



**Monday, April 14, 2025, 7:30 PM,
Full Board of Abatement of Taxes
Contois Auditorium, 149 Church Street, 2nd Floor**

Join from PC, Mac, iPad, or Android:

<https://zoom.us/j/98691222428>

Phone one-tap:

+16469313860,,98691222428# US

Join via audio:

+1 646 931 3860 US

Webinar ID: 986 9122 2428

International numbers available: <https://zoom.us/u/aczuHEJwUE>

****CCTV link: https://www.youtube.com/playlist?list=PLIjLFn4BZd2PwCqe7INoKug676jif_iUA ****

1. Agenda

Subject	1.1. Motion to adopt agenda
Meeting	April 14, 2025 - Full Board of Abatement of Taxes Meeting - Monday, April 14, 2025, 7:30 PM, Full Board of Abatement of Taxes Contois Auditorium, 149 Church Street, 2nd Floor
Category	1. Agenda
Department	Council and Board
Type	Action Procedural
Recommended Action	Motion to adopt agenda

2. Consent Agenda

Subject	2.1. Motion to adopt the consent agenda and take the actions indicated
Meeting	April 14, 2025 - Full Board of Abatement of Taxes Meeting - Monday, April 14, 2025, 7:30 PM, Full Board of Abatement of Taxes Contois Auditorium, 149 Church Street, 2nd Floor
Category	2. Consent Agenda
Department	Council and Board
Type	Action (Consent) Procedural

Recommended Action Motion to adopt the consent agenda and take the actions indicated

Subject 2.2. Notice City of Burlington Full Board of Abatement of Taxes - C/T

Meeting April 14, 2025 - Full Board of Abatement of Taxes Meeting - Monday, April 14, 2025, 7:30 PM,
Full Board of Abatement of Taxes
Contois Auditorium, 149 Church Street, 2nd Floor

Category 2. Consent Agenda

Department Clerk/Treasurer's Office

Type Action (Consent)
Communication
Information

Recommended Action waive the reading, accept the communication and place it on file

Subject 2.3. Request for Abatement of Taxes: 24 Grant LLC, Filipp Lagun, 24 Grant Street, 044-4-060-000

Meeting April 14, 2025 - Full Board of Abatement of Taxes Meeting - Monday, April 14, 2025, 7:30 PM,
Full Board of Abatement of Taxes
Contois Auditorium, 149 Church Street, 2nd Floor

Category 2. Consent Agenda

Department Assessor's Office

Type Action (Consent)

Recommended Action grant the abatement of taxes in the amount of \$9,000

Subject 2.4. Request for Abatement of Taxes: Golden Junk LLC, Jeffrey Sonin, 310-320 North Winooski Avenue, 040-2-140-000

Meeting April 14, 2025 - Full Board of Abatement of Taxes Meeting - Monday, April 14, 2025, 7:30 PM,
Full Board of Abatement of Taxes
Contois Auditorium, 149 Church Street, 2nd Floor

Category 2. Consent Agenda

Department Assessor's Office

Type Action (Consent)

Recommended Action grant the abatement of taxes in the amount of \$723.42

Subject 2.5. Request for Abatement of Taxes: Spectrum Youth & Family Services Inc., Will Towne, COO, 84 Pine Street, Unit 4, 049-1-125-004

Meeting April 14, 2025 - Full Board of Abatement of Taxes Meeting - Monday, April 14, 2025, 7:30 PM,
Full Board of Abatement of Taxes
Contois Auditorium, 149 Church Street, 2nd Floor

Category	2. Consent Agenda
Department	Assessor's Office
Type	Action (Consent)
Recommended Action	deny the request for abatement of taxes

3. Adjournment

Subject	3.1. Motion to adjourn
Meeting	April 14, 2025 - Full Board of Abatement of Taxes Meeting - Monday, April 14, 2025, 7:30 PM, Full Board of Abatement of Taxes Contois Auditorium, 149 Church Street, 2nd Floor
Category	3. Adjournment
Department	Council and Board
Type	Action Procedural
Recommended Action	Motion to adjourn

Full Board of Abatement of Taxes, April 14, 2025

NOTICE
CITY OF BURLINGTON
FULL BOARD OF
ABATEMENT OF
TAXES

The Full Board of Abatement of Taxes of the City of Burlington will meet in Contois Auditorium and via ZOOM: <https://zoom.us/j/98691222428> on Monday, April 14, 2025* to hear and act upon the request for abatement of taxes and/or penalties from:

24 Grant Street LLC
Filipp Lagun
24 Grant Street
044-4-060-000

Golden Junk LLC
Jeffrey Sonin
310-320 North Winooski Avenue
040-2-140-000

Spectrum Youth & Family Services Inc.
Will Towne, COO
84 Pine Street, Unit 4
049-1-125-004

*The City Council Meeting usually begins at 6:00 p.m. The Full Board of Abatement of Taxes Meeting is part of this agenda, **no set start time**.



TAX ABATEMENT COMMITTEE

City Hall, Ground Flr., 149 Church Street, Burlington, VT 05401
WEBSITE: www.burlingtonvt.gov/assessor Voice (802) 865-7114

4/4/2025

Recommended Abatement Decision

24 Grant Street LLC
Filipp Lagun
6 Beachcrest Drive
Burlington, VT 05408

RE: The Board of Tax Abatement Committee recommendation to the full Board of Tax Abatement regarding your request for abatement.

PARCEL ID: 044-4-060-000
TYPE OF PROPERTY: RA-multifamily
LOCATION: 24 Grant Street

PROPERTY OWNER ON GRAND LIST: 24 Grant Street LLC

COMMITTEE HEARING DATE: 03.13.2025

AMOUNT REQUESTED: \$14,107.54

COMMITTEE'S RECOMMENDATION: Recommendation made in open public hearing. The Tax Abatement Committee recommends unanimously that the abatement request should be granted. Fire destroyed use of one of two rental buildings on the property. Abatement meets the criteria for abatement under Section 42 of the Charter. The Committee also recommends unanimously that the matter be placed on the consent calendar before the Full Board of Abatement.

AMOUNT RECOMMENDED FOR ABATEMENT: \$9,000

The Board of Tax Abatement will make a final decision on your request for tax abatement on **Monday, April 14, 2025**. Board takes the Tax Abatement Committee's recommendation under advisement. If you disagree with the recommendation you have the right to testify before the Full Board of Tax Abatement. The hearing will be held in **Contois Auditorium in Burlington City Hall**, during the City Council meeting.

If you are planning on attending this meeting, please contact Lori Olberg at 802-865-7136. She will provide you the start time and the methods of attendance.

Sincerely,

Kenneth Nosek, Administrator, Tax Abatement Committee

Non-Discrimination

The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at 865-7145.

TAX ABATEMENT REQUEST FORM

Submit to: C/O Tax Abatement, Burlington City Hall, Ground Floor, 149 Church Street, Burlington, VT 05401

Date of this Request: 01-27-25

Name, Property Owner on Grand List: 24 Grant Street LLC

Name, Applicant: Filippo Lagun, Owner 24 Grant Street LLC
(Describe the relationship of applicant to listed owner if the applicant is not the listed owner)

New Owner, Purchase Date: _____

Executor/Administrator of Estate: _____

Mailing Address: 6 Beachcrest Drive

City, State, Zip code: Burlington, VT 05408

Applicant's Email and Phone #: 484-350-7438, GreenValleyMGMTLLC@gmail.com

Location of Property: 24 Grant Street

Parcel ID # (000-0-000-000): 044-4-060-000 or,

Account Number (PPP000000): _____ business personal property
(Can be found on the tax bill or property record card)

Total dollar amount you are requesting be abated:	\$	<u>14,107.54</u>
Breakout based on amount of:	\$	14,107.54 <u>14,107.54</u>
taxes:	\$	_____
penalties:	\$	_____
interest:	\$	_____
prior year delinquency:	\$	_____
other:	\$	_____

Briefly describe your abatement request. You may submit a letter with more details of your request.

We are requesting abatement under the criteria of manifestly unjust due to unforeseen property damage. On Oct. 7 the property suffered a fire (cause: accidental). The building was deemed uninhabitable and requires extensive demolition and rebuilding costs.

