



Advisory Committee on Accessibility

Monday, May 19, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.

Meeting Invite information

Zoom Link: <https://zoom.us/j/92356452507?pwd=Zk6QCJswEJla4hSa3seazYvWwFa3Uh.1>

Webinar ID: 923 5645 2507

Passcode: 120399

1. Adopt the Agenda

2. Adopt Minutes

Subject	2.1. Approval and Adoption of the April 21st minutes of the Burlington Advisory Committee on Accessibility as posted on Civic Clerk
Meeting	May 19, 2025 - Burlington Advisory Committee On Accessibility - Monday, May 19, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.
Category	2. Adopt Minutes
Department	Other
Type	
Recommended Action	

3. Committee Member Introductions

4. Public Forum

5. News & Updates

Subject	5.1. Update on appointments to the committee
Meeting	May 19, 2025 - Burlington Advisory Committee On Accessibility - Monday, May 19, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.
Category	5. News & Updates

Department Other

Type

Recommended Action

6. Discussion on Accessable Parking

7. Operating Budget request

8. Capital funding request to install elevator at Leddy Areen

Subject	8.1. Leddy Elevator Request, and Scope Documents
Meeting	May 19, 2025 - Burlington Advisory Committee On Accessibility - Monday, May 19, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.
Category	8. Capital funding request to install elevator at Leddy Areen
Department	Other
Type	
Recommended Action	

9. Other Business

10. Adjournment of Public Meeting

11. Informational and Non-Discrimination Statements



**BURLINGTON ADVISORY COMMITTEE ON ACCESSIBILITY
THIS HYBRID MEETING WILL TAKE PLACE IN THE SHARON BUSHOR
CONFERENCE ROOM, FIRST FLOOR OF CITY HALL 149 CHURCH STREET,
BURLINGTON, VERMONT AND ONLINE OVER ZOOM.
MINUTES OF MEETING
April 21, 2025**

1. Adopt the Agenda

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Meeting Called to order at 3:05 pm by Nate Besio

Motion to Adopt the agenda as written

Motioned by Katherine Schad, seconded by Karen Downey

Final Resolution: Motion Passes

Yes: Unanimous

2. Adopt Minutes

2. Adopt Minutes

Subject	2.1. Advisory Committee on Accessibility Monday, March 17th Meeting Minutes
Meeting	April 21, 2025 - Burlington Advisory Committee On Accessibility - Monday, April 21, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.
Category	2. Adopt Minutes
Department	Other
Type	
	2.1. Advisory Committee on Accessibility Monday, March 17th Meeting Minutes Motion to Adopt the Meeting minutes as written Motioned by Karen Downey, seconded by Scottie Taylor Final Resolution: Motion Passes Yes: Unanimous
Subject	2.2. Advisory Committee on Accessibility - Playground Subcommittee meeting April 10th Meeting Minutes
Meeting	April 21, 2025 - Burlington Advisory Committee On Accessibility - Monday, April 21, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.
Category	2. Adopt Minutes

DRAFT

Department Other

Type

2.2. Advisory Committee on Accessibility - Playground Subcommittee meeting April 10th Meeting Minutes
Motion to Adopt the meeting minutes as written
Moted by Scottie Taylor, seconded by Karen Downey
Final Resolution: Motion Passes
Yes: Unanimous

3. Committee Member Introductions

3. Committee Member Introductions

Joined Online - Nate Besio - Chair & representative of the Vermont Center for Independent Living
Joined Online - John Thomas (He/Him) - Vermont Association for the Blind and Visually Impaired
Joined Online - Karen Downey (She/Her) - Resident of Burlington and Adjunct Faculty Instructor UVM Occupation Therapy Doctoral Program
Joined Online - Lisa Black(She/Her) - Nominee for the committee, disabled physicians assistant, a board-certified patient advocate, licensed ADA coordinator
Joined in Person - Scottie Taylor (They/Them) - Nominee for the committee and Burlington Resident

City Employees

Joined in Person - Tim Williams (He/Him) - Staff support for the committee
Joined in Person - Ashley Parker (She/Her) - Capital Programs Director
Joined in Person - Katherine Schad (She/Her) - Chief Administrative Officer and ADA Coordinator
Joined Online - Sophie Sauv  (She/ Her) - Burlington Parks Recreation and Waterfront Parks Comprehensive Planner

4. Public Forum

4. Public Forum

Brian Lowe - Burlington Resident and member of the Parks Foundation
- Brian Addressed the committee sharing the work that the Parks Foundation is doing in efforts of fundraising and universal design for Burlington parks.

Melanie Jannery(She/Her) - Burlington Resident of the Old North End
- Melanine shared her experience of trying to get an accessible parking space or handicap space placed on her residential street and was surprised the process took more than 6 months. She asked the committee to look into or review the process for how and where accessible parking spaces are located in the city.

5. News and Updates

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Subject	5.1. Communication: HR Committee - Councilor Litwin appointment of member of the public to the committee
Meeting	April 21, 2025 - Burlington Advisory Committee On Accessibility - Monday, April 21, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.
Category	5. News and Updates
Department	Other

DRAFT

Type Communication

Recommended Action waive the reading and place the communication on file

5.1. Communication: HR Committee - Councilor Litwin appointment of member of the public to the committee

Subject 5.2. Communication: Scottie Taylor - comments on Universal Design - Subcommittee on playground Accessibility

Meeting April 21, 2025 - Burlington Advisory Committee On Accessibility - Monday, April 21, 2025, 3:00 PM, This hybrid meeting will take place in the Sharon Bushor Conference Room, first floor of City Hall 149 Church Street, Burlington, Vermont and online over Zoom.

Category 5. News and Updates

Department Other

Type Communication

Recommended Action waive the reading and place the communication on file

5.2. Communication: Scottie Taylor - comments on Universal Design - Subcommittee on playground Accessibility

6. Discussion on Parks Foundation Draft Universal Design Policy

6. Discussion on Parks Foundation Draft Universal Design Policy

Sophie Sauvé shared some information about how the parks foundation and the parks' committee is approaching universal design. The committee discussed how they could support this goal a project as well as more broadly share those universal design principles so that they do not exclusively live within parks only. The committee put forward the idea of reviewing the draft policy at a future meeting.

7. Follow up Discussion on BPRW Design by Subcommittee

7. Follow up Discussion on BPRW Design by Subcommittee

Sophie Sauvé and the Subcommittee reported back on the conversations that were had in the sub-committee meeting as it pertains to accessibility and the proposed plan for Pomeroy Park.

8. Discuss filling final 2 positions required for committee and next steps

8. Discuss filling final 2 positions required for committee and next steps

The committee discussed the final two potential seats to be filled on the slate of proposed committee members to be submitted to the HR committee for consideration before being submitted to council and the mayor for appointment. The two current open seats are for a member of the Burlington Community, and one city staff position.

9. Other Committee Business

9. Other Committee Business

No other committee business

10. Adjournment

10. Adjournment

DRAFT

Subject **10.1. Motion to adjourn**

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Category 10. Adjournment

Department Council and Board

Type

Recommended Action

10.1. Motion to adjourn

Motion to Adjourn
Motioned by Katherine Schad, seconded by Ashley Parker
Final Resolution: Motion Passes
Yes: Unanimous

11. Informational and Non-Discrimination Statements

11. Informational and Non-Discrimination Statements

Subject **11.1. This agenda is available in alternative formats upon request. Persons with disabilities who require assistance or special arrangements to participate are encouraged to contact 802-865-7000 (voice) or 802-865-7142 (TTY) at least 72 hours in advance so that proper arrangements can be made. The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status, crime victim status or genetic information.**

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Category 11. Informational and Non-Discrimination Statements

Department Council and Board

Type

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Proposed BACA Members in Accordance to Resolution for appointment

Three (3) City Staff including the City's ADA Coordinator and the Director of Capital Programs

Katherine Schad (she/her) - ADA Coordinator

Ashley Parker (she/her) – Capital Programs Director

Timothy Williams (He/Him) Safety Manager - dedicated City of Burlington employee and lifelong resident with a deep personal and professional commitment to advancing accessibility and inclusion. Living with less visible disabilities—including hearing loss, clinical depression, ADHD, dyslexia, and other language-based learning disabilities—Tim brings lived experience and insight into the broader spectrum of accessibility needs.

