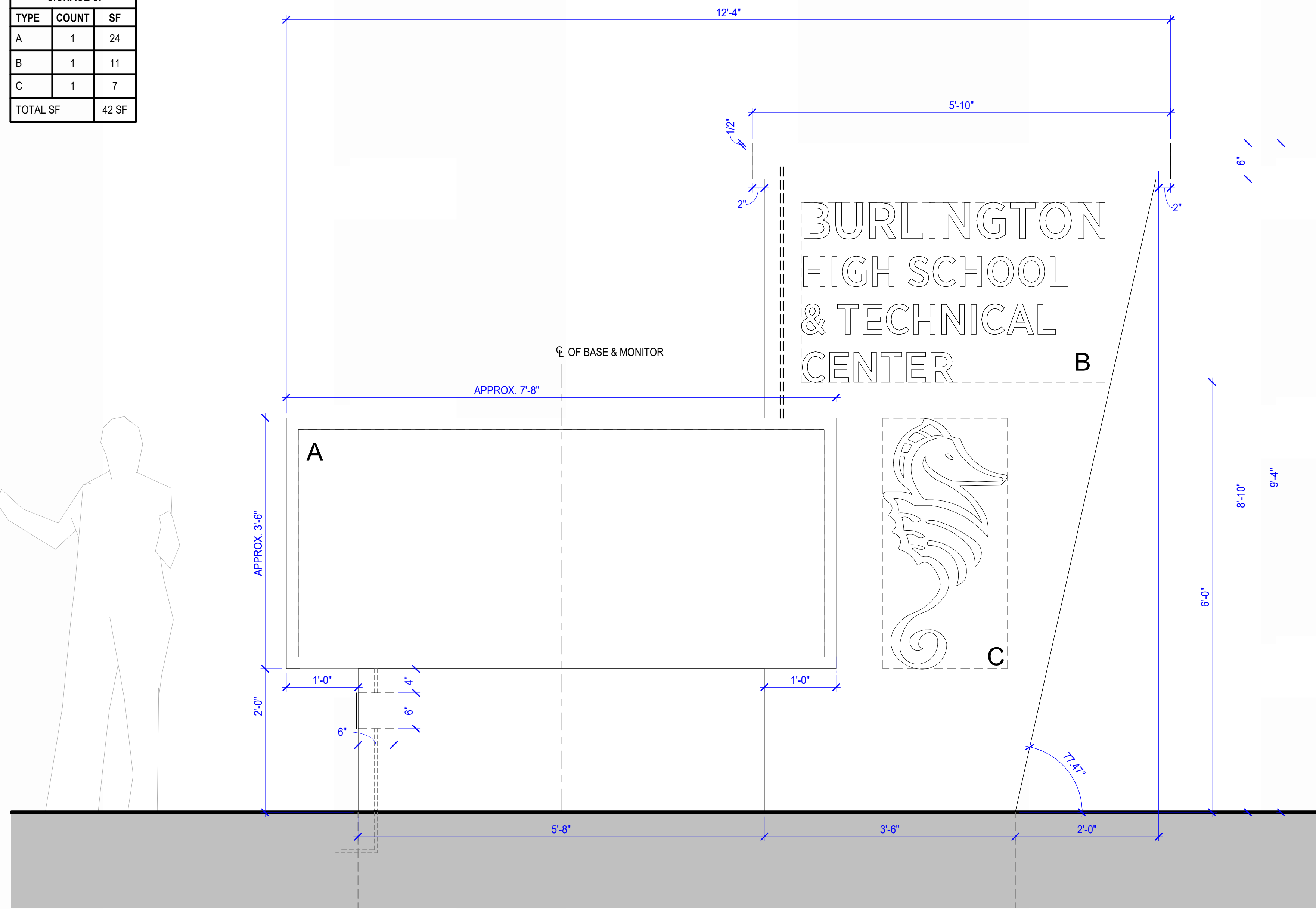
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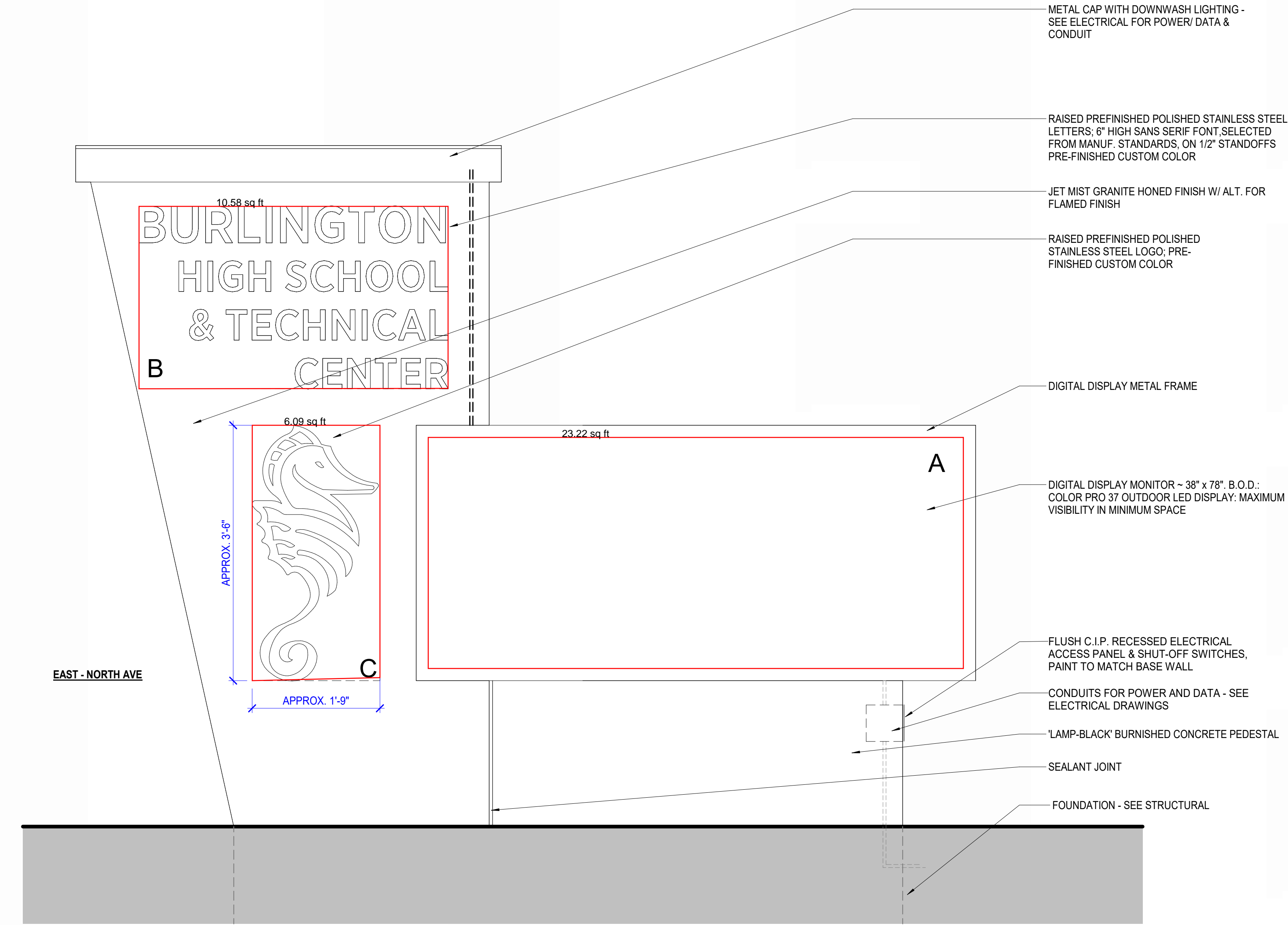
MASTER SIGNAGE PACKAGE