Required Attachments:

- Copy of Tax Bill
- Copy of Tax Payment History (attainable from Clerk/Treasurer's Office)
- Property Record Card

Signature [Signature]

Date 1/30/2025

This form received by:

Date received:

Updated
COPY

FEB 03 2025

CITY OF BURLINGTON
ASSESSOR'S OFFICE

MAIL TO:

CITY OF BURLINGTON
PO BOX 22086
ALBANY, NY 12201-2086

802 - 865 - 7000

Location: 24 GRANT ST

This is the only bill you will receive. Please forward to new owner if property is sold.

TAX BILL

PARCEL ID	BILL DATE	TAX YEAR
044-4-060-000	07/01/2024	2024-2025

2908055

OWNER



LAGUN, VIKTOR
BROM, ANNA
6 BEACHCREST DRIVE
BURLINGTON VT 05408-2714

HOUSE/ITE TAX INFORMATION	
SPAN # 114-035-15378	SCL CODE: 035
TOTAL PARCEL ACRES	0.28
RETAIN FOR INCOME TAX PURPOSES	

	ASSESSED VALUE	HOMESTEAD	NON HOMESTEAD
REAL	938,800		938,800
TOTAL TAXABLE VALUE	938,800		938,800
GRAND LIST VALUES	9,388.00		9,388.00

MUNICIPAL TAXES				EDUCATION TAXES -XXXXXX					
TAX RATE NAME	TAX RATE	x GRAND LIST =	TAXES	TAX RATE NAME	TAX RATE	x GRAND LIST =	TAXES		
MUNICIPAL	0.8326	x9,388.00=	7,816.45	NON RESIDENTIAL EDUCATION	1.5837	x9,388.00=	14,867.78		
REVISED LOCAL AGRMNT	0.0005	x9,388.00=	4.69	1.3910 (state rate) / 87.83% (CLA) = 1.5837					
				Payments					
				TOTAL EDUCATION TAX				14,867.78	
				1	08/12/2024	EDUCATION STATE PAYMENT	0.00		
								EDUCATION NET TAX DUE	14,867.78
				2	11/12/2024	TAX SUMMARY			
				Municipal + Education					
				TOTAL TAX				22,688.92	
				3	03/12/2025	TOTAL STATE PAYMENT	0.00		
								TOTAL NET TAX DUE	22,688.92
				4	06/12/2025				
TOTAL MUNICIPAL TAX			7,821.14						
MUNICIPAL STATE PAYMENT			0.00						
MUNICIPAL NET TAX DUE			7,821.14						

**DETACH THE INCLUDED STUB AND
RETURN YOUR PAYMENT TO:**

**City of Burlington
Attn: Property Taxes
P.O. Box 22086
Albany NY 12201-2086**

You can now pay your taxes online at:
<https://www.burlingtonvt.gov/ct/property-taxes>

Parcel 044-4-060-000 All Tax Years Detail From 07/01/2019-End

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance	
044-4-060-000	2020	LAGUN VIKTOR				24 GRANT ST					
			Bill Appl. To Prin. Pmt 1	07/05/19		940			4,197.90	4,197.90	
			Bill Appl. To Prin. Pmt 2	07/05/19		940			4,197.90	8,395.80	
			Bill Appl. To Prin. Pmt 3	07/05/19		940			4,197.90	12,593.70	
			Bill Appl. To Prin. Pmt 4	07/05/19		940			4,197.90	16,791.60	
			Rcpt. Appl. To Prin. Pmt 1	08/07/19	774	807191.0	15	PL	-4,197.90	12,593.70	
			Rcpt. Appl. To Prin. Pmt 2	10/22/19	779	1022191.0	170	PL	-4,197.90	8,395.80	
			Rcpt. Appl. To Prin. Pmt 3	03/10/20	799	310201.0	445	PL	-4,197.90	4,197.90	
			Rcpt. Appl. To Prin. Pmt 4	06/11/20	807	1231548.0	623	LOCKBOX	-4,197.90	0.00	
			Parcel Balance								0.00
044-4-060-000	2021	LAGUN, VIKTOR				24 GRANT ST					
			Bill Appl. To Prin. Pmt 1	08/06/20		730			4,413.90	4,413.90	
			Bill Appl. To Prin. Pmt 2	08/06/20		730			4,413.90	8,827.80	
			Bill Appl. To Prin. Pmt 3	08/06/20		730			4,413.90	13,241.70	
			Bill Appl. To Prin. Pmt 4	08/06/20		730			4,413.90	17,655.60	
			Rcpt. Appl. To Prin. Pmt 1	09/04/20	818	812224.0	797	LOCKBOX	-4,413.90	13,241.70	
			Rcpt. Appl. To Prin. Pmt 2	11/05/20	822	812268.0	942	LOCKBOX	-4,413.90	8,827.80	
			Rcpt. Appl. To Prin. Pmt 3	03/08/21	128	9270933.0	189	LOCKBOX	-4,413.90	4,413.90	
			Rcpt. Appl. To Prin. Pmt 4	06/09/21	108	8122406.0	389	LOCKBOX	-4,413.90	0.00	
			Parcel Balance								0.00
044-4-060-000	2022	LAGUN, VIKTOR				24 GRANT ST					
			Bill Appl. To Prin. Pmt 1	07/13/21		453			5,165.74	5,165.74	
			Bill Appl. To Prin. Pmt 2	07/13/21		453			5,165.74	10,331.48	
			Bill Appl. To Prin. Pmt 3	07/13/21		453			5,165.74	15,497.22	
			Bill Appl. To Prin. Pmt 4	07/13/21		453			5,165.74	20,662.96	
			Rcpt. Appl. To Prin. Pmt 1	08/10/21	145	4122442.0	521	LOCKBOX	-5,165.74	15,497.22	
			Rcpt. Appl. To Prin. Pmt 2	11/03/21	149	4122487.0	706	LOCKBOX	-5,165.74	10,331.48	
			Rcpt. Appl. To Prin. Pmt 3	01/14/22	159	9270992.0	844	LOCKBOX	-5,165.74	5,165.74	
			Rcpt. Appl. To Prin. Pmt 4	05/26/22	187	9271087.0	137	LOCKBOX	-5,165.74	0.00	
			Parcel Balance								0.00
044-4-060-000	2023	LAGUN, VIKTOR				24 GRANT ST					
			Bill Appl. To Prin. Pmt 1	07/05/22		227			4,923.06	4,923.06	
			Bill Appl. To Prin. Pmt 2	07/05/22		227			4,923.06	9,846.12	
			Bill Appl. To Prin. Pmt 3	07/05/22		227			4,923.06	14,769.18	
			Bill Appl. To Prin. Pmt 4	07/05/22		227			4,923.06	19,692.24	
			Rcpt. Appl. To Prin. Pmt 1	07/28/22	193	9271134.0	282	LOCKBOX	-4,923.06	14,769.18	
			Rcpt. Appl. To Prin. Pmt 2	11/07/22	197	1107222.0	526	LB	-4,923.06	9,846.12	
			Rcpt. Appl. To Prin. Pmt 3	02/13/23	199	213231.0	719	PL	-4,923.06	4,923.06	
			Rcpt. Appl. To Prin. Pmt 4	05/31/23	210	531231.0	970	PL	-4,923.06	0.00	
			Parcel Balance								0.00
044-4-060-000	2024	LAGUN, VIKTOR				24 GRANT ST					
			Bill Appl. To Prin. Pmt 1	07/06/23		61			5,191.33	5,191.33	



LEGAL DESCRIPTION

Lot Size	11,999.00
Total Land	SF

PREVIOUS ASSESSMENTS

Tx Yr	Cat	Use	Bid Value	Yard Items	Land Size	Land Val	Total Appr	Assessed	Notes	Date
2024	FV	RA	578,800	0	11,999	360,000	938,800	938,800	06/14/2024	
2023	FV	RA	578,800	0	11,999	360,000	938,800	938,800	07/07/2023	
2022	FV	RA	578,800	0	11,999	360,000	938,800	938,800	08/25/2022	
2021	FV	RA	578,800	0	11,999	360,000	938,800	938,800	05/02/2022	
2020	FV	RA	324,100	0	11,999	249,600	573,700	573,700	06/23/2020	
2019	FV	RA	324,100	0	11,999	249,600	573,700	573,700	09/23/2019	

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Price	TSF	Verif.	Notes
LAGUN VIKTOR	620-257	WD	12/20/1998	237,000	No		From MS ACCESS DB table SalesData
HAM PROPERTIES	541-268	QC	03/19/1996	1	No		From MS ACCESS DB table SalesData