He believes strongly in expanding the conversation around accessibility beyond mobility challenges to include individuals with limited English proficiency and those with cognitive, sensory, and mental health disabilities. Tim has a working knowledge of reasonable accommodations and is passionate about helping create environments where all community members can fully participate.

Three (3) representatives from organizations or programs representing those with a disability

Nate Besio (he/him) – Vermont Center for Independent Living (VCIL) - currently serves as a Peer Advocate Coordinator at the VCIL Burlington office. Prior to that he has over ten years of business and accounting experience, primarily in the non-profit industry working for the State of Vermont and UVM. He is currently serving his 3rd term as a Vermont Human Rights Commissioner and is a committed community leader who has served on many boards.

John Thomas (he/him) Vermont Association for the Blind and Visually Impaired [VABVI] – He has served as the Director of Development for VABVI for seven years. He has been the project manager for VABVI's accessibility work with the City of Burlington Parks and Rec Dept.

Karen Downey (She/Her) – UVM Department of Rehabilitation and Movement Science, Occupational Therapy Graduate Program – As a Burlington resident for over 40 years and a licensed and certified occupational therapist, I wish to be a member of the Burlington Advisory Committee on Accessibility. I have worked with both children and adults who have disabilities in a variety of settings including acute care hospitals, nursing homes, home health agencies and educational settings. Recently I retired from the full-time position of District Occupational Therapist in the Burlington School District where I worked with children with disabilities along with their family members. I am presently an adjunct faculty member of the University of Vermont Occupational Therapy Doctoral program. I am also a Ward 5 election worker as well as a member of Vermont AMBUCS, a non-profit organization that provides adapted tricycles for children and adults with mobility challenges.

As a member of the Burlington Advisory Committee on Accessibility, I wish to assist the city to improve citizen access to city services, buildings and programs. Considering the number of city residents with mobility and other sensory disabilities as well as the aging of our general population, I am interested in offering creative and evidence-based solutions for accessibility problems that the city faces.

At least three (3) people with lived experience who live, work, or spend significant time in Burlington.

Lisa Black (She/Her) Burlington Resident - My goal is to be a valued member of the Accessibility Advisory Committee to the Mayor by offering up my unique lived experience as a disabled person and as a medical professional. Being a certified ADA coordinator who took all the necessary courses and passed the national final certification exam a board certified Physician's Assistant for over 30 years and a board certified Patient Advocate offers a trifecta of advocacy and skills plus being a disabled person myself.

Scottie Taylor (They/them) Burlington Resident - I am recently an "official" addition to the residents of Burlington after years of living here as an undergrad student, grad student, young professional, and now hoping to grow my family here. It is quite a privilege to have the opportunity to be a member of the Advisory Committee on Accessibility. My spouse, Taran [they/she] and I bought our home on Shelburne St, and talk often of how excited we are to add a younger generation to our home. Milo, our cat [he/him] shares our home, is exclusively an indoor cat, and loves being a BTV cat.

Burlington has *felt like* home for me all these years - I've loved everything from Church Street to the bike path to Oakledge to the small city parks sprinkled throughout. I love our old city buildings and our charming pockets of community within the city. In order for me to know I love these parts of our city, I have the privilege of easily accessing them - in some ways they were designed with my body in mind. Not all bodies were considered, and now we have the opportunity to amend and learn from time and experience. I love that I have an opportunity to bring my lens to a Committee committed to making all these parts of Burlington accessible to all, so they can discover what pockets of Burlington they love the most.

As a Physical Therapist with a variety of experiences, I hope to bring insights from many perspectives - families with children who feel overwhelmed in accessing the community, alternative mobility considerations, neurodivergent considerations, and anything I might not be familiar with, I am not one to shy away from a conversation filled with curiosity and learning.

Thank you again for your consideration in my participation in your Advisory Committee. If it feels like it might be a good fit, I look forward to working with you all. If, for now, you find another whom brings what is needed, thank you for your work in making Burlington feel like an accessible home to all.

Sharon Henault (She/Her) Burlington Resident – Sharon Henault is a 70 year old woman with cerebral palsy who is lucky enough to have lived through the civil rights and IL movements for people with disabilities.

She has worked for the Governor's Committee on Employment for Persons with Disabilities (GCEPD) (formerly "for handicapped,"), as a Vocational Rehabilitation counselor, an advocate for United Cerebral Palsy and a navigator for the Federation for Children's Mental Health.

She has served on many boards and commissions that work to protect and expand the civil rights for people with disabilities. She also helped start the Vermont Center for Independent living (VCIL)

City of Burlington Capital Program

CT Office | DPW | BPRW | I&T| BCA | CEDO | Public Safety



To: Burlington Advisory Committee on Accessibility (BACA)

Fr: Ashley Parker, Capital Program Director

Date: May 19, 2025

Re: Allocation of Capital Funds for Installation of Elevator at Leddy Arena

Overview:

Over the last several Fiscal Years, the City has set aside a combination of bond proceeds and General Fund revenues for Accessibility Projects. To-date this money has not been spent or discussed, and the Capital Program Director would like to discuss an opportunity to spend these funds (\$150,000 in total) in FY26 with BACA.

Project – Leddy Arena Elevator:

The City has identified a major need at the Leddy Arena in order to make that building more accessible to all regardless of abilities. Adding an elevator to the arena building was identified as a project in the Leddy Park Comprehensive Plan (2023). The arena currently does not have an elevator, and the only way to get to the main facilities of the arena from the upper level if you are a person using a wheelchair or other mobility device is to go outside and down a road, which is not accessible per ADA, to access the public bathroom or participate in other activities provided at the main level of the arena. Alternatively, there are ADA parking spaces located behind the arena adjacent to the main level of the arena, but spaces are limited, located in an obscure location and one must cross the Greenway to access the limited spaces.

City staff have done some work to try and identify how an elevator could be installed in this facility, and have some early cost estimates for implementation. At this time, there is an estimate of \$150,000 to complete this project.

The Capital Program Director would like to request BACA consider this project and provide a recommendation on whether this project would meet the criteria for use of available capital funds that have been allocated to support accessibility projects throughout the City. If BACA is supportive of the project and would like to see it move forward, the Capital Program Director would work to ensure it is part of the FY26 Capital Budget and connect with the City Teams that would move it forward to implementation.

Staff is sharing project documentation related to proposed design for reference. Please note that these plans are subject to change, but is being shared as a concept for the overall project.

Funding:

As noted above, the funding for this project would be from the Accessibility Project's budget of \$150,000 (see Budget Table below). If the project moves forward and the City identifies an additional funding need, the Capital Program Director will work to identify whether there are any other funding sources available to help support the completion of this project. If BACA does not support the use of

City of Burlington Capital Program

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these funds for this project, it is unlikely that there will be other Capital revenues available to support the total cost of the project in FY26 and the project will need to be delayed.

Leddy Arena Elevator Project Budget	
Project Cost Estimate (5/19/2025)	\$150,000.00
Revenues Available:	
Annual CIP Bond Proceeds (2023A)	\$50,000.00
GF (ARPA Revenue Reimbursement (FY22))	\$100,000.00
Total Revenues:	\$150,000.00

Recommendation:

The Capital Program Director is requesting that BACA consider recommending the use of the available capital accessibility funds, in the amount of \$150,000, to support the implementation of an elevator at Leddy Arena in order to make that City facility accessible to all members of the public.

JAY WHITE, ARCHITECT, PLC

86 ST. PAUL STREET, SUITE 313, BURLINGTON, VERMONT 05401
Phone: (802) 793-1850 Email: jaywhitevt@gmail.com

April 21, 2023

Scope of Work and Specifications for new **LULA ELEVATOR** at **LEDDY PARK ARENA** 216 Leddy Park Road, Burlington, Vermont

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A2 PROPOSED SECOND FLOOR PLAN	
A3 SECTION THROUGH SHAFT LOOKING NORTH	
A4 SECTION THROUGH ELEVATOR EQUIPMENT ROOM & STORAGE ROOM LOOKING NORTH	
E1 ELECTRICAL FIRST FLOOR PLAN	
E2 ELECTRICAL SECOND FLOOR PLAN	

Division 1: Summary of Work and General Conditions

A. GENERAL LU/LA ELEVATOR REQUIREMENTS

The product described herein, manufactured by Savaria is an elevator designed and dimensioned to provide Limited Use/Limited Application (LULA) **elevator** to suit individual building requirements for use by persons with disabilities. Provide the ORION Commercial LU/LA **Elevator** manufactured by Savaria or equal elevator (**not a platform lift**), and as supplied and installed by **Accessibility Systems, Inc. (802) 434-3499** Contact is Bob Weber.