A941

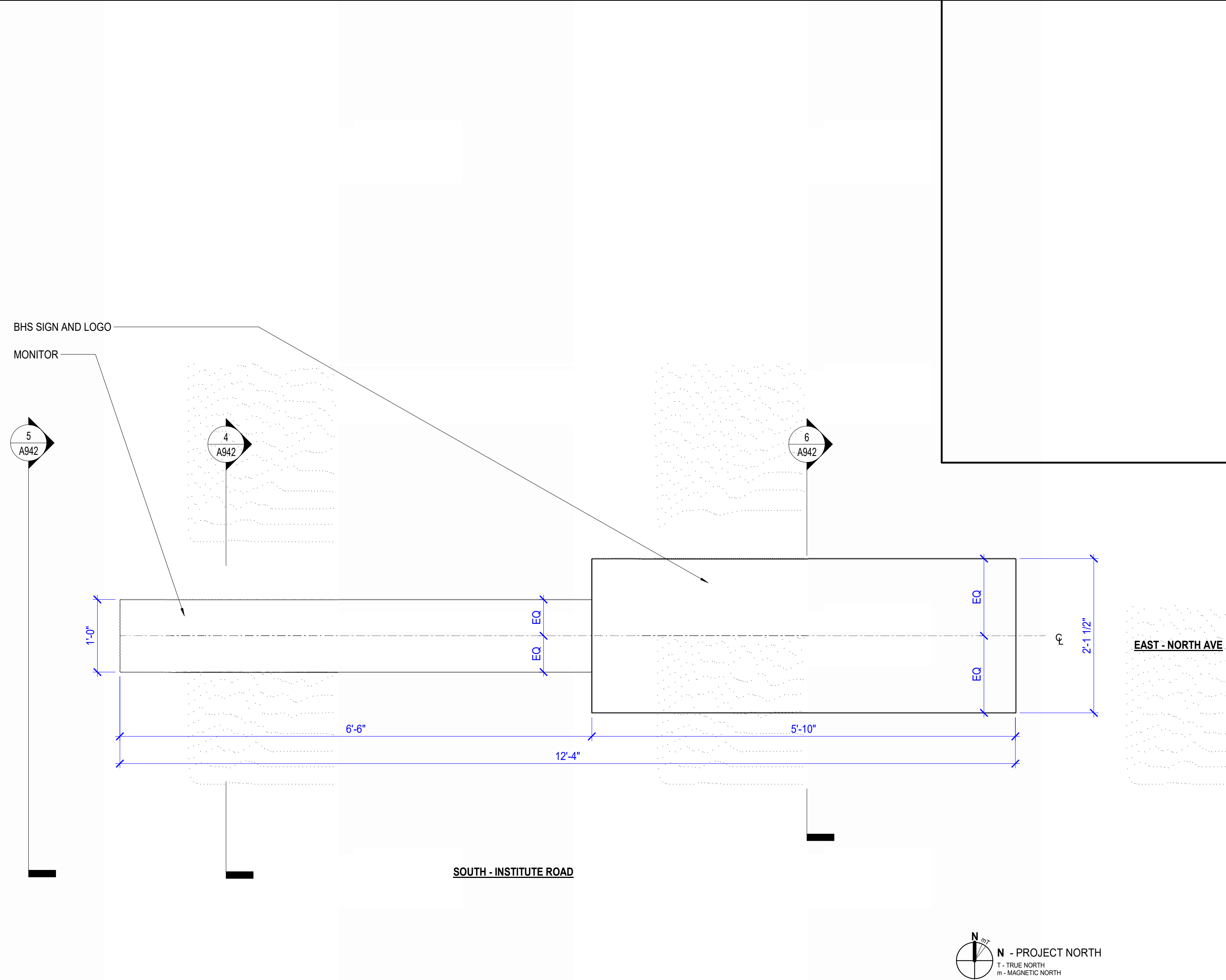
SIGNAGE SF		
TYPE	COUNT	SF
A	1	24
B	1	11
C	1	7
TOTAL SF		42 SF



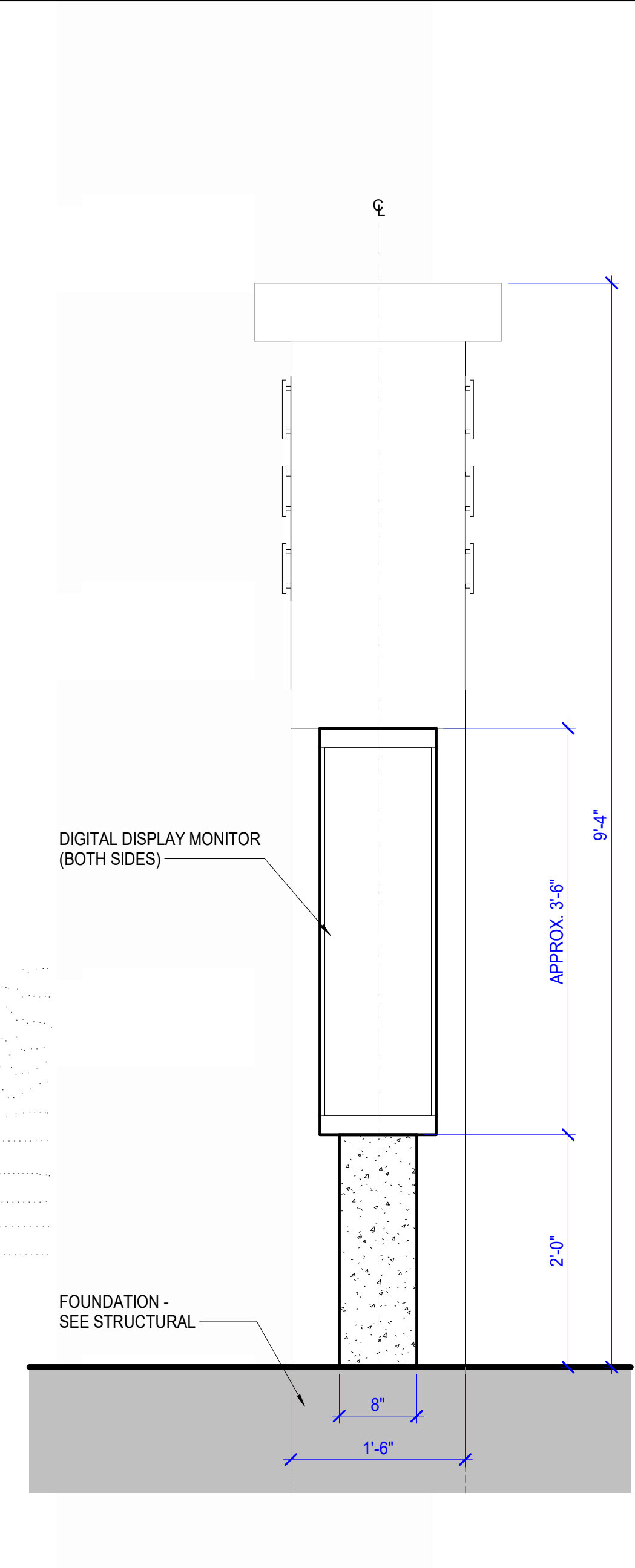
1 MONUMENT SIGN - SOUTH ELEVATION (FACING INSTITUTE ROAD)
A942 SCALE: 1" = 1'-0"