BUILDING PERMITS

Date	Number	Desc	Amount	Closed	Status	Fed ID	Notes	Last Visit

ACTIVITIES

Date	Result	By
05/02/2022	COR	

LAND SECTION

LUC Desc	U Type	U Type	El	Raise V	Unit Prc	Arif Prc	NBC	El	Mort	Int 1	%	Int 2	%	Int 3	%	Annr	AILLUC	%	Specr	V	Juris	I	El	Assessed	Notes
RA Apartments	SF	SITE	1	40	40	30	530	1								360,000			0	0	1	1		360,000	
RA Apartments	SF	SITE	1	40	40	0	530	1								0			0	0	1	1		0	
Total AC/HA																									
Total SF/SM																									
Total AC/HA																									

OTHER ASSESSMENTS

Code	Desc	Amt	Comm Int Amt

PROPERTY FACTORS

Item Code	Item	Code	%
Util 1	Dis 1 B		00000
Util 2	Dis 2 SN		00000
Util 3	Dis 3		
Genusis	Zone 1		
E Haz	Zone 2		
Tonn	Zone 3		
Street			
Traffic			
Exemot			

NARRATIVE DESCRIPTION

This parcel contains 11999.00000 SF of land mainly classified as Apartments It has 2 building(s) first built in 1915 with a total of 4,012 square feet. There are 7 living unit(s), 7 Baths, 19 Rooms, and 7 Bdrms.

USER ACCOUNT

User Account	15378
GIS Coord 1	313838723338.000000000
GIS Coord 1	
Insp Date	05/02/2022
Print Date / Time	7/24/2024 4:48 am
Last Date / Time	6/14/23 3:52 pm
BURLINGTON\turner	

USER_DEFINED

RAD:	
OLD PID:	080006
State District:	
CAD:	530
SPAN:	114-035-15378
Accessory Dwl	
PriorID1c	00
PriorID2c	00
PriorID3c	00
Assessor Map	

Kenneth Nosek

From: Kenneth Nosek
Sent: Friday, January 24, 2025 9:15 AM
To: greenvalleymgmtllc@gmail.com
Subject: RE: 24 Grant Street; PID# 044-4-060-000 information needed

Hi Filipp,

I'm in receipt of you Tax Abatement Request. I administer the process leading up to the committee hearing.

I will need a few more details before anything can proceed
Please provide the following:

- A specific numerical amount you are requesting to have abated.
- A phone number for communication with you as per the abatement request form
- An official statement on letterhead from the Burlington Fire Marshall that confirms this building is a total loss.
- A statement from your insurance carrier that shows that the building is a total loss.

I may ask for more information later on but this is the minimum I need to move it past my desk.

Regards,
Kenneth Nosek
Assessment Specialist
Burlington, VT 05401
802-865-7114

Kenneth Nosek

From: Filipp Lagun <greenvalleymgmtllc@gmail.com>
Sent: Friday, January 24, 2025 9:29 AM
To: Kenneth Nosek
Subject: Re: 24 Grant Street; PID# 044-4-060-000 information needed

[WARNING]: This email was sent from someone outside of the City of Burlington.

Hi Kenneth,

Thank you for reaching out to me. Attached please see the insurance settlement agreement stating that the building is a total loss along with the building consultant and engineering report. As far as a dollar amount to be abated - as you can see per the BC report, it will take more than 1.5 million dollars to rebuild. That is why I am requesting the maximum amount be abated. The building was under insured which as a result puts us in financial hardship. We are presently moving ahead with litigation with our former insurance broker who provisioned this policy.

Regarding the fire marshal. I am not in contact with them but if you provide their contact information I'd be happy to reach out to them and obtain the report.
My number is 484-350-7438



Lagun BC report.pdf



Lagun building RCV total loss...



Lagun engineer report.pdf

On Fri, Jan 24, 2025 at 9:15 AM Kenneth Nosek <knosek@burlingtonvt.gov> wrote:

Hi Filipp,

I'm in receipt of you Tax Abatement Request. I administer the process leading up to the committee hearing.

I will need a few more details before anything can proceed

Please provide the following:

- A specific numerical amount you are requesting to have abated.
- A phone number for communication with you as per the abatement request form
- An official statement on letterhead from the Burlington Fire Marshall that confirms this building is a total loss.
- A statement from your insurance carrier that shows that the building is a total loss.

I may ask for more information later on but this is the minimum I need to move it past my desk.

Regards,

Kenneth Nosek

Assessment Specialist

Burlington, VT 05401

802-865-7114

Please note that this communication and any response to it will be maintained as a public record and may be subject to disclosure under the Vermont Public Records Act.

SWORN STATEMENT IN PROOF OF LOSS

AMOUNT OF POLICY: ALS up to 12 months
POLICY NUMBER: VIBP556174
POLICYHOLDER: Viktor Lagun

DATE ISSUED: 05/02/2024
DATE EXPIRED: 05/02/2025

To AmGUARD Insurance Company

At the time of loss, you insured the Policyholder shown above (by the policy of insurance listed) against loss by covered peril to the property described according to the terms and conditions of the policy and all attached forms, endorsements, transfers, and assignments.

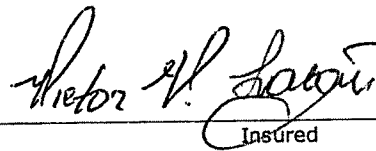
1. **Time and Origin:** A property loss occurred on 10/07/2024 . The cause and origin of the loss were:
Fire
2. **Occupancy:** The building described, or containing the property described, was occupied at the time of the loss as follows, and for no other purpose of any kind: Residential Rental Property
3. **Title and Interest:** At the time of loss, the interest of your insured in the property described therein was the owner. No other person or persons had any interest therein or encumbrance thereon, except:
None known.
4. **Changes:** Since the policy was issued, no assignment thereof, or change of interest, use, occupancy, possession, location, or exposure of the property described has taken place except: None.
5. **The Total Amount of Insurance** upon the described property was \$ ALS up to 12 m
6. **The Actual Cash Value** of the property at the time of loss was \$ N/A
7. **The Whole Loss and Damage** was \$ 109,490.23
12 months per review
8. **Less the Amount of the Deductible** and/or advance payment/depreciation \$ 0.00
waiting period figured into figures
9. **The Amount Claimed** under the above numbered policy as of the date subscribed is \$ 109,490.23
Business income final settlement

The loss did not originate by any act, design, or procurement on the part of your insured or the person providing this affidavit. Nothing has been done by us with the consent of your insured or this affiant to violate or void the conditions of the policy. No articles are mentioned herein or in annexed schedules besides those destroyed or damaged at the time of loss. No property saved has in any manner been concealed, and no attempt to deceive the company as to the extent of the loss has in any manner been made.

State of Vermont

12/03 - 2024
Date

Date


Insured

Witness

Any person who knowingly presents a false statement in an application for insurance may be guilty of a criminal offense and subject to penalties under state law.

SWORN STATEMENT IN PROOF OF LOSS

AMOUNT OF POLICY: \$10,000.00 Debris limit
 POLICY NUMBER: VIBP556174
 POLICYHOLDER: Viktor Lagun

DATE ISSUED: 05/02/2024
 DATE EXPIRED: 05/02/2025

To AmGUARD Insurance Company

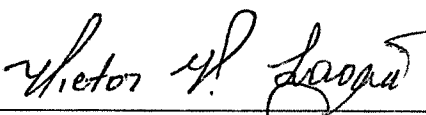
At the time of loss, you insured the Policyholder shown above (by the policy of insurance listed) against loss by covered peril to the property described according to the terms and conditions of the policy and all attached forms, endorsements, transfers, and assignments.

1. **Time and Origin:** A property loss occurred on 10/07/2024 . The cause and origin of the loss were:
Fire
2. **Occupancy:** The building described, or containing the property described, was occupied at the time of the loss as follows, and for no other purpose of any kind: Residential Rental Property
3. **Title and Interest:** At the time of loss, the interest of your insured in the property described therein was the owner. No other person or persons had any interest therein or encumbrance thereon, except:
None known.
4. **Changes:** Since the policy was issued, no assignment thereof, or change of interest, use, occupancy, possession, location, or exposure of the property described has taken place except: None.
5. **The Total Amount of Insurance** upon the described property was \$ \$10,000.00 Deb
6. **The Actual Cash Value** of the property at the time of loss was \$ N/A
7. **The Whole Loss and Damage** was \$ 10,000.00
policy limit
8. **Less the Amount of the Deductible** and/or advance payment/depreciation \$ 0.00
NA
9. **The Amount Claimed** under the above numbered policy as of the date subscribed is \$ 10,000.00
payment per policy limit

The loss did not originate by any act, design, or procurement on the part of your insured or the person providing this affidavit. Nothing has been done by us with the consent of your insured or this affiant to violate or void the conditions of the policy. No articles are mentioned herein or in annexed schedules besides those destroyed or damaged at the time of loss. No property saved has in any manner been concealed, and no attempt to deceive the company as to the extent of the loss has in any manner been made.