B. SUMMARY OF WORK

1. The new elevator will be installed in southeast corner of the bleacher area of the existing Leddy Park Arena. The location is chosen to avoid the need of cutting into the upper level concrete slab at rear of the existing wood bleachers. The elevator will have just two stops to connect the upper and lower levels of the arena which are not now wheelchair accessible without exiting the building and using the exterior doors to reach each level.



2. Remove just the top four 2x10 wood bleacher seats and 2x10 wood bleacher floors between them. Only parts of the metal framing supporting the bleachers will be removed as indicated on Drawing A1.

3. Saw cut the lower concrete slab exactly where shown on sheet A1 of the drawings. This location is chosen to avoid interference with any of the 5'6" x 5'6" x 15" thick building frame foundations, which are also shown on sheet A1.

4. The elevator will require a concrete pit that will be 14" deep of the size and rectangular shape indicated on drawing A1. Provide new concrete walls around the pit that will support the wood framed shaft as indicated on Drawing A3.

5. Install the elevator shaft and its adjacent elevator equipment room where show on Drawing A1. There will be a storage closet installed above the elevator equipment room. Although the elevator equipment room will fit underneath the top floor bleachers, the view of the arena would be blocked by the new elevator shaft making these seats useless. The storage closet that will be located directly above the elevator equipment room will have access only from the upper level walkway. The removed wood bleacher seats and floor, all of which are made of 2x10 boards, can be reused to make the floor.

6. The elevator shaft and the elevator equipment room need to have 1-hour fire construction consisting of 2x4 wood stud framing and 5/8" Firecode Sheetrock construction.

7. All of the weight of the elevator cab is carried on two pairs of back-to-back 2x10 continuous, vertical wood blocking set between 2x4 wood studs at the locations shown on Drawing A1. Note that the 2x10 back-to-back blocking board are NOT centered in the long walls of the elevator shaft. (Warning; in two of the four cases where I have specified this same elevator, the carpenter in the field did not carefully look at the drawings and located the 2x10 blocking in the center of the shaft, causing this part of the work being re-done before the elevator supplier (Weber Accessibility Systems) could install the elevator.

8. The elevator will operate on single phase power but it requires four separate dedicated circuits as indicated in the elevator electrical specifications and on Drawing E1.

9. The General Contractor will be responsible for the concrete work, walls, doors hardware, ceilings, painting and finishes.

The Electrical sub-contractor will bring four dedicated lines from the existing panel in the southwest corner of the existing concessions stand room. There is adequate open circuits to install the required additional circuit breakers require for the elevator, plus a fifth circuit to provide light and an outlet in the new storage closet that will be built above the elevator equipment room.

10. The Elevator Sub-contractor will install all of the elevator tracks, and all of the elevator parts. He/she is also responsible for the proper alignments an all adjustments to assure that the elevator operates properly. The elevator will be factory painted "Architectural White". Door frames and doors for the storage room and the elevator equipment room will be part of the general contractor's work.

C. GENERAL CONDITIONS:

3. BURLINGTON STANDARD CONTRACT CONDITIONS for CONSULTANTS and related insurance requirements applies to all parts of this project, and will be included in the final construction contract.

4. The Contractor will be furnished, free of charge a digital PDF version of the Drawings and Specifications from the Architect.

5. Construction Contract shall be prepared by the Owner using Burlington's standard construction contracts and related exhibits related to general requirements.

6. Cost of Bonds and Insurance shall be carried in the Contract Sum.

7. Contractors may use the public restrooms in the building.

8. The existing building must remain accessible and in operation throughout the project.

D. SUBMITTALS

1. Within 15 days of the date established for "Notice to Proceed," submit confirmation drawings and specifications provided by the Vendor of the Savaria Orion model with approximate delivery confirmation time from the Vendor.

DIVISION 3, CONCRETE

A. ELEVATOR PIT

1. Use a concrete saw to cut out the area required for the elevator pit.
2. Dig down 18" for the elevator pit and install a level concrete pit floor over an 8 mill vapor barrier.
3. Install a 4" thick concrete slab to bring the top of the elevator pit slab 14" below the existing concrete floor. Use 3000 PSI concrete reinforced as indicated on Drawing A3.
4. Use a steel trowel to finish and smooth the new concrete at the top of the pit walls to be even and blend with the existing concrete floor that will remain.
5. Seal the top and sides for the concrete pit with a clear concrete sealer.

DIVISION 6: CARPENTRY

A. FRAMING

1. Provide 2x4 stud walls with studs located as shown on Drawings A1 and A2. Use 5/8" Firecode Sheetrock on the stud walls.
2. Within the framing of the south wall of the elevator shaft, install two pairs of back-to-back 2x10 vertical planks the full height of the shaft. It is important to locate the planks at the dimensions indicated on Drawing A1. The vertical planks are NOT to be located in the center of the shaft.
3. At the height of the second floor, pin the studs of the shaft wall into the west edge of the existing concrete slab behind the bleachers using 3/8" x 12" lag bolts, epoxied into place inside the existing slab.
4. At the top of the shaft and the elevator shaft at 5/8" Firecode Sheetrock to create a 1-hour fire barriers.
5. At the top of the elevator equipment room, install 5/8" Firecode Sheetrock on the ceiling of the elevator equipment room. At the floor of the storage room above, install 5/8" Advantech subfloor. Finish floor can be reused planks removed from the shaft area. These planks will cantilever over the east wall of the elevator equipment room to cover the distance between the east wall of the elevator equipment room and the existing edge of the concrete slab behind the bleachers at the upper level.
6. Add 4" coved vinyl baseboard at the walls of the storage room, equipment room and all walls facing the arena and its walkways.

DIVISION 8: DOOR AND HARDWARE

A. DOORS AND FRAMES

1. Provide and install 60 minute fire rated 1-hour doors at the elevator equipment room and the storage closet above it.
2. Install both doors in hollow metal frames without additional trim.

B. HARDWARE

1. Install doors on three hinges and provide a keyed lockset with lever handle.

C. FIRE RATED VENT IN ELEVATOR EQUIPMENT ROOM

1. Install a 1-hour fire-rated louver in the south wall of the elevator equipment room with a fusible link that will self-close in the event of a fire. Size can be 12" x 12" or similar area in a rectangle shape instead of square.

DIVISION 9: PAINTING

A. WALLS OF THE ELEVATOR SHAFT, EQUIPMENT ROOM AND STORAGE ROOM

1. Paint shall be "Duration" by The Sherwin-Williams Company or approved equal. Colors to be selected by architect, but will generally match existing.

2. Sheen for all sheet rock finishes shall be satin or eggshell.

3. Paint inside and outside of the elevator equipment room and the storage room. Do not paint the inside of the elevator shaft, but taping is required to maintain the required 1-hour fire rating.

B. DOORS AND FRAMES

1. Paint new hollow metal doors the same color.

2. Include primer and two coats of paint.

3. Sheen on metal doors and hardware shall be semi-gloss.

DIVISION 14: ELEVATOR

A. GENERAL ELEVATOR REQUIREMENTS

The product described herein, manufactured by Savaria is an elevator designed and dimensioned to provide Limited Use/Limited Application (LULA) **elevator** to suit individual building requirements for use by persons with disabilities. Provide the ORION Commercial LU/LA **Elevator** manufactured by Savaria or equal elevator (**not a platform lift**), and as supplied and installed by **Accessibility Systems, Inc. (802) 434-3499**. Contact person is Bob Weber. Manufacturer's Web: site: <http://www.savaria.com>. Manufactures of other elevators will be acceptable if specification, size and material is identical.

B. SYSTEM DESCRIPTION

1. Limited Use Limited Application Elevator: Savaria model: Orion

Work described in this section includes providing equipment, incidental material and labor required for complete, operable roped hydraulic passenger elevator installation. Elevator shall be erected, installed, adjusted, tested and placed in operation by system manufacturer, or manufacturer's authorized installer.

2. Elevators shall be in accordance with the ASME A17.1 section 5.2 and ADA compliant including local codes and regulations except where specified otherwise.