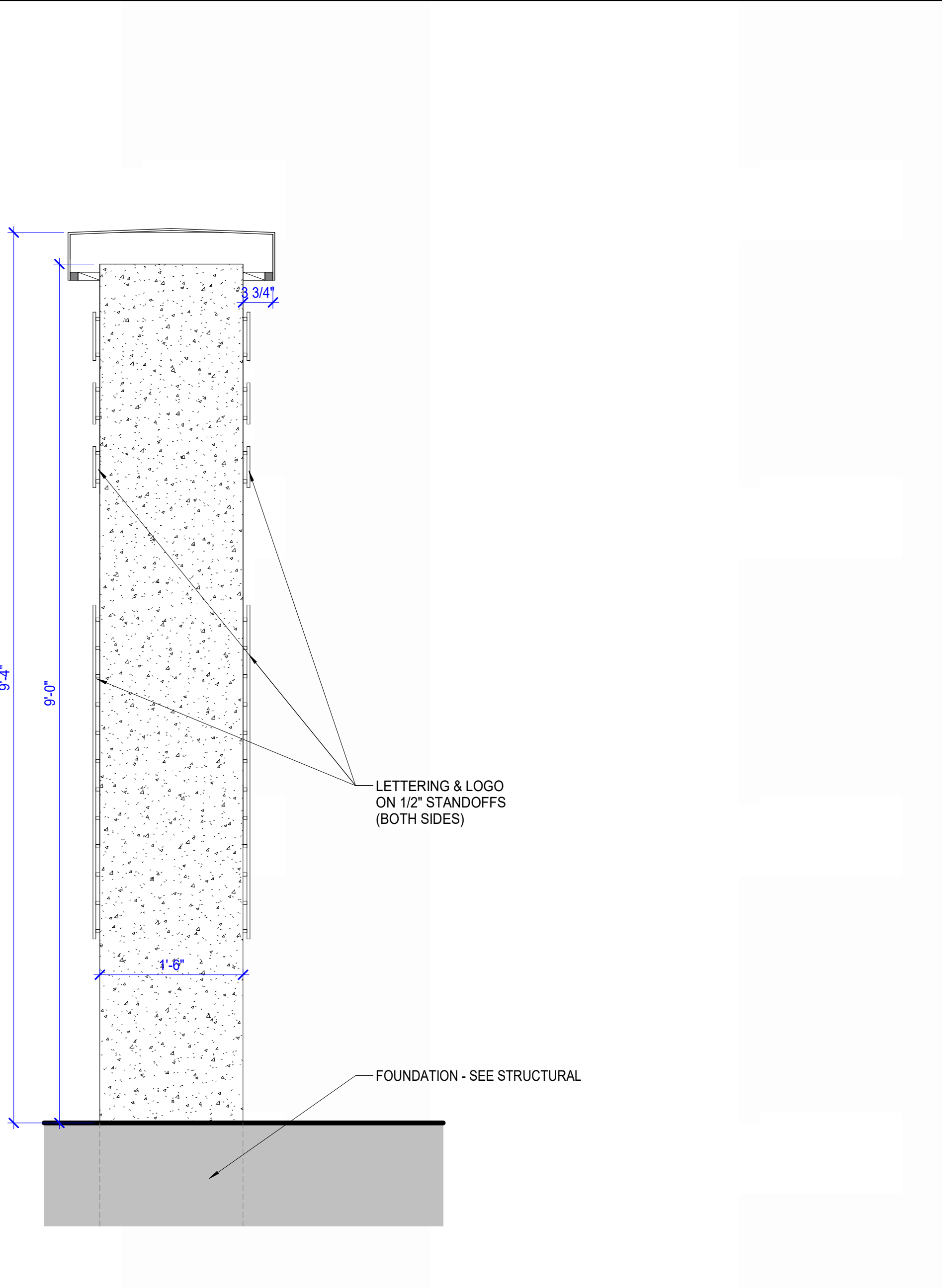
2 MONUMENT SIGN - NORTH ELEVATION
A942 SCALE: 1" = 1'-0"



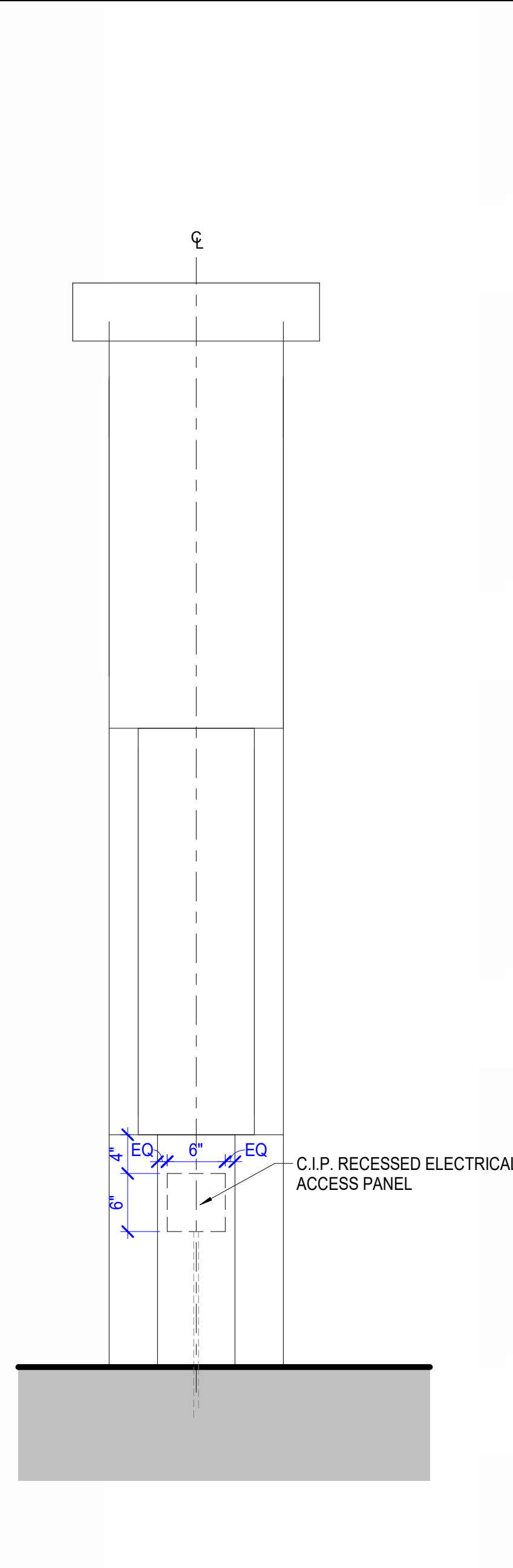
3 MONUMENT SIGN - PLAN VIEW
A942 SCALE: 1" = 1'-0"



4 SECTION @ MONITOR
A942 SCALE: 1" = 1'-0"



6 SECTION @ MONUMENT
A942 SCALE: 1" = 1'-0"



5 EAST SIGN ELEVATION
A942 SCALE: 1" = 1'-0"

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Proj #2170

ORIGINATOR: fff	SCALE: As indicated
DATE: 06/27/2025	CHECKED BY: BK
DRAWN BY: BK	NOT ISSUED
CD ISSUE: Rev. 90 - Signage Bid	06/27/2025
Rev. 93 - Signage Bid	Date 93
Updates: Rev. 98 (CCO 58)	10/10/2025

STREET ENTRANCE SIGNAGE

A942

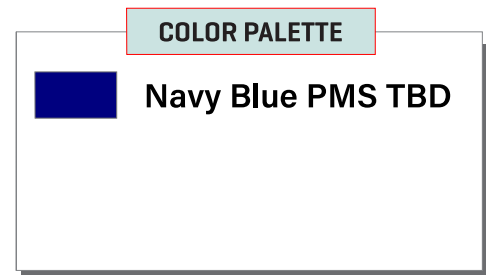
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SITE SIGNAGE PRELIMINARY
TECHNICAL DRAWINGS