State of Vermont

 12/03 - 2024
 Date



 Insured

 Date

 Witness

Any person who knowingly presents a false statement in an application for insurance may be guilty of a criminal offense and subject to penalties under state law.

SWORN STATEMENT IN PROOF OF LOSS

AMOUNT OF POLICY: \$10,000.00 Ordinance or Law limit
 POLICY NUMBER: VIBP556174
 POLICYHOLDER: Viktor Lagun

DATE ISSUED: 05/02/2024
 DATE EXPIRED: 05/02/2025

To AmGUARD Insurance Company

At the time of loss, you insured the Policyholder shown above (by the policy of insurance listed) against loss by covered peril to the property described according to the terms and conditions of the policy and all attached forms, endorsements, transfers, and assignments.

1. **Time and Origin:** A property loss occurred on 10/07/2024 . The cause and origin of the loss were:
Fire
2. **Occupancy:** The building described, or containing the property described, was occupied at the time of the loss as follows, and for no other purpose of any kind: Residential Rental Property
3. **Title and Interest:** At the time of loss, the interest of your insured in the property described therein was the owner. No other person or persons had any interest therein or encumbrance thereon, except:
None known.
4. **Changes:** Since the policy was issued, no assignment thereof, or change of interest, use, occupancy, possession, location, or exposure of the property described has taken place except: None.
5. **The Total Amount of Insurance** upon the described property was \$ \$10,000.00 Ord
6. **The Actual Cash Value** of the property at the time of loss was \$ N/A
7. **The Whole Loss and Damage** was \$ 10,000.00
policy limit
8. **Less the Amount of the Deductible** and/or advance payment/depreciation \$ 0.00
NA
9. **The Amount Claimed** under the above numbered policy as of the date subscribed is \$ 10,000.00
payment per policy limit

The loss did not originate by any act, design, or procurement on the part of your insured or the person providing this affidavit. Nothing has been done by us with the consent of your insured or this affiant to violate or void the conditions of the policy. No articles are mentioned herein or in annexed schedules besides those destroyed or damaged at the time of loss. No property saved has in any manner been concealed, and no attempt to deceive the company as to the extent of the loss has in any manner been made.

State of Vermont

12/03 - 2024

Date

Viktor N. Lagun
 Insured

Date

Witness

Any person who knowingly presents a false statement in an application for insurance may be guilty of a criminal offense and subject to penalties under state law.

SWORN STATEMENT IN PROOF OF LOSS

AMOUNT OF POLICY: \$621,903.00
 POLICY NUMBER: VIBP556174
 POLICYHOLDER: Viktor Lagun

DATE ISSUED: 05/02/2024
 DATE EXPIRED: 05/02/2025

To AmGUARD Insurance Company

At the time of loss, you insured the Policyholder shown above (by the policy of insurance listed) against loss by covered peril to the property described according to the terms and conditions of the policy and all attached forms, endorsements, transfers, and assignments.

- 1. Time and Origin:** A property loss occurred on 10/07/2024 . The cause and origin of the loss were:
Fire
- 2. Occupancy:** The building described, or containing the property described, was occupied at the time of the loss as follows, and for no other purpose of any kind: Residential rental property
- 3. Title and Interest:** At the time of loss, the interest of your insured in the property described therein was the owner. No other person or persons had any interest therein or encumbrance thereon, except:
None known.
- 4. Changes:** Since the policy was issued, no assignment thereof, or change of interest, use, occupancy, possession, location, or exposure of the property described has taken place except: None.
- 5. The Total Amount of Insurance** upon the described property was \$ \$621,903.00
- 6. The Actual Cash Value** of the property at the time of loss was \$ N/A
- 7. The Whole Loss and Damage** was \$ 621,903.00
Policy limits = estimate exceeded limits
- 8. Less the Amount of the Deductible** and/or advance payment/depreciation \$ 200,000.00
Prior payments
- 9. The Amount Claimed** under the above numbered policy as of the date subscribed is \$ 421,903.00
Total loss payment

The loss did not originate by any act, design, or procurement on the part of your insured or the person providing this affidavit. Nothing has been done by us with the consent of your insured or this affiant to violate or void the conditions of the policy. No articles are mentioned herein or in annexed schedules besides those destroyed or damaged at the time of loss. No property saved has in any manner been concealed, and no attempt to deceive the company as to the extent of the loss has in any manner been made.

State of Vermont

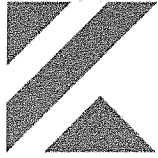
_____ Date

_____ Insured

_____ Date

_____ Witness

Any person who knowingly presents a false statement in an application for insurance may be guilty of a criminal offense and subject to penalties under state law.



Lagun
24 Grant Street
Burlington, Vermont 05401

CLAIM NO: VIBP556174-001-001-001

POLICY NO: VIBP556174

KEYSTONE NO: 61757

DATE: October 28, 2024

Report of Findings

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Owner Interview:	5
Site Observations:	6
Evaluation:	6
Conclusions:	8

Appendices

- Appendix A**
 - Inspection Photographs
- Appendix B**
 - Curriculum Vitae



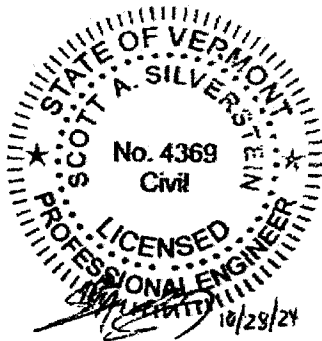
Signatures:

The opinions and findings expressed in this report are based upon the information available as of the date of this report. As such, Keystone assumes no liability for the misuse of this information by others and reserves the right to modify the conclusions contained herein upon receipt or discovery of additional information. Due to the limited access and the non-destructive nature of the investigation, Keystone cannot be held responsible for any hidden defects that may negatively impact the performance of the structure. This report is intended to provide an overview of the existing conditions, and should not be used as an indicator of future performance; no expressed or implied warranties or guarantees of any kind are given.

We at Keystone Experts & Engineers sincerely thank you for the opportunity to serve you.

Prepared by:

Reviewed by:



A handwritten signature in black ink, appearing to read "Michael Richardson".

Scott Silverstein, P.E.
Forensic Engineer

Michael Richardson
National Manager

Firm licensure is not offered in Vermont.



Conclusions:

Based upon Keystone's investigation and the engineer's education, training, and experience, the following conclusions have been reached within a reasonable degree of engineering certainty:

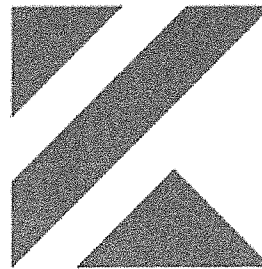
- The fire damaged the following structural components:
 - the entire roof structure;
 - the entire deck/porch structure;
 - eight (8) attic joists;
 - twelve (12) exterior wall studs; and
 - six (6) interior wall studs.

Repair Recommendations:

Keystone recommends the method outlined below to repair the fire-damaged elements. The recommendations are conceptual in scope and are for use in planning and estimating costs only. The services of a licensed professional experienced in this industry should be acquired to engineer and design the exact structural requirements. Other methods for these repairs may also be available and appropriate.

- Replace the entire roof (approximately 66 2x12 rafters 24 feet long plus 80 feet of 2x12 ridge board and 33-2x6 collar ties 6 feet long, assuming new rafters are 24 inches on center).
- Replace attic joists above Unit 4 (approximately 8 2x6 joists, 16 feet long assuming new joists are 12 inches on center).
- Replace exterior studs on the east side of Unit 4 (approximately 12 2x6 studs 9 feet tall assuming new studs are 24 inches on center).
- Replace interior studs between bedroom and living room of Unit 4 (approximately 6 2x4 studs 9 feet tall assuming new studs are 16 inches on center).
- Replace the entire east-side deck and columns down to the porch (8x25 feet, including rafters, rafter support beams, and columns, deck joists, deck support beams, and columns, and ledgers).