3. The following work related to the elevator specified in this section is part of the work of other sections:

- A. Permanent 240 VAC, 50 amp single phase power to operate elevator to be provided from a lockable fused/cartridge type disconnect switch with auxiliary contacts for battery operation. 120 VAC, 15 amp single phase power provided from a lockable fused/cartridge type disconnect switch to operate the lighting circuit. Refer to Electrical drawings for permanent power specifications and location of disconnects. Temporary power may be provided to expedite installation of lift.
- B. Provide a plumb and square hoist way with smooth interior surfaces. (Hoist way is by General Contractor.)
- C. Provide rough openings per lift contractor's shop drawings.
- D. Provide blocking in walls to support rail brackets and landing door struts.
- E. Provide grouting of landing sills
- F. Provide finished cab flooring. Floor covering is specified in Division 9.
- G. Provide substantial, level pit floor slab as indicated on the lift contractor's shop drawings. Pit shall be cut into the existing slab and a new slab will be poured for the elevator pit at a depth of 14”.

4. Hydraulic LU/LA Passenger Elevator: The lift described here, manufactured by Savaria Elevators and Lifts, is a LU/LA Elevator consisting of a roped hydraulic drive with a fire-rated steel cab.

- A. Savaria model: Orion
- B. Rated Load: 1400 lb (635 kg)
- C. Rated Speed: 30 f.p.m. (nominal) (0.18 m/s)
- D. Usable Car Dimensions: 48 inches by 54 inches (1220 mm by 1372 mm)
- E. Number of Openings: 2 Label openings “1” and “2”. DO NOT USE “B” and “1”.
- F. Max. Travel: 25 feet (7000 mm).
- G. Pit Depth: 14”.
- H. Clear Overhead: As indicated on the drawings.
- I. Operations: Collective automatic.
- J. Power Supply: 120 volt single phase. Electrical contractor shall provide four separate dedicated circuits for the sole use of the elevator.
- K. Drive System: 2:1 roped hydraulic.
- L. Paint: Powder coat finish.
- M. Emergency Power: Battery operation in down direction
- N. Controller: PLC
- O. Motor/Pump: 220/208VAC, 5HP
- P. Manual Lowering: Outside the hoist way in machine room.

5. Car Enclosure:

- A. Fire rated steel cab construction, with solid steel cab walls. Cab is not to be constructed of laminate walls.
- B. Wall Finish: Painted in manufacturer’s standard “Architectural White”.
- C. Car Door Return Wall(s): Painted steel in manufacturer’s standard “Architectural

White".

- D. Ceiling Finish: Manufacturer's standard basic ceiling with four recessed LED downlights. Lighting is to turn on automatically upon placement of a call, and shall remain on continuously, nor require an on/off switch.
- E. Telephone: Flush-mount ADA-compliant phone integral with car operating panel.
- F. Car Door Finish: Painted in manufacturer's standard "Architectural White".
- G. Handrail: A single stainless steel handrail, with 1-1/2 inch (38 mm) diameter rail, shall be located on the control wall of the cab.

6. Doors and Gates:

A. Hoist way Doors - Automatic:

- 1) 1 1/2 hour UL/ULC fire rated assembly.
- 2) 36 inches (914 mm) clear opening.
- 3) Concealed electro/mechanical interlock.
- 4) Two speed sliding doors.
- 5) Concealed 24 volt door opener with battery back-up.
- 6) Full-height infrared light screen re-opening device.

7. Car Operation:

- A. Car Operating Panel shall consist of metal push buttons with illuminated haloes, keyed in-car stop switch, emergency alarm button, door-re-open button, and emergency light mounted on a hinged stainless steel panel (Type 304 #4 Stainless Steel Finish). Assure elevator can be keyed to be off when the lower floor is closed.
- B. Digital floor indicator and directional indicator in cab and at each landing. Number stops 1 and 2. (Do NOT number stops B and 1) Set default stop at level 2.
- C. Emergency Operation: The car shall be equipped with a battery operated light fixture, emergency battery lowering device and alarm in case of normal building supply failure. The battery shall be the rechargeable type with an automatic recharging system. A manual lowering device shall be located outside the hoist way in the machine room.

8. Pumping Unit and Control:

- A. 5 HP submersed motor and pump with electronic proportional valve assembly; Allen Bradley Programmable Logic Controller with collective operation; 1:2 roped hydraulic single stage cylinder with over-speed valve.
- B. Smooth stops at each landing.
- C. Adjustable pressure relief valve.
- D. Manually operable down valve to lower lift in the event of an emergency. Pressure gauge isolating valve, manually operable.
- E. Gate valve to isolate cylinder from pump unit.
- F. Emergency lowering by battery power, from the car control.

9. Cylinder and Plunger:

- A. The cylinder shall be constructed of steel pipe of sufficient thickness and suitable safety margin. The top of the cylinder shall be equipped with a cylinder head with an internal guide ring and self-adjusting packing.
- B. The plunger shall be constructed of a steel shaft of proper diameter machined true and smooth. The plunger shall be provided with a stop electrically welded to the bottom to prevent the plunger from leaving the cylinder

10. Leveling Device:

- A. The lift shall be provided with an anti-creep device which will maintain the car level

within 1/2 inch (12 mm) of the top landing. All limit switch and leveling device switches shall be located in a position to be inaccessible to unauthorized persons.

- B. Guide Yoke: The 2:1 guide yoke assembly shall be supplied with two (2) sheaves, guide shoes, bearings and guards.
- C. Control Panel: Stainless steel control panel with Braille/tactile identifications.
- D. Terminal Stopping Devices: Normal terminal stopping devices shall be provided at top and bottom of runway to stop the car positively and automatically.
- E. Guide Rails and Brackets: Steel 8 lb per ft guide rails and adjustable brackets shall be used to guide the platform and sling.
- F. Wiring: All wiring and electrical connections shall comply with applicable codes. Insulated wiring shall have flame-retardant and moisture-proof outer covering and shall be run in conduit or electrical wire ways if located outside the unit enclosure. Quick disconnect harnesses shall be used when possible.

C. EXAMINATION

1. Do not begin installation until hoist way and machine room has been properly prepared.
2. Site dimensions shall be taken to verify that tolerances and clearances have been maintained and meet local regulations.
3. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

D. PREPARATION

1. Clean surfaces thoroughly prior to installation.
2. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.

E. ELEVATOR INSTALLATION

1. Install in accordance with manufacturer's instructions.
2. Install the components of the elevator system that are required by jurisdictional authorities to license the elevator. Provide a separate dedicated circuit for each electrical device in the elevator or elevator equipment room.
3. Trained employees of the elevator contractor shall perform installation work.
4. Adjust elevator for proper operation and clean unit thoroughly.
5. Instruct users in operating procedures and owner's maintenance person in trouble-shooting and maintenance procedures.
6. Install all the components of the lift system that are specified in this section to be provided, and that are required by jurisdictional authorities to license the lift.
7. Trained employees of the lift contractor shall perform all installation work of this section.
8. Adjust lift for proper operation and clean unit thoroughly.
9. Instruct users in operation procedures and Owner's maintenance person in trouble-shooting and maintenance procedures.
10. Coordinate installation of the emergency phone inside the elevator by I.T. and Phone Company used by the Owner to provide a phone inside the elevator cab with a phone on same line as the

building's main line, but with an emergency override to call 911.

F. ELEVATOR INSPECTION

1. Schedule State inspection with AHJ, provide a mechanic to be present and perform required tests for the inspector, and include cost of inspection.

G. PROTECTION

1. Protect installed products until completion of project. Touch-up, repair or replace damaged products before Substantial Completion.