**PRELIMINARY SIGNAGE TECHNICAL DRAWINGS
LETTERING FOR CANOPY SIGNAGE
FONT TO BE UPDATED PER MASTER SIGN PLAN**

QTY: 2 sets

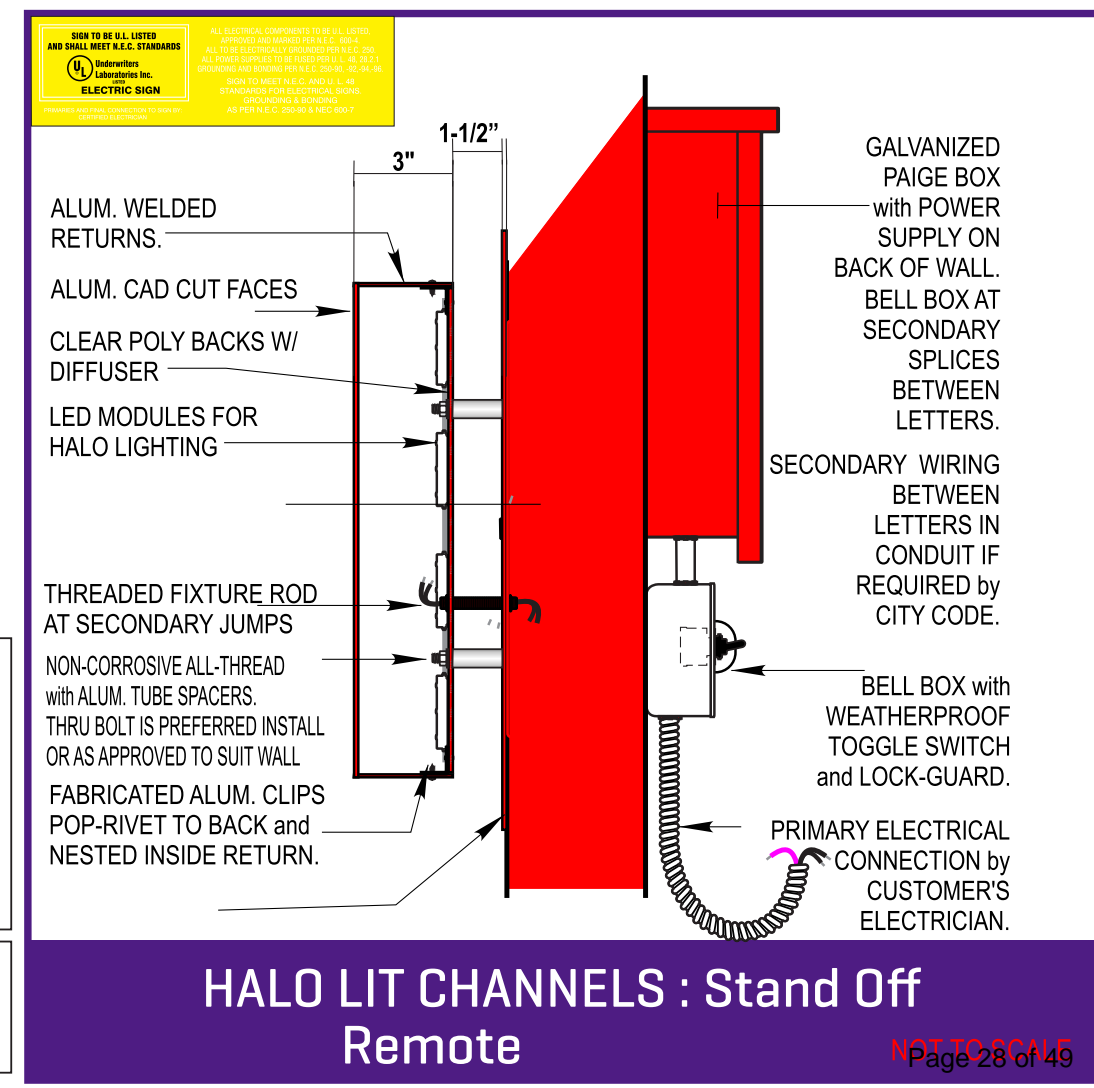


Paint finish to be satin unless otherwise specified

- FACES:** .090" aluminum faces painted
- RETURNS:** 3" deep .063 white aluminum returns; Returns welded to faces; All welds sanded smooth and painted White
- BACKS:** 3/8" Clear polycarbonate w/ Surface applied diffuser film to diffused LED's
- ILLUM.:** Principal Sloan White LED's as required by manufacturer; **Remote Power Supplies**
- INSTALL:** Channel letters mechanically fastened to backer panel with 1-1/2" stand off

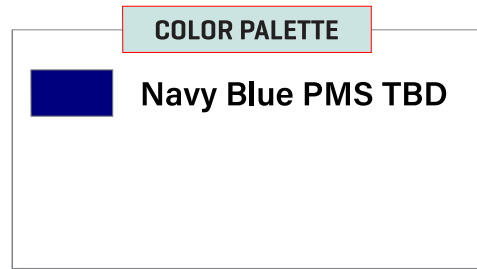
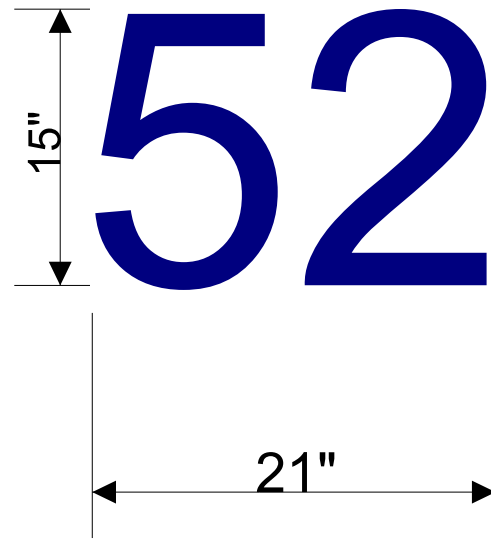
ALL SIGNS TO COMPLY WITH UL 48 AND WILL BE MARKED AS SUCH WITH APPROPRIATE LABORATORY LABELS.
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) (1) OF THE NATIONAL ELECTRIC CODE.