KEYSTONE
EXPERTS + ENGINEERS

18 South Wilcox Street, Suite 100
Castle Rock, Colorado 80104

keystoneexperts.com (866) EXP-ENGR

October 28, 2024

VIA EMAIL: robert.null@guard.com

**Berkshire Hathaway GUARD
P.O. Box 1368
Wilkes-Barre, Pennsylvania 18703-1368**

Re:	Policy No.:	VIBP556174
	Claim No.:	VIBP556174-001-001-001
	Claim Type:	Multi-Family
	Insured:	Lagun
	Address:	24 Grant Street Burlington, Vermont 05401
	Date of Loss:	October 7, 2024

Dear Berkshire Hathaway GUARD,

At your request, Keystone Experts and Engineers, LLC (Keystone) inspected the above-referenced property to determine the extent of reported fire damage, and to provide conceptual repair recommendations. The inspection took place on October 15, 2024. The persons present during Keystone's on-site investigation included Scott Silverstein, P.E. (Forensic Engineer, Keystone), Kevin Clark (Senior Building Consultant, Keystone), and Filipp Lagun (property owner's son). This report contains the findings and conclusions reached as a result of that on-site investigation.

Documents Provided by Others for Review:

- Engineer Request
- Businessowner's Vendor Assignment by Berkshire Hathaway GUARD

Available information was documented and photographed during the investigation. The photographs depicted herein are a sampling of the many photographs taken by Keystone during the investigation. The remaining photos may be provided upon request.

Keystone did not review the insurance policy terms, limits, conditions, or coverages; therefore, the recommendations/findings presented in this report may (or may not) be covered. The issue of insurance coverage is beyond the scope of this report, and coverage is provided based upon the insurance policy.



Background Information:

Purpose: Berkshire Hathaway GUARD retained Keystone to determine the extent of reported fire damage, and to provide conceptual repair recommendations.

Property History and Orientation: Records obtained from Chittenden County indicated the building was originally constructed in 1915. The front of the structure is referenced herein as facing south (**Figure 1**). Descriptions in this document reference compass directions.



Figure 1. Aerial overview of subject property (Overview by Google Maps).

Owner Interview:

Mr. Lagun provided access to the building as well as the following information about the subject property:

- The building was constructed circa 1905.
- His father, Viktor Lagun, had owned the property since 1999.
- The fire started on the second-level east deck at the northeast corner (access from Unit 4) between 1:00 and 2:00 a.m. on October 6, 2024, and spread to the roof. It was extinguished in less than an hour. The exact sequence of events was unknown as it occurred in the middle of the night. The building was not owner-occupied, and no tenants or responders were available for interview. The property owner's daughter (Filipp's sister) arrived at 7:00 a.m. that morning for damage assessment. PuroClean secured the site that day. No one was hurt.



- There were five apartments in the building. There were no vacancies at the time of the fire but all residents had to move out immediately. The residents were professionals (minimum 35 years old) and seniors. There was another building in the rear of the same property with two apartments and a five-car garage. The other building was not damaged.
- Viktor did regular maintenance on the building and had redone most of the finishes. He expanded the electrical panel (most of the building was on fuses) and modernized finish plumbing along with fixtures; there was still copper within the walls.
- He replaced the heating system for the upstairs units with Rinnai natural gas heaters in August 2024.

Site Observations:

General Observations:

- The structure was a two-story, wood-frame, multi-family dwelling over a basement covered with slate and asphalt shingles over 8:12 slopes, clad with aluminum siding, and supported by a stone and brick foundation system. **(Photos 1 through 4)**
- The building was surrounded by grass lawns and paved and unpaved access roads. There was a tree near the left front corner of the building. There was a separate parking/residential building at the rear of the property. **(Figure 1, Photos 1 through 4)**

Structure Observations:

- The entire exterior wall cladding and roof, including several rafters, of the second-level northeast deck/porch had burned. The south end of the roof had collapsed. **(Photos 5, 6)**
- Several of the southern second-level northeast deck/porch floor joists (ceiling joists of the ground-level porch) were charred with slight section loss. **(Photo 6)**
- The following had charred and softened and had moderate to complete section loss.
 - Nearly all roof rafters **(Photos 7 through 14)**
 - Approximately eight attic joists **(Photos 16, 17, 20)**
 - Approximately 12 exterior studs **(Photos 15, 19)**
 - Approximately six interior studs **(Photo 18)**
- Other visible structural elements lacked section loss, including the following.
 - Certain attic joists **(Photos 21, 24)**
 - Second-level floor joists **(Photos 26, 29)**
 - First-level floor joists **(Photo 31)**
 - Exterior studs **(Photo 25)**
 - The entire foundation wall **(Photos 30-31)**
- Nonstructural damage included the following.
 - Char/section loss of plaster lath and strapping **(Photos 21, 24)**
 - Blackening, waterlogging, and collapse of insulation and ceiling finishes **(Photos 23, 28, 29)**
 - Blackening and peeling of plaster on the walls **(Photos 25, 27)**
 - Buckling of wood floors **(Photos 22, 27)**

Evaluation:

Combustion of construction materials produces particulate matter of varying sizes, observed in the form of smoke emanating from the heat source. These particulates coat surfaces proximate to the combustion source as well as along the draft flow path. Coated surfaces will have the appearance of having been burned due to the (typically) black color; however, examination of the material beyond the combustion particulate coating will reveal the condition of the material and whether it has been compromised by heat. A coating of combustion deposits does not in itself indicate fire damage to the material.



Wood

Exposure of wood to high temperatures can damage the cellular structure of the material through charring or burning. Wood will char without igniting at approximately 300°F. When the cellular structure is damaged, the strength characteristics of the wood are minimized rendering the wood unable to sustain loading. Heat damaged wood can be evaluated by the depth of char or discoloration of the wood fibers. Charring will effectively reduce the cross-section of the element and subsequently reduce its load-carrying capacity. Visual inspection of structural wood members includes observation of the depth of the char and the location of the char.

Structural elements that must be replaced due to fire damage (charring, section loss, and resulting loss of strength) include the entire roof, the northeast deck/porch, approximately eight attic joists, approximately 12 exterior studs, and approximately 6 interior studs.

Fire damaged some of the remaining structural elements by blackening the members with no coincident section loss or they were simply exposed to deposition of combustion byproducts and as such experienced no loss of strength. From a structural perspective, the building can be gutted and re-finished while leaving joists, beams, and studs intact other than those listed above as requiring removal and replacement.

Reinforced Concrete

The exposure of reinforced concrete to intense heat for an extended duration can result in damage to the concrete matrix as well as the embedded reinforcing steel. Although variations in the construction of a concrete structure (such as wall thickness and depth to reinforcing steel) as well as variations in the concrete mix (such as type of aggregate) will necessarily produce variations in the heat resistance of concrete, it has been commonly accepted that when concrete temperature has been raised to between 550 and 1100°F it undergoes a loss of strength. Visual indicators of heat-related damage include color changes, spalling and widespread surface cracking. In addition to the visual indicators of heat-related damage to concrete, heat-damaged concrete is often weak and friable and will produce a hollow sound when rapped upon. Additional methods for the evaluation of heat-damage to concrete include non-destructive instrument-measured analyses such as impact-echo testing, and destructive methods, such as extraction of samples for strength tests and petrographic analysis if warranted.

The concrete chimney did not display color changes, spalling, or widespread surface cracking, or other evidence of having been subjected to prolonged heat. As such, the concrete chimney may remain in-place.

Clay Brick

Brick is generally considered a good building material for fire resistance due to its non-combustible nature. Bricks are made from clay which is heated to high temperatures during the manufacturing process, making them relatively resistant to damage from heat and fire. Brick walls can typically withstand temperatures up to 1,800°F for a few hours, depending on the thickness and quality of the bricks used. However, prolonged exposure to extreme heat can cause bricks to crack or spall, reducing their structural integrity. Brick walls are constructed with mortar joints which are more susceptible to heat. The mortar will undergo a loss of strength between 550 and 1,100°F (see the discussion for **Reinforced Concrete**, above).

The brick chimney did not display cracks or spalls consistent with extended exposure to fire; similarly, the mortar was not soft and did not display widespread cracking and spalling.

The foundation walls were located below the area of fire and did not experience elevated temperatures. There was no damage to the foundation walls consistent with exposure to fire.