DIVISION 15: ELECTRICAL

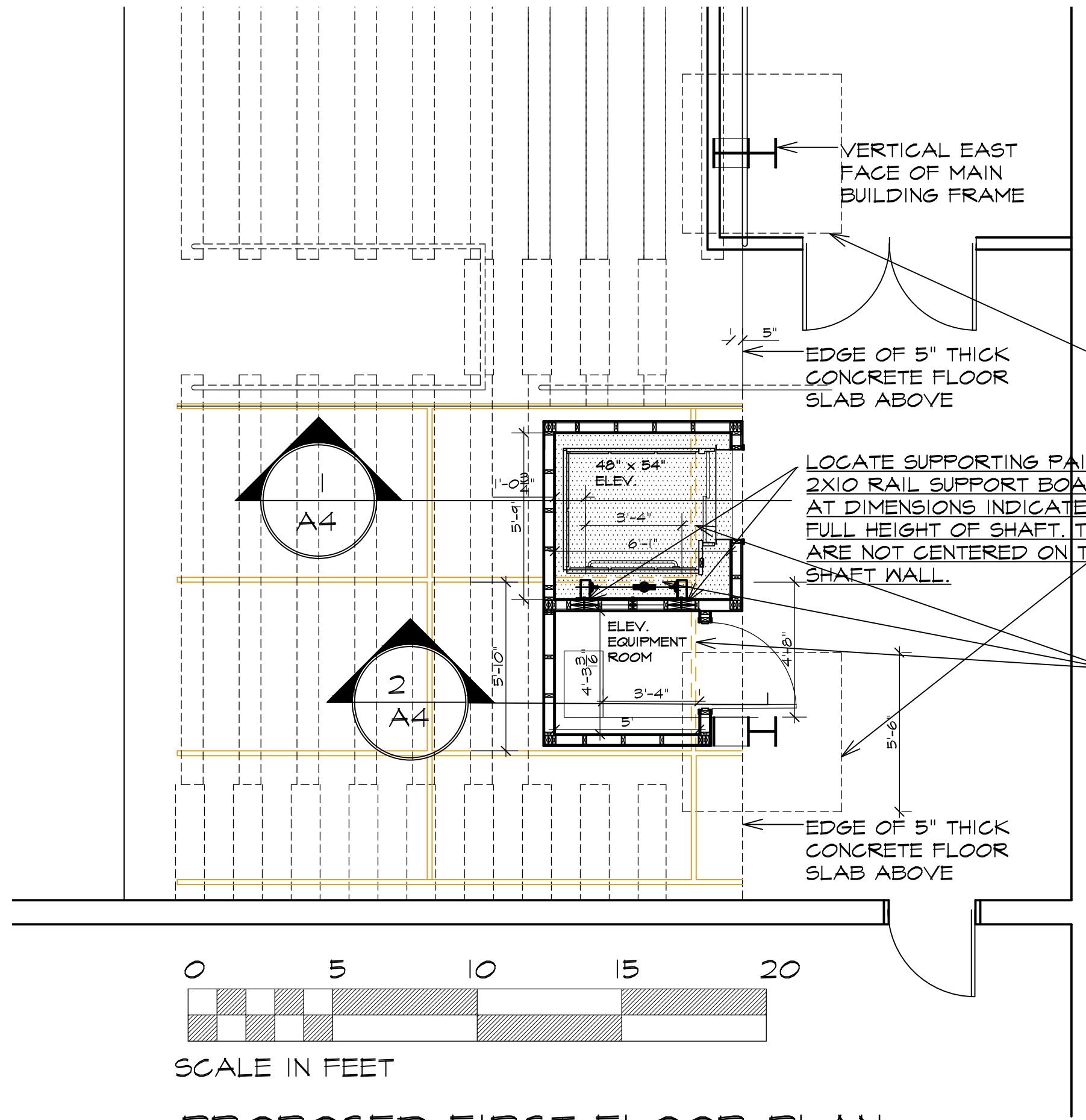
A. SUMMARY OF ELECTRICAL WORK

1. The electrical work shall consist of four new dedicated circuits leading from the existing electrical sub panel in the southwest corner of the existing concessions kitchen. The panel is about 30' south and 80' west of the southeast corner of the main arena.
2. Electrical contractor shall provide 230V single phase 40 AMP 60Hz source in the machine area with manually operated fused line disconnect.
3. 115 VAC single phase, 15 amp, 60Hz power source with manually operated fused line disconnect for car lighting and a light outlet inside the hoist way.
4. Telephone circuit in the machine area.
5. Refer to Electrical drawings E1 and E2 and confirm location of the exact location of disconnects with the elevator vendor.
6. Temporary power may be provided to expedite installation of lift.
7. Provide an electrical outlet in the storage closet above the machine room and a switched light.
8. Light fixtures in the elevator pit, machine room and storage closet shall be 6" diameter LED Disc made by NDR Electric Razor series LED/RZR-LED-600.

B. GENERAL ELECTRICAL REQUIREMENTS

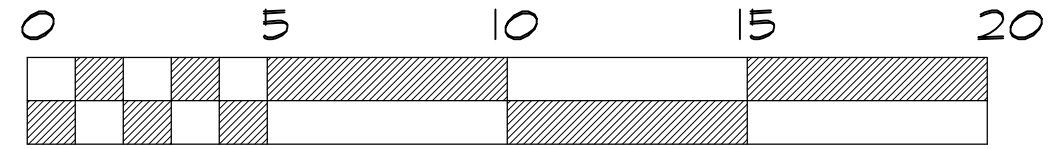
1. Electrical work related to location of outlets, light fixtures, and switches required for this work are shown on the Drawings.
2. All wiring inside walls can be in Romex or equal. Metal encased wiring is required when it is surface mounted to the existing walls of the main arena or concession room. All wiring between the panel and the elevator can be surface mounted. Do not paint the exposed galvanized metal conduits.
3. Electrical contractor is responsible for all circuiting requirements as required by code.
4. All electrical lines required for the elevator, in the elevator shaft, or in the elevator equipment room are required to be on four separate dedicated circuits. Confirm exact locations of these four items.
5. Coordinate with elevator supplier locations and function associated with each circuit.

END OF SPECIFICATIONS



LOCATION OF 5'-6" X 5'-6" X 15" FOOTING BELOW. TOP OF FOOTING IS 8" BELOW TOP OF BOTTOM SLAB.

REMOVE THESE TWO DIAGONAL BRACES AND BLEACHER SUPPORT BEAM BETWEEN THEM PLUS THE TOP 3 BLEACHERS.



SCALE IN FEET

PROPOSED FIRST FLOOR PLAN

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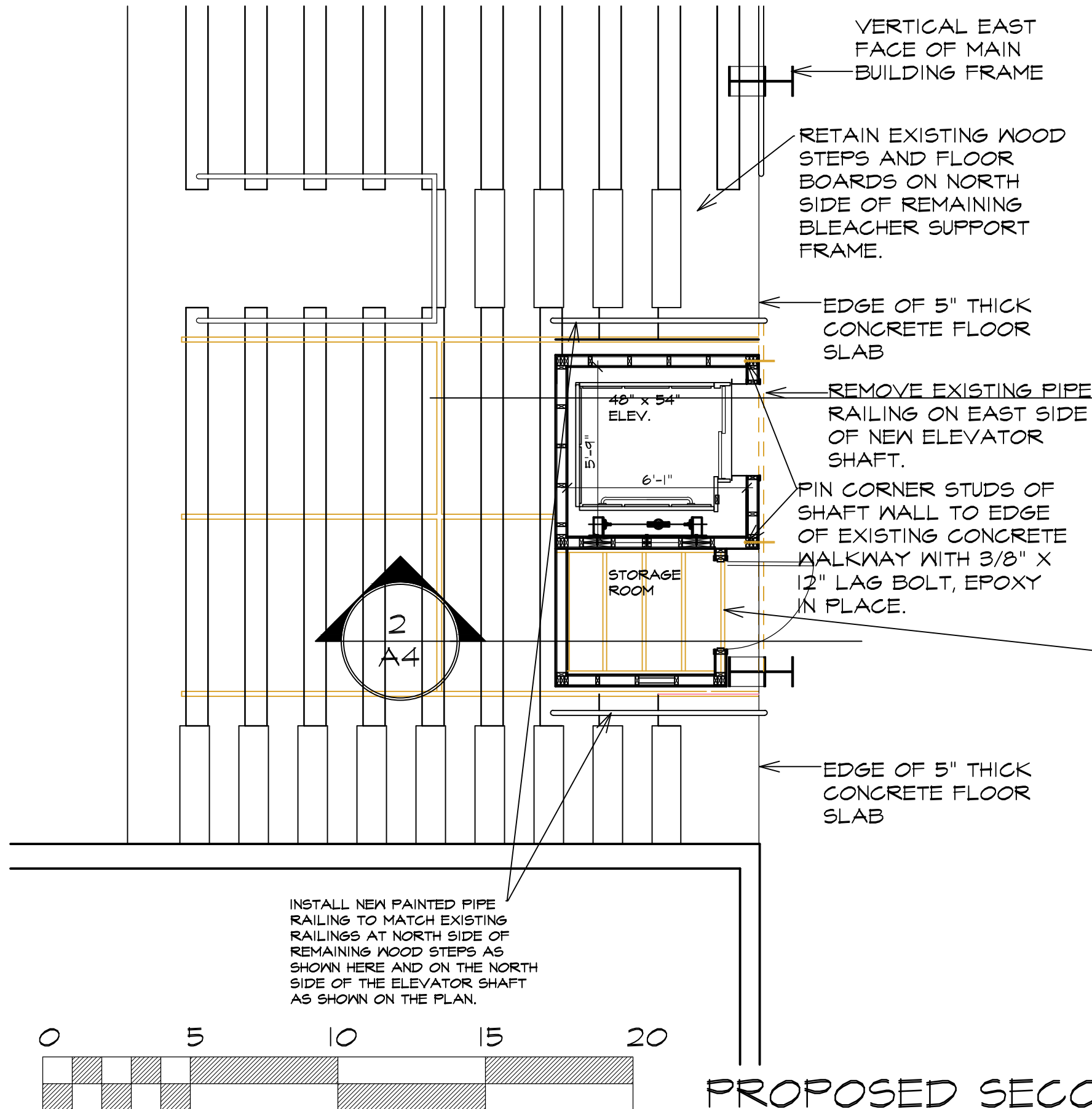
JAY WHITE, ARCHITECT, PLC
 86 St. Paul Street, Suite 313, Burlington, Vermont 05401
 Email: jaywhitevt@gmail.com Phone: (802) 793-1850