HALO LIT CHANNELS : Stand Off Remote

**PRELIMINARY SIGNAGE TECHNICAL DRAWINGS
LETTERING FOR CANOPY SIGNAGE
FONT TO BE UPDATED PER MASTER SIGN PLAN**



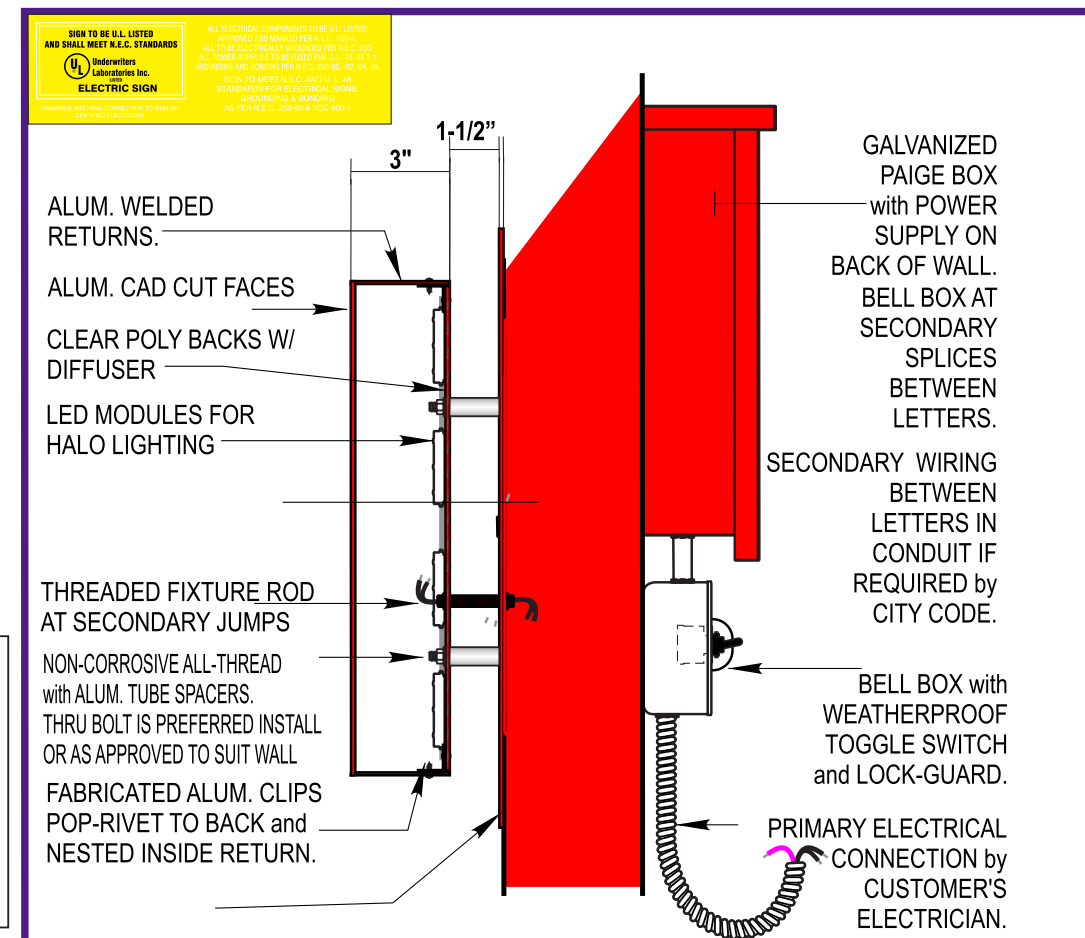
Paint finish to be satin unless otherwise specified

- FACES:** .090" aluminum faces painted
- RETURNS:** 3" deep .063 white aluminum returns; Returns welded to faces; All welds sanded smooth and painted White
- BACKS:** 3/8" Clear polycarbonate w/ Surface applied diffuser film to diffused LED's
- ILLUM.:** Principal Sloan White LED's as required by manufacturer; **Remote Power Supplies**
- INSTALL:** Channel letters mechanically fastened to backer panel with 1-1/2" stand off

ALL SIGNS TO COMPLY WITH UL 48 AND WILL BE MARKED AS SUCH WITH APPROPRIATE LABORATORY LABELS.

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**HALO LIT CHANNELS : Stand Off
Remote**

**PRELIMINARY SIGNAGE TECHNICAL DRAWINGS
LETTERING FOR CANOPY SIGNAGE
FONT TO BE UPDATED PER MASTER SIGN PLAN**



COLOR PALETTE

Navy Blue PMS TBD

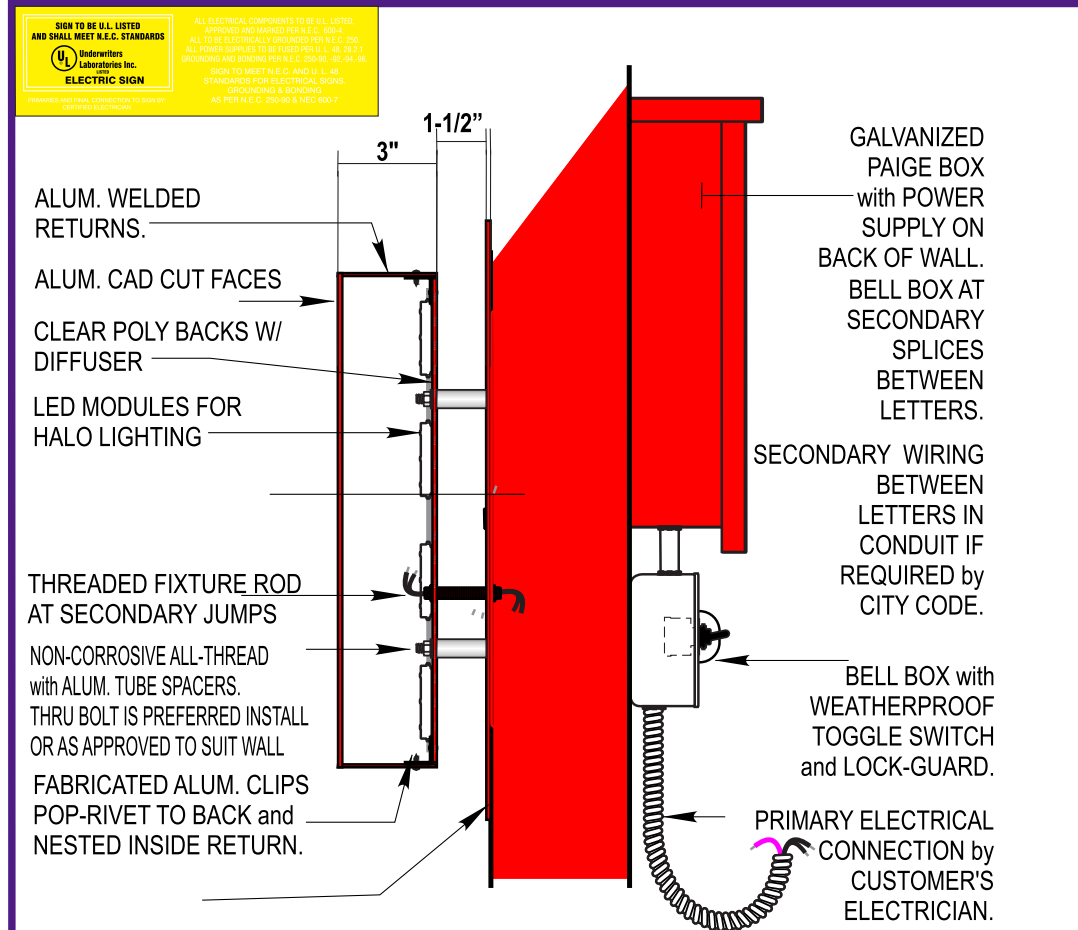
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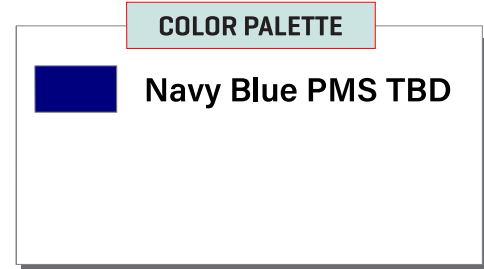


HALO LIT CHANNELS : Stand Off Remote

**PRELIMINARY SIGNAGE TECHNICAL DRAWINGS
LETTERING FOR CANOPY SIGNAGE
FONT TO BE UPDATED PER MASTER SIGN PLAN**

BURLINGTON TECHNICAL CENTER

13" (height)
300" (width)