Conclusions:

To determine the extent of reported fire damage, and to provide conceptual repair recommendations, as requested, and based upon Keystone's investigation and the engineer's education, training, and experience, the following conclusions have been reached within a reasonable degree of engineering certainty. Additional detail and further analysis by which Keystone reached these conclusions can be found in the above **Evaluation** section of this report.

- The fire damaged the following structural components:
 - o the entire roof structure;
 - o the entire deck/porch structure;
 - o eight (8) attic joists;
 - o twelve (12) exterior wall studs; and
 - o six (6) interior wall studs.

Repair Recommendations:

Keystone recommends the method outlined below to repair the fire-damaged elements. The recommendations are conceptual in scope and are for use in planning and estimating costs only. The services of a licensed professional experienced in this industry should be acquired to engineer and design the exact structural requirements. Other methods for these repairs may also be available and appropriate.

- Replace the entire roof (approximately 66 2x12 rafters 24 feet long plus 80 feet of 2x12 ridge board and 33-2x6 collar ties 6 feet long, assuming new rafters are 24 inches on center).
- Replace attic joists above Unit 4 (approximately 8 2x6 joists, 16 feet long assuming new joists are 12 inches on center).
- Replace exterior studs on the east side of Unit 4 (approximately 12 2x6 studs 9 feet tall assuming new studs are 24 inches on center).
- Replace interior studs between bedroom and living room of Unit 4 (approximately 6 2x4 studs 9 feet tall assuming new studs are 16 inches on center).
- Replace the entire east-side deck and columns down to the porch (8x25 feet, including rafters, rafter support beams, and columns, deck joists, deck support beams, and columns, and ledgers).





Appendix A
Inspection Photographs



PHOTO 1

- Front (south) elevation.



PHOTO 2

- Right (east) elevation.



PHOTO 3

- Rear (north) elevation.



PHOTO 4

- Left (west) elevation.



PHOTO 5

- Right side rear porch/deck collapse looking west.
- Note severe blackening of exterior walls around the second floor deck and complete loss of several rafters above the deck.

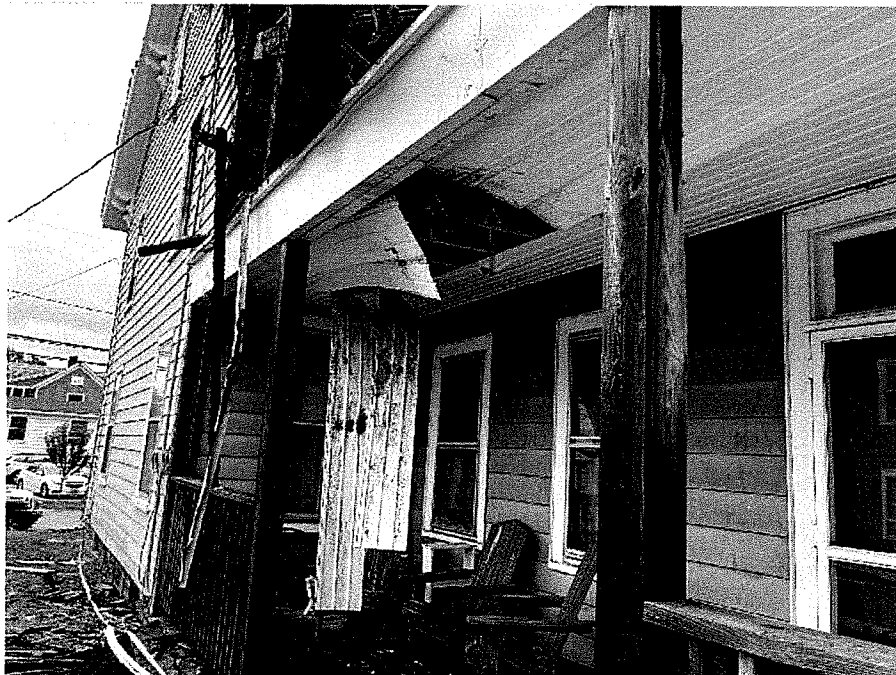


PHOTO 6

- Collapsed porch ceiling, looking southwest.
- Deck joists (red arrows) run north-south and were charred with slight section loss.



PHOTO 7

- Front part of attic looking west.
- All rafters were charred with moderate to significant section loss except two in the far southwest corner (red arrows).



PHOTO 8

- Close-up of attic southwest corner showing two intact (but blackened) rafters - others exhibit char and moderate section loss.

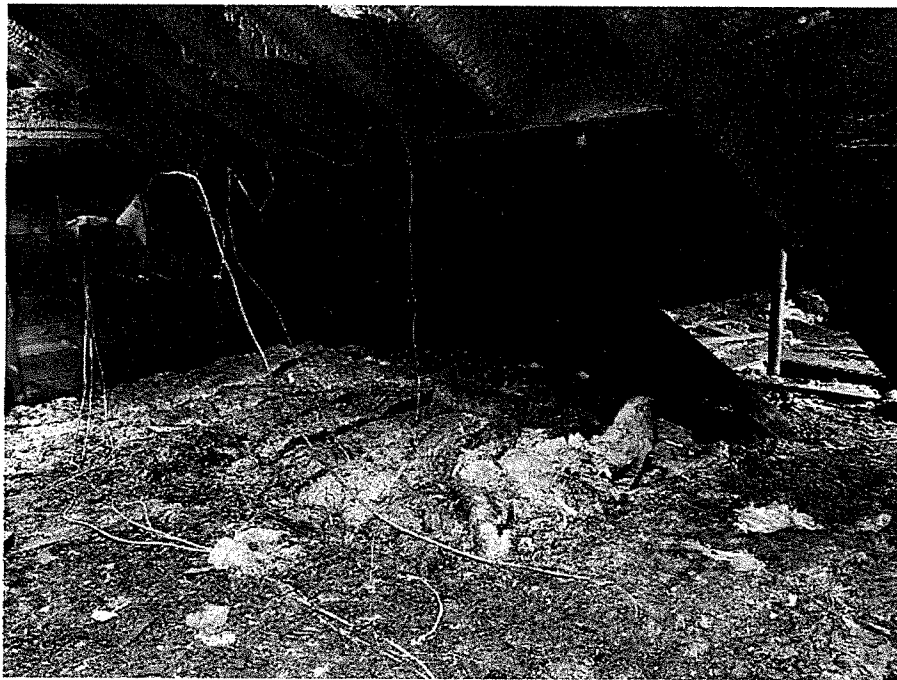


PHOTO 9

- Front part of attic looking northwest - all rafters exhibited char and moderate section loss.
- Burned fiberglass insulation on floor.



PHOTO 10

- South (front) part of attic looking east.
- All rafters were charred with significant section loss.

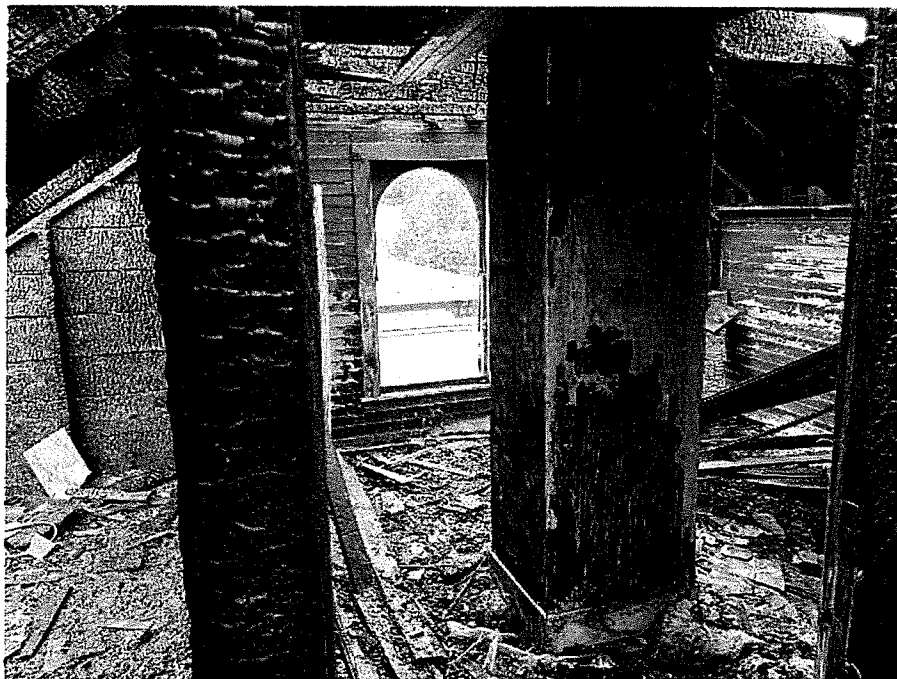


PHOTO 11

- South (front) part of attic (behind wall in previous photo) looking east.
- Concrete chimney was intact.
- All rafters (top left and top right) were charred with significant section loss.