 PROJECT: **LEDDY PARK ARENA LULA ELEVATOR**
 JOB No. **23-02**

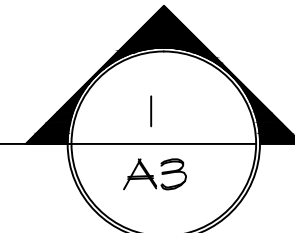
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 SCALE: **1/4" = 1'-0" IF PRINTED 11X17**

ISSUE DATE: **4/21/23**
 REVISIONS:

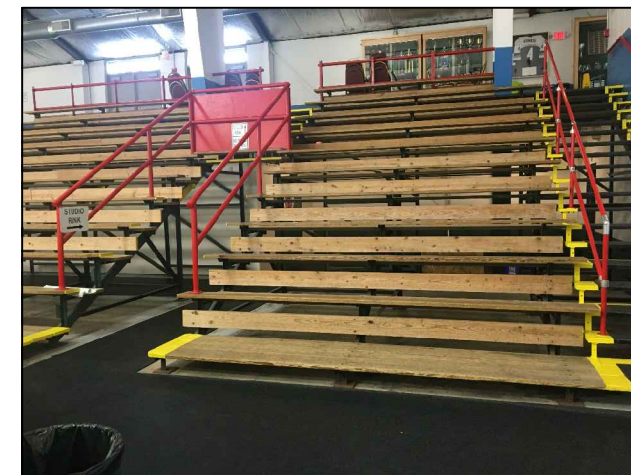
SHEET No. **A1**



SCALE IN FEET



REMOVE EXISTING TOP FOUR BLEACHER BENCHES. INSTALL NEW 2X8 FLOOR JOISTS 16" O.C. SPANNING NORTH-SOUTH AND SUPPORTED ON ELEVATOR EQUIPMENT ROOM WALLS. ADD NEW WOOD FLOOR IN STORAGE ROOM MADE UP OF PAINTED 2X8 BOARDS SPANNING EAST-WEST AND CANTILEVERED TO EDGE OF EXISTING CONCRETE FLOOR.



PROPOSED SECOND FLOOR PLAN

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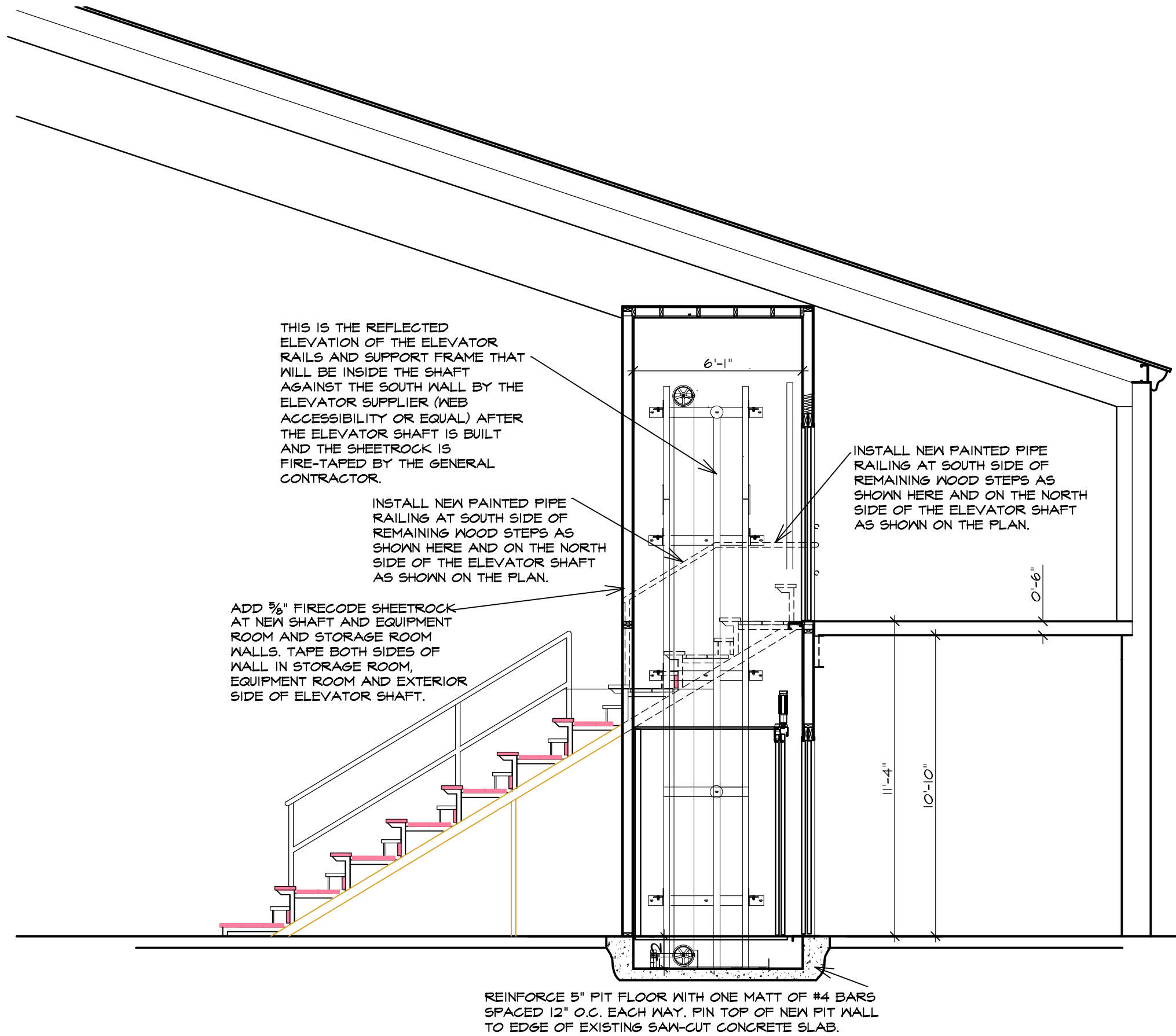


PROJECT: LEDDY PARK ARENA
 LULA ELEVATOR
 JOB No. 25-02

TITLE: PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1' 0" IF PRINTED 1:1

ISSUE DATE: 4/21/25
 REVISIONS:

SHEET No. A2



SECTION THROUGH SHAFT LOOKING NORTH

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PROJECT: LEDDY PARK ARENA
 LULA ELEVATOR