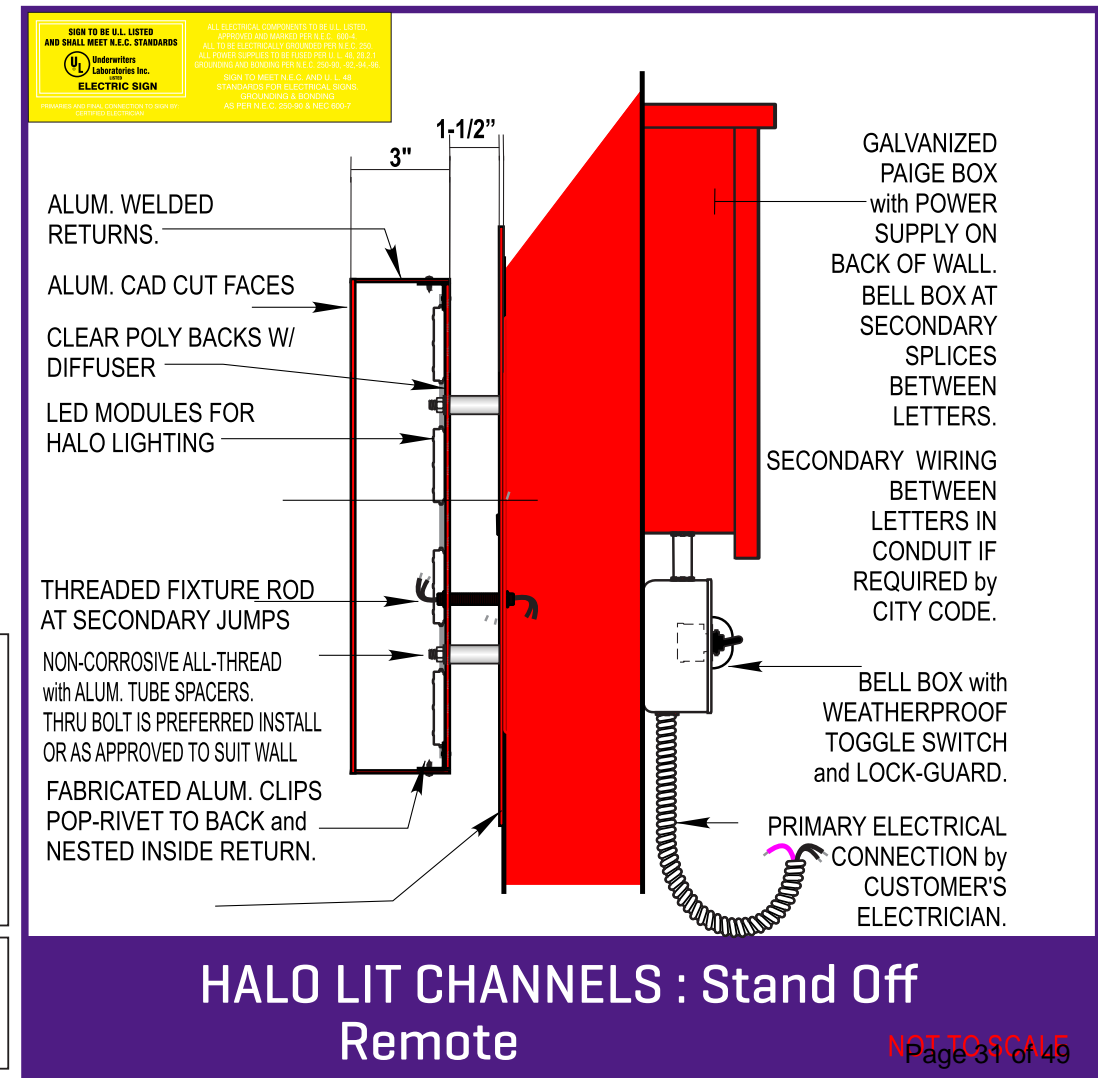
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THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) (1) OF THE NATIONAL ELECTRIC CODE.



PROJECT #	DESIGN NAME	VARIATIONS	QTY	SINGLE or DOUBLE SIDED	HEIGHT	WIDTH	OUTPUT	MATERIALS	DATE
250898	Burlington High School - Site Signs	1 ea	28 total	S/S	5"	x 36"	Reflective white on dark blue sign panels		9-9-25

Color

white reflect on dark blue

- #2: double sided, 6 panels (reverse arrows on side 2)
- #3: single sided, 4 panels
- #4: single sided, 3 panels
- #5: 2 units (5a, 5b), double sided, 3 panels (reverse arrows on side 2)
- #6: single sided, 3 panels

sign #2 - double-sided

sign #3 - single-sided

sign #4 - single-sided

SIDE 1

SIDE 2

→ BHS	← BHS
→ BTC	← BTC
↑ COMMUNITY GYM	↑ COMMUNITY GYM
BUS ACCESS ONLY (BSD define hours)	BUS ACCESS ONLY (BSD define hours)
NO BEACH PARKING	NO BEACH PARKING
NO SMOKING OR TOBACCO	NO SMOKING OR TOBACCO

→ BHS
↑ BTC
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ BTC
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ BHS
→ BTC
↑ COMMUNITY GYM
BUS ACCESS ONLY (BSD define hours)
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ BHS
↑ BTC
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ BTC
NO BEACH PARKING
NO SMOKING OR TOBACCO

sign #5 - double-sided

sign #6 - single-sided

SIDE 1

SIDE 2

→ COMMUNITY GYM	← COMMUNITY GYM
NO BEACH PARKING	NO BEACH PARKING
NO SMOKING OR TOBACCO	NO SMOKING OR TOBACCO

AUTHORIZED ACCESS ONLY
NO BEACH PARKING
NO SMOKING OR TOBACCO

→ COMMUNITY GYM
NO BEACH PARKING
NO SMOKING OR TOBACCO

AUTHORIZED ACCESS ONLY
NO BEACH PARKING
NO SMOKING OR TOBACCO

**PRELIMINARY SIGNAGE TECHNICAL DRAWINGS
SITE DIRECTIONAL SIGNAGE
PROVIDED FOR ILLUSTRATION OF SIGN TYPE -
WORDINGS AND FONT TO BE UPDATED**



466 Shunpike Rd., Williston, VT 05495
802-879-7969 • info@sbsigns.net

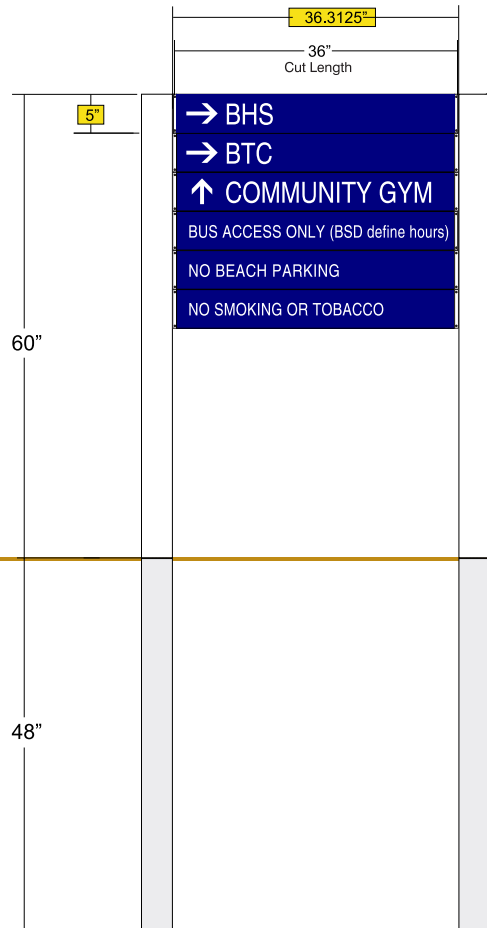
sbsigns.net

SIGNATURE: _____

I have verified that spelling and content are correct. I am satisfied with the document layout. I understand that my document will print EXACTLY as it appears. I assume all responsibility for typographical errors.