PHOTO 12

- North (rear) part of the attic looking east.
- All rafters were charred with significant section loss.

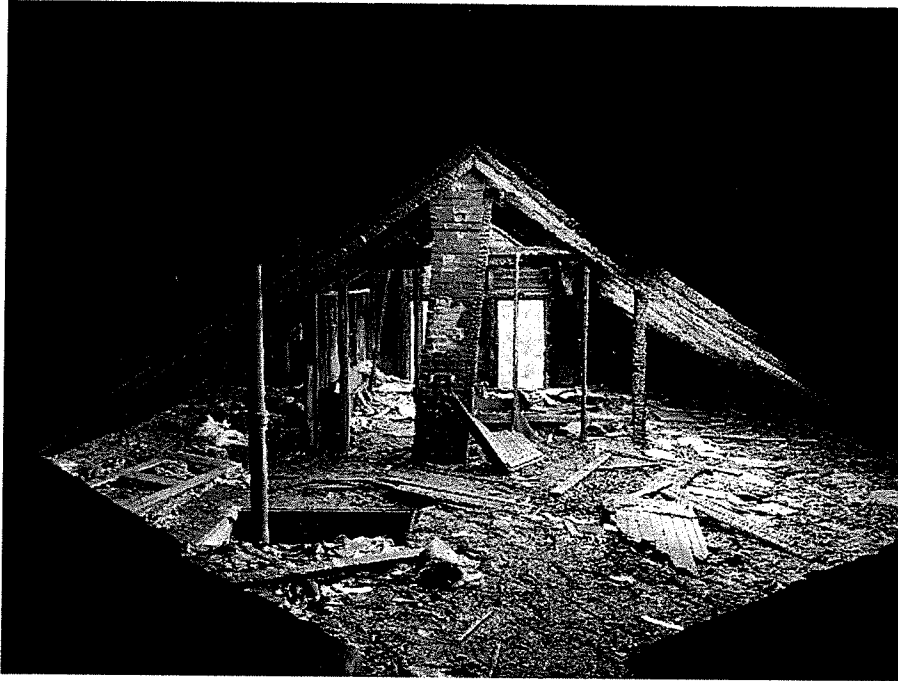


PHOTO 13

- North (rear) part of the attic looking north.
- All rafters were charred with significant section loss.
- Brick chimney was blackened but intact.



PHOTO 14

- North (rear) part of the attic looking west.
- All rafters were charred with moderate to significant section loss.
- Burned fiberglass insulation on floor.



PHOTO 15

- Second level, Unit 4 living room looking northeast.
- Char and moderate section loss in exterior wall studs facing the deck (circled).



PHOTO 16

- Second level, Unit 4 living room looking north/up.
- Char and moderate section loss in ceiling joists adjacent to east wall; flat-head screwdriver penetrates bottom flange.



PHOTO 17

- Second level, Unit 4 living room looking up at ceiling about 10 feet west of the east exterior wall.
- Ceiling joists exhibited blackening on left (west), and char and minor section loss on right (east).

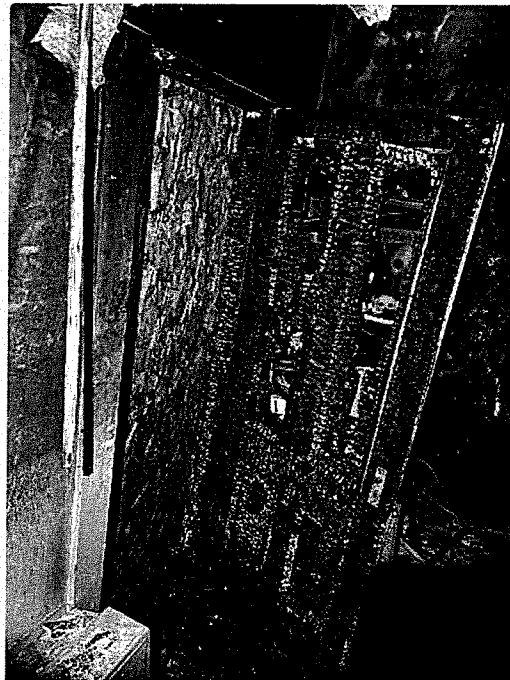


PHOTO 18

- Second level, Unit 4 living room looking southeast at door to deck; bedroom wall is behind (right side of photo).
- Severe char throughout.



PHOTO 19

- Second level, Unit 4 bedroom looking southeast.
- Char and moderate section loss in exterior wall studs facing the deck (circled).

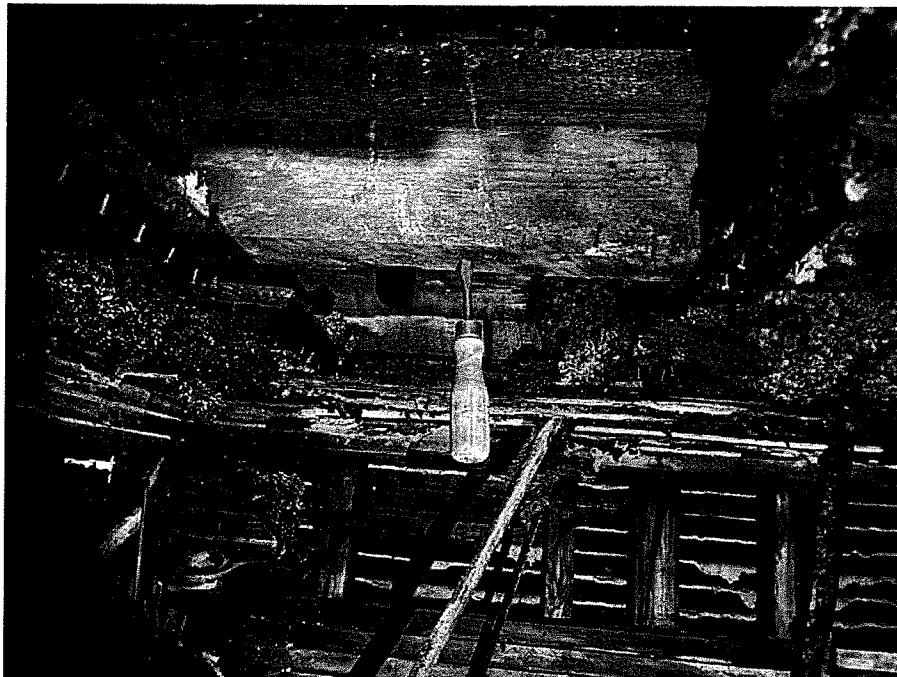


PHOTO 20

- Second level, Unit 4 bedroom looking south/up.
- Char and moderate section loss in ceiling joists; flat-head screwdriver penetrated bottom flange.



PHOTO 21

- Second level, Unit 4 bathroom on west side of building looking south/up.
- Collapsed drop ceiling; no blackening evident in exposed wood.



PHOTO 22

- Second level, Unit 3 on west side of building.
- Puddles and buckling of finish floor.



PHOTO 23

- Second level, Unit 3 on west side of building.
- Peeling of finish ceiling.