JOB No. 23-02

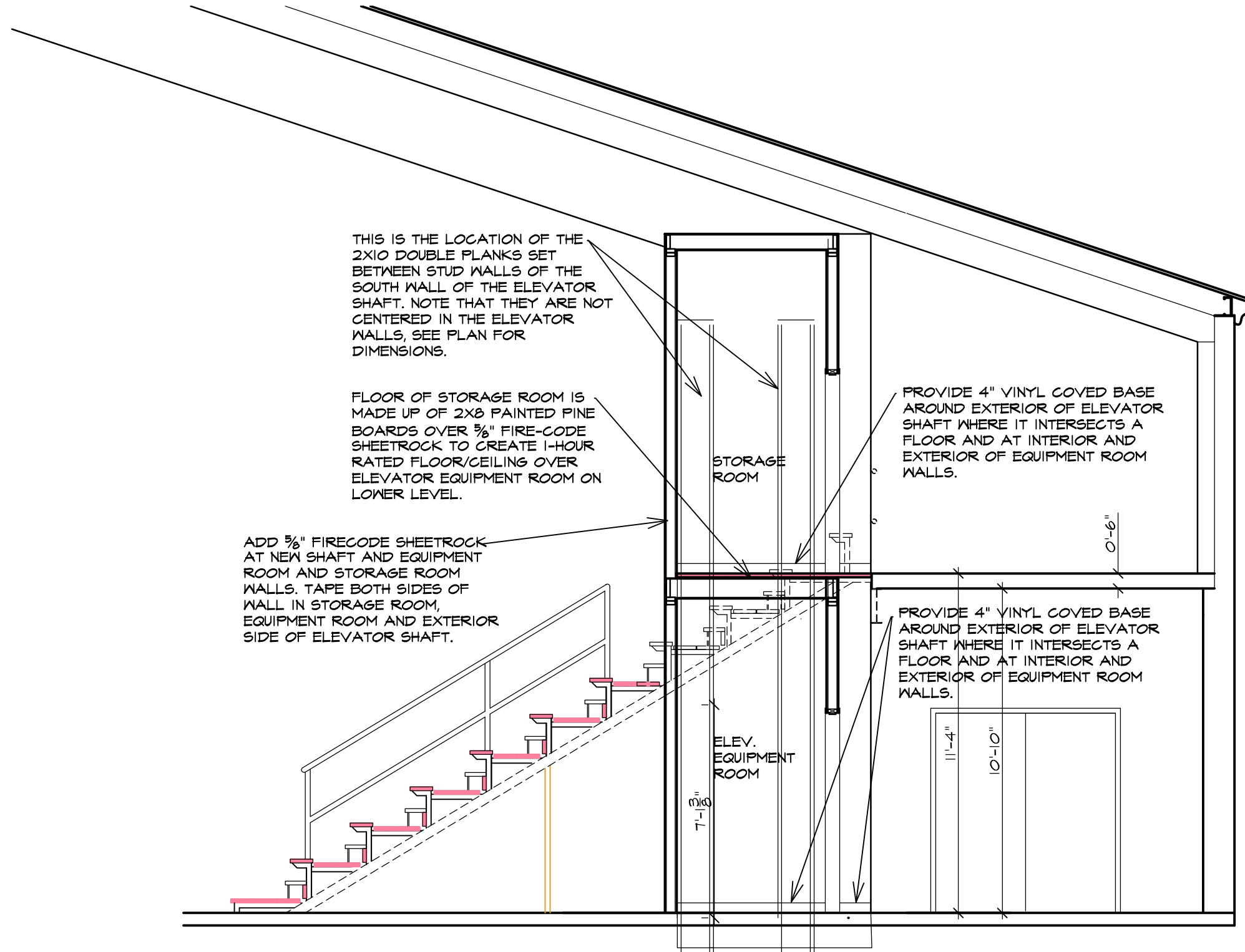
TITLE: SECTION THROUGH ELEVATOR SHAFT

SCALE: 1/4" = 1'-0" IF PRINTED 11X17

ISSUE DATE: 4/21/23
 REVISIONS:

SHEET No.

A3



THIS IS THE LOCATION OF THE 2X10 DOUBLE PLANKS SET BETWEEN STUD WALLS OF THE SOUTH WALL OF THE ELEVATOR SHAFT. NOTE THAT THEY ARE NOT CENTERED IN THE ELEVATOR WALLS, SEE PLAN FOR DIMENSIONS.

FLOOR OF STORAGE ROOM IS MADE UP OF 2X8 PAINTED PINE BOARDS OVER 5/8" FIRE-CODE SHEETROCK TO CREATE 1-HOUR RATED FLOOR/CEILING OVER ELEVATOR EQUIPMENT ROOM ON LOWER LEVEL.

ADD 5/8" FIRECODE SHEETROCK AT NEW SHAFT AND EQUIPMENT ROOM AND STORAGE ROOM WALLS. TAPE BOTH SIDES OF WALL IN STORAGE ROOM, EQUIPMENT ROOM AND EXTERIOR SIDE OF ELEVATOR SHAFT.

PROVIDE 4" VINYL COVERED BASE AROUND EXTERIOR OF ELEVATOR SHAFT WHERE IT INTERSECTS A FLOOR AND AT INTERIOR AND EXTERIOR OF EQUIPMENT ROOM WALLS.

PROVIDE 4" VINYL COVERED BASE AROUND EXTERIOR OF ELEVATOR SHAFT WHERE IT INTERSECTS A FLOOR AND AT INTERIOR AND EXTERIOR OF EQUIPMENT ROOM WALLS.

SECTION THROUGH ELEV. EQUIPMENT ROOM AND STORAGE ROOM LOOKING NORTH

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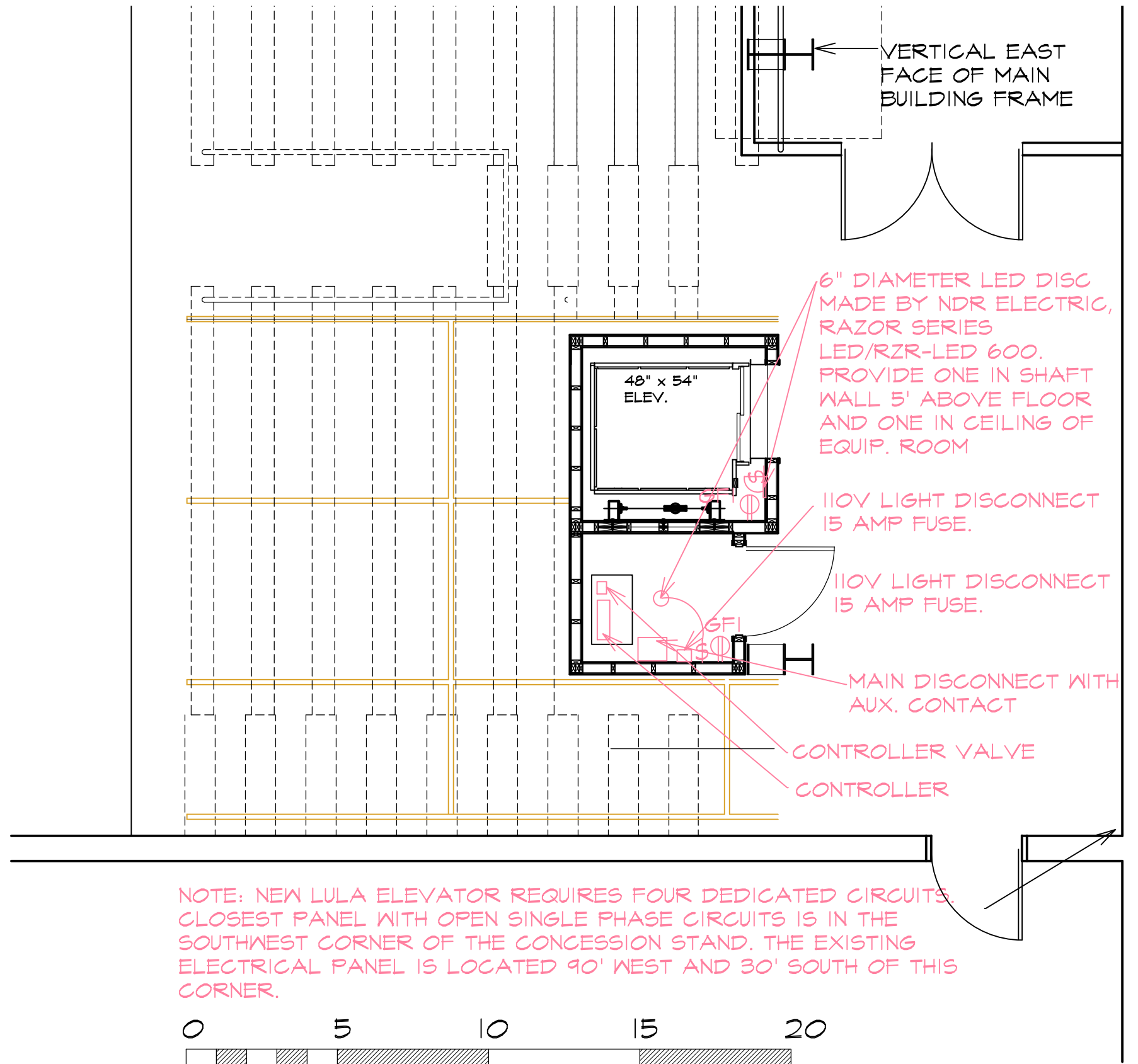
PROJECT:
**LEDDY PARK ARENA
 LULA ELEVATOR**
 JOB No. 23-02