SIDE 1



• Sign System: E-Z Change Wordbars

- (1) Wordbar: (H) 5" x (L) 36" x (D) 2.25"
- (2) Wordbar: (H) 5" x (L) 36" x (D) 2.25"
- (3) Wordbar: (H) 5" x (L) 36" x (D) 2.25"
- (4) Wordbar: (H) 5" x (L) 36" x (D) 2.25"
- (5) Wordbar: (H) 5" x (L) 36" x (D) 2.25"
- (6) Wordbar: (H) 5" x (L) 36" x (D) 2.25"

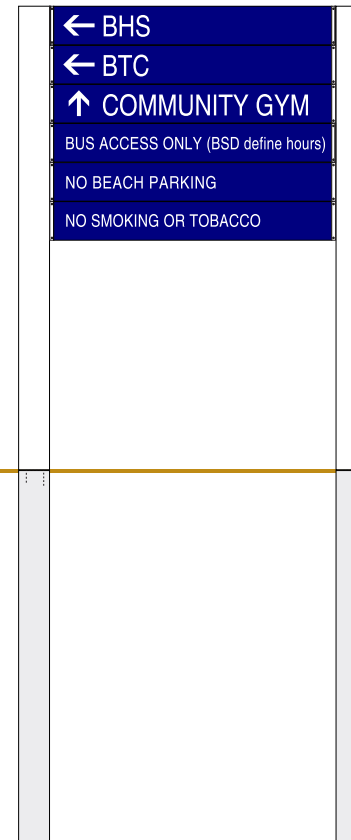
• Paint:

- Standard White - Wordbars, Posts, Caps

• Double Post Mount

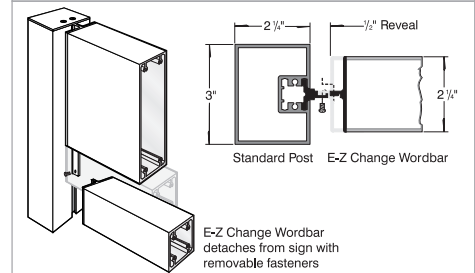
- (2) Post Size: 4" x 4" (L) 108" with Caps

SIDE 2



Represents
6 ft.

E-Z Change Wordbar Detail



**PRELIMINARY SIGNAGE
TECHNICAL DRAWINGS
SITE DIRECTIONAL SIGNAGE**



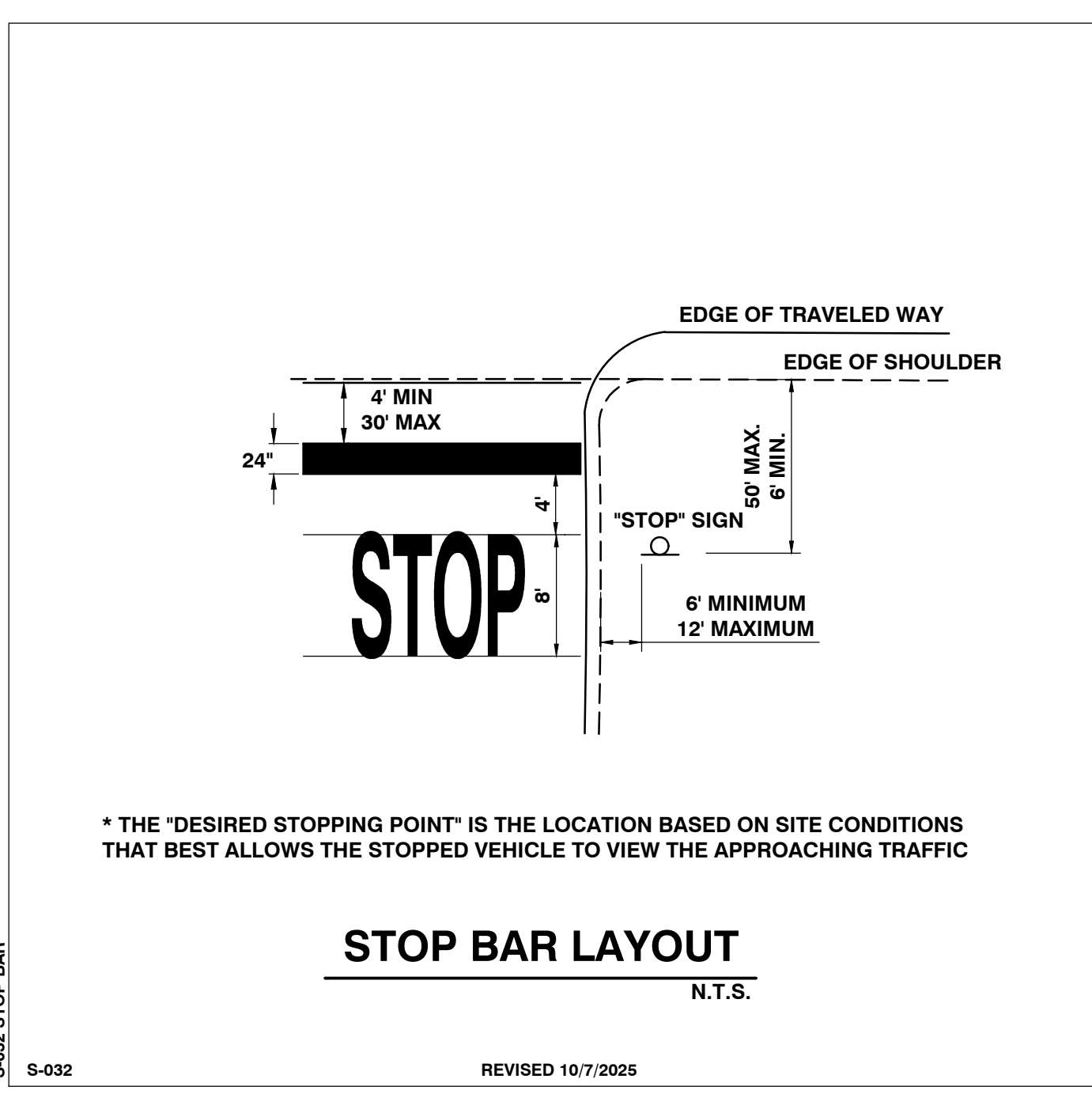
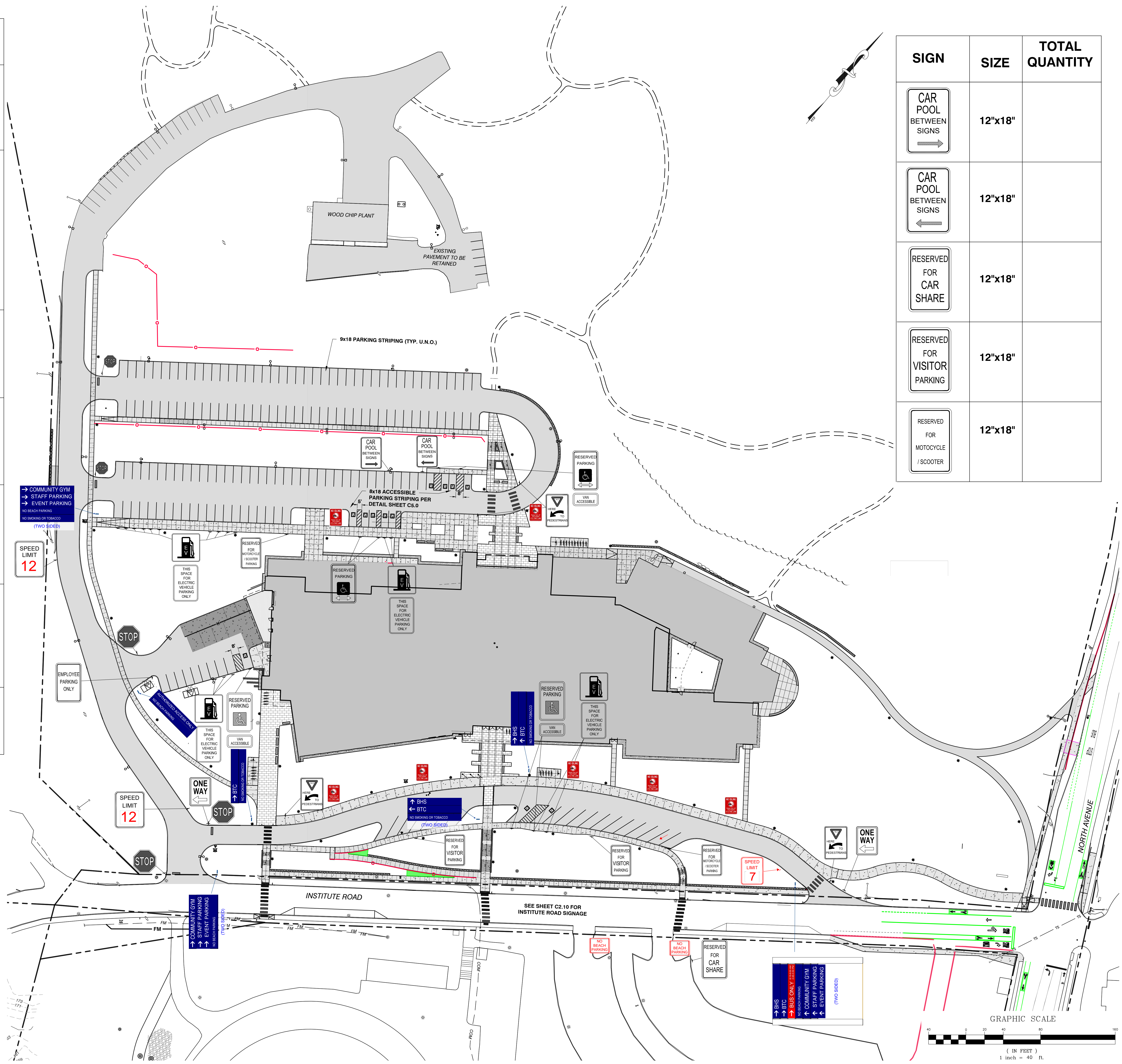
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802-879-7969 • info@sbsigns.net