TITLE:
SECTION THROUGH EQUIP ROOM

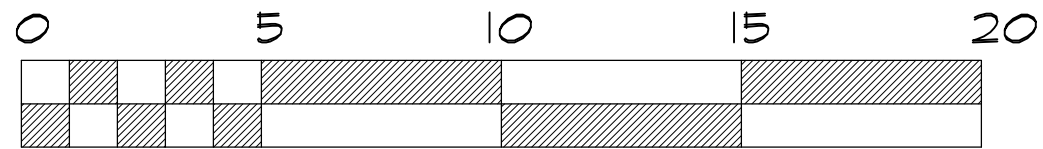
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ISSUE DATE:
4/21/23
 REVISIONS:

SHEET No. **A4**

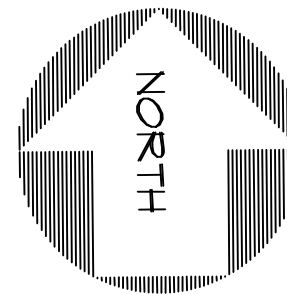


NOTE: NEW LULA ELEVATOR REQUIRES FOUR DEDICATED CIRCUITS. CLOSEST PANEL WITH OPEN SINGLE PHASE CIRCUITS IS IN THE SOUTHWEST CORNER OF THE CONCESSION STAND. THE EXISTING ELECTRICAL PANEL IS LOCATED 90' WEST AND 30' SOUTH OF THIS CORNER.



SCALE IN FEET

ELECTRICAL FIRST FLOOR PLAN



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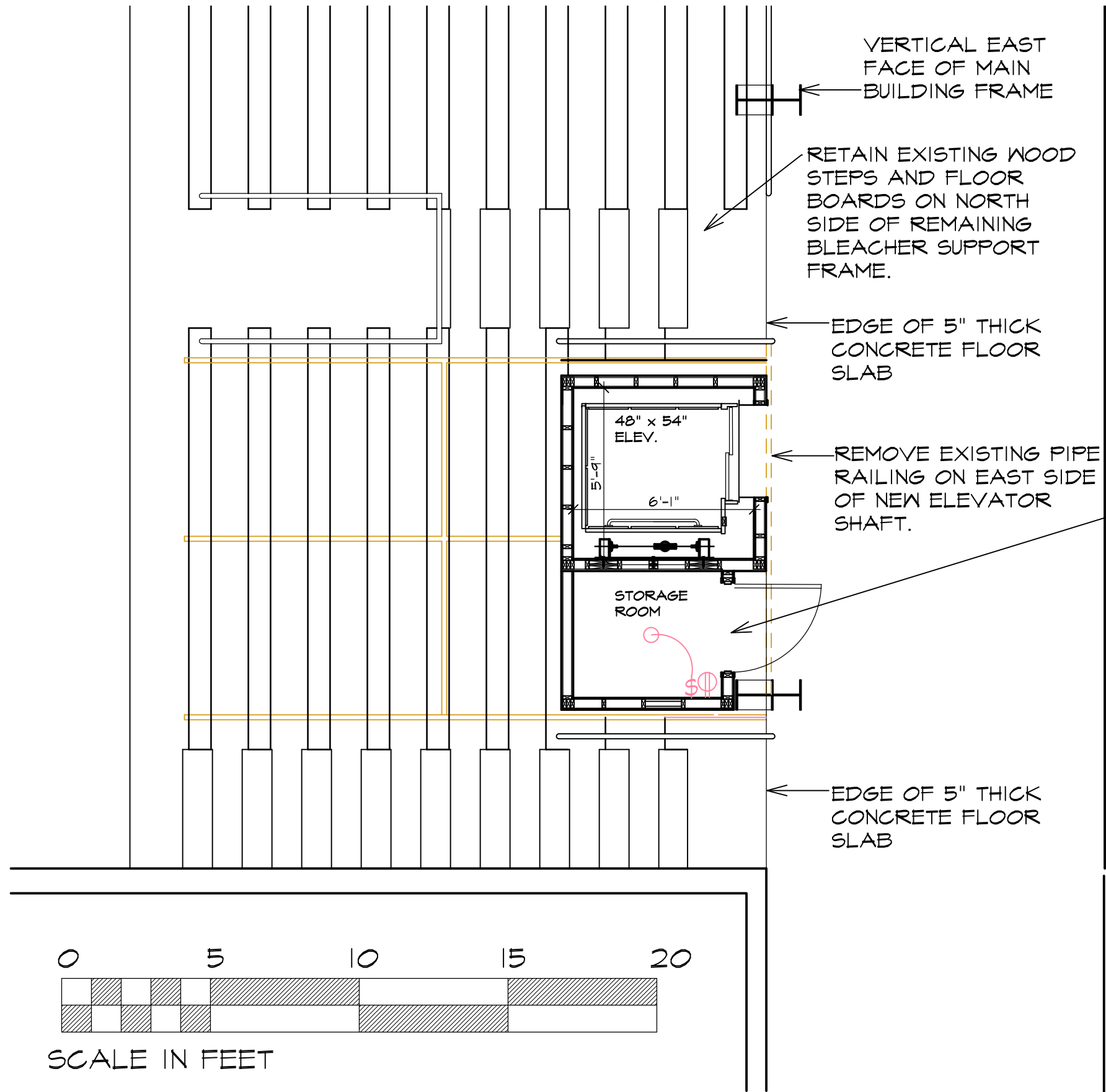


PROJECT:
LEDDY PARK ARENA
LULA ELEVATOR
 JOB No. 29-02

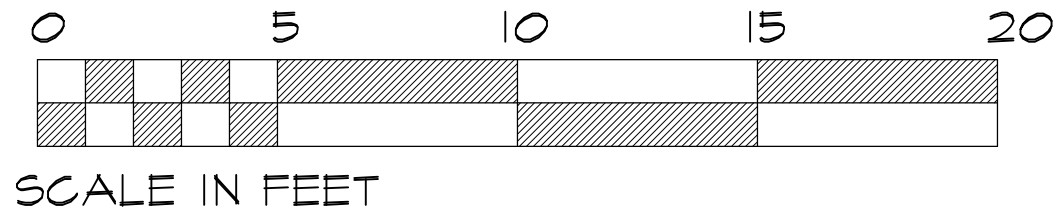
TITLE:
ELECTRICAL LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0" IF PRINTED 11X17

ISSUE DATE:
4/21/23
 REVISIONS:

SHEET No. **111**



REMOVE EXISTING TOP FOUR BLEACHER BENCHES. INSTALL NEW 2X8 FLOOR JOISTS 16" O.C. SPANNING NORTH-SOUTH AND SUPPORTED ON ELEVATOR EQUIPMENT ROOM WALLS. ADD NEW WOOD FLOOR IN STORAGE ROOM MADE UP OF PAINTED 2X8 BOARDS SPANNING EAST-WEST AND CANTILEVERED TO EDGE OF EXISTING CONCRETE FLOOR.



ELECTRICAL SECOND FLOOR PLAN

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PROJECT:
**51 SEMINARY STREET
 MIDDLEBURY, VT**
 JOB No. **23-01**

TITLE:
ELECTRICAL SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0" IF PRINTED 11X17

ISSUE DATE:
3/1/2023
 REVISIONS:

SHEET No. **F2**