sbsigns.net

Color
white reflect on dark blue

SIGN	MUTCD CODE	SIZE	TOTAL QUANTITY
	R1-1	30"x30"	
	D9-11b	24"x24"	
		24"x18"	
	R1-5aL	24"x18"	
	R6-2L	24"x18"	
	R7-8	12"x18"	
	R7-8a	12"x6"	
	R7-8D	12"x18"	
	R7-8a	12"x6"	
	R2-1	24"x18"	

SIGN	SIZE	TOTAL QUANTITY
	12"x18"	
	12"x18"	
	12"x18"	
	12"x18"	
	12"x18"	



fff
freeman | french | freeman
81 Maple Street • Burlington VT 05401
802-664-6844 • www.fffinc.com
Architects • Planners • Interiors

CLA
Colin Lindberg Architects
208 Flynn Ave # 2B
Burlington, VT 05401
802-664-4950

DRA
Design Resources Architects, Inc.
100 North Main Street, Suite 100
Burlington, VT 05401
www.dra.com

Civil Engineering Associates, Inc.
20 MARSHFIELD VILLAGE, SOUTH BURLINGTON, VT 05403
P: 802-664-2222 F: 802-664-2211 www.civileng.com

BURLINGTON HIGH SCHOOL & BURLINGTON TECHNICAL CENTER

52 INSTITUTE ROAD, BURLINGTON, VERMONT

CEA PROJECT NO: 21255

ORIGINATOR DATE: 10/21/2025 SCALE: 1" = 40'

DRAWN BY: MAB CHECKED BY: DSM

ISSUE LOG:
CD ISSUE - 06/23/2023

SHEET CONTENTS:
PROPOSED PAVEMENT MARKING PLAN

SHEET NO: **C2.11**

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**SOUTHEAST VIEW: MONUMENT SIGN -
VIEW FROM INSIDE CONSTRUCTION FENCE, CORNER SIDEWALK IS TWICE
AS FAR BACK AND HAS MORE VIEW TO THE BUILDING FROM CORNER**



SOUTHEAST VIEW: FUTURE ART / MURAL



← 602 North Ave
Burlington, Vermont
Google Street View
Oct 2021 See latest date



Navigation controls including a compass, zoom in (+) and zoom out (-) buttons, and a street view pegman icon.

DIRECTIONAL SIGN: DRIVE ENTRANCE AND BUS HOURS RESTRICTIONS



**DIRECTIONAL SIGN: DRIVE TO UPPER PARKING SIGN
AT END OF PROPERTY (CONSTRUCTION FENCE)**



DIRECTIONAL SIGN: BHS ENTRANCE AND PARKING NOTIFICATION



SOUTH SIDE: BUILDING NUMBER / BURLINGTON HIGH SCHOOL



DIRECTIONAL SIGN: BTC ENTRANCE NOTIFICATION



SOUTH SIDE: TECHNICAL CENTER



DIRECTIONAL SIGN: LOADING DOCK AREA



DIRECTIONAL SIGN: PARKING LOT



NORTH SIDE: COMMUNITY GYMNASIUM



NORTH SIDE: BURLINGTON HIGH SCHOOL



DESIGN ADVISORY BOARD

January - December 2026

Adopted {date}

Regularly Scheduled Meetings - 2nd and 4th Tuesdays

Date of Meeting	Day of Week	Time	Location	Application Deadline Wed 4pm
January 13, 2026	Tuesday	3:00 PM	DPI Conference Room	December 31, 2025
January 27, 2026	Tuesday	3:00 PM	DPI Conference Room	January 14, 2026
February 10, 2026	Tuesday	3:00 PM	DPI Conference Room	January 28, 2026
February 24, 2026	Tuesday	3:00 PM	DPI Conference Room	February 11, 2026
March 4, 2026	Wednesday	3:00 PM	DPI Conference Room	February 18, 2026
March 17, 2026	Tuesday	3:00 PM	DPI Conference Room	March 4, 2026
April 14, 2026	Tuesday	3:00 PM	DPI Conference Room	April 1, 2026
April 28, 2026	Tuesday	3:00 PM	DPI Conference Room	April 15, 2026
May 12, 2026	Tuesday	3:00 PM	DPI Conference Room	April 29, 2026
May 26, 2026	Tuesday	3:00 PM	DPI Conference Room	May 13, 2026
June 9, 2026	Tuesday	3:00 PM	DPI Conference Room	May 27, 2026
June 23, 2026	Tuesday	3:00 PM	DPI Conference Room	June 10, 2026
July 14, 2026	Tuesday	3:00 PM	DPI Conference Room	July 1, 2026
July 28, 2026	Tuesday	3:00 PM	DPI Conference Room	July 15, 2026
August 11, 2026	Tuesday	3:00 PM	DPI Conference Room	July 29, 2026
August 25, 2026	Tuesday	3:00 PM	DPI Conference Room	August 12, 2026
September 8, 2026	Tuesday	3:00 PM	DPI Conference Room	August 26, 2026
September 22, 2026	Tuesday	3:00 PM	DPI Conference Room	September 9, 2026
October 13, 2026	Tuesday	3:00 PM	DPI Conference Room	September 30, 2026
October 27, 2026	Tuesday	3:00 PM	DPI Conference Room	October 14, 2026
November 10, 2026	Wednesday	3:00 PM	DPI Conference Room	October 28, 2026
November 24, 2026	Tuesday	3:00 PM	DPI Conference Room	November 12, 2026
December 8, 2026	Tuesday	3:00 PM	DPI Conference Room	November 25, 2026

Date adjustment for meeting location conflicts and Election Day.