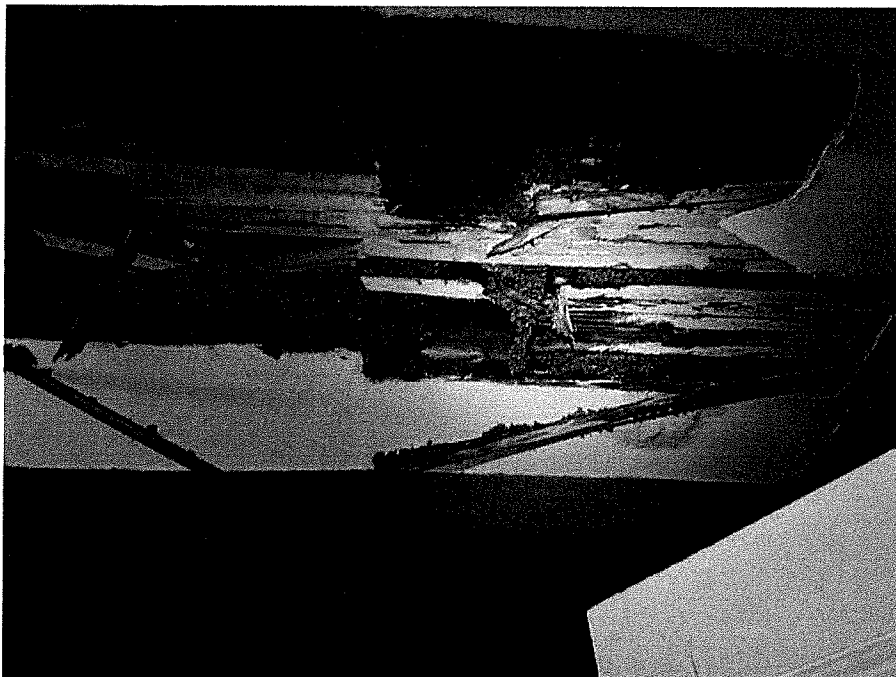


PHOTO 24

- Second level, Unit 3 bathroom looking north/up.
- Collapsed drop ceiling; some blackening of exposed wood.

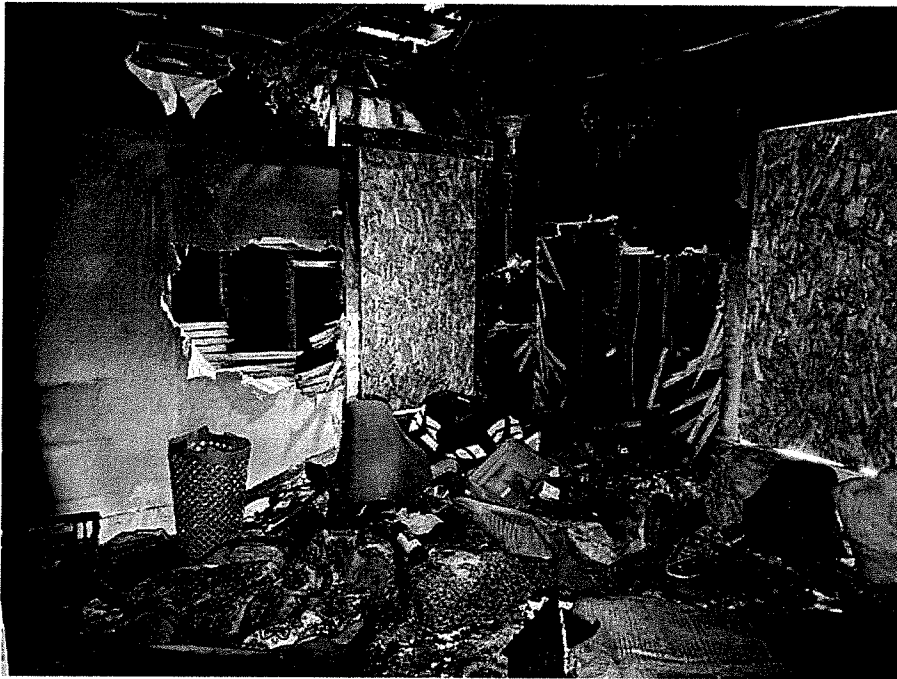


PHOTO 25

- Second level, Unit 2 on east side of building, looking north at wall facing deck.
- Plaster was waterlogged; visible studs showed blackening but were intact.
- Daylight visible through collapsed ceiling and damaged attic flooring.



PHOTO 26

- Second level, Unit 2 looking east/up at ceiling adjacent to the wall facing deck.
- Daylight visible through damaged attic flooring.
- Ceiling joists appeared intact.



PHOTO 27

- Second level, Unit 2 south (front) room looking south.
- Blackening of walls; buckling of finish floor.

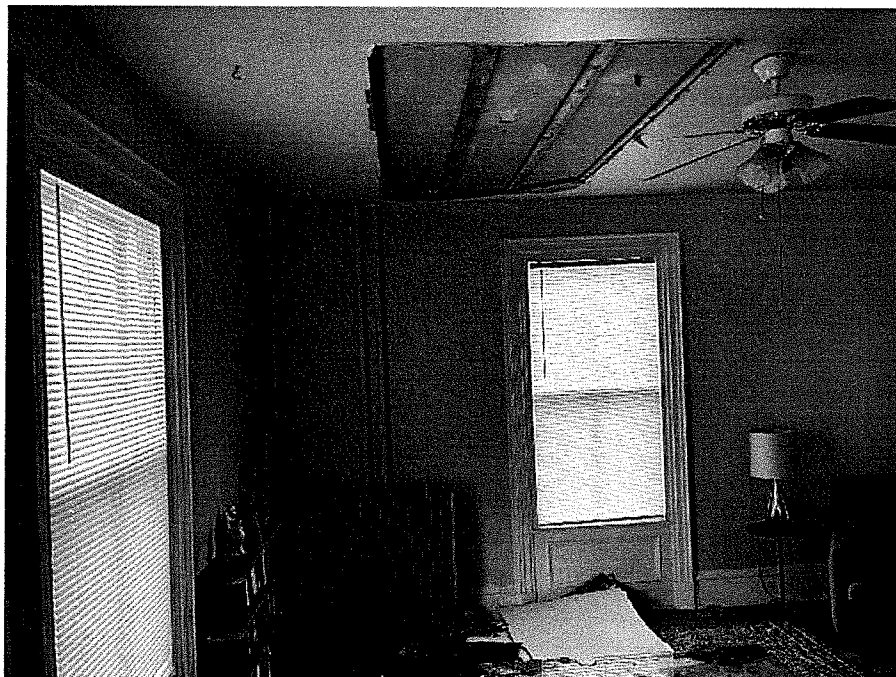


PHOTO 28

- First level, Unit 1 looking west.
- Collapsed finish ceiling and bulging of insulation above.
- No blackening evident in exposed wood.

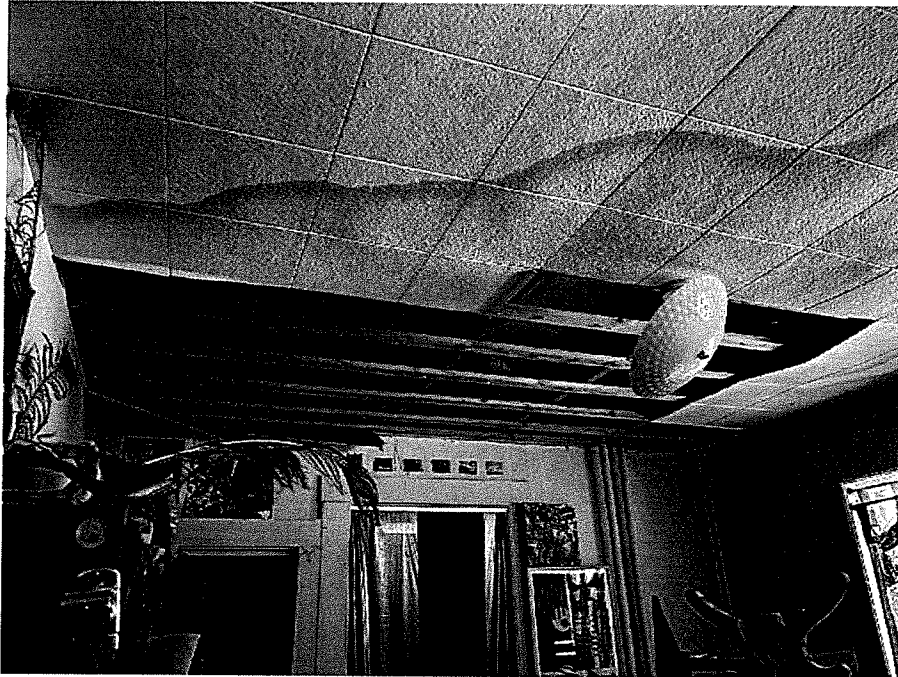


PHOTO 29

- First level, Unit 5 looking north/up.
- Collapsed ceiling tiles and staining of intact ceiling tiles.
- No blackening evident in exposed wood.
- Directly below Unit 4 living room.



PHOTO 30

- Typical exterior foundation wall (front wall looking north) with gaps in mortar.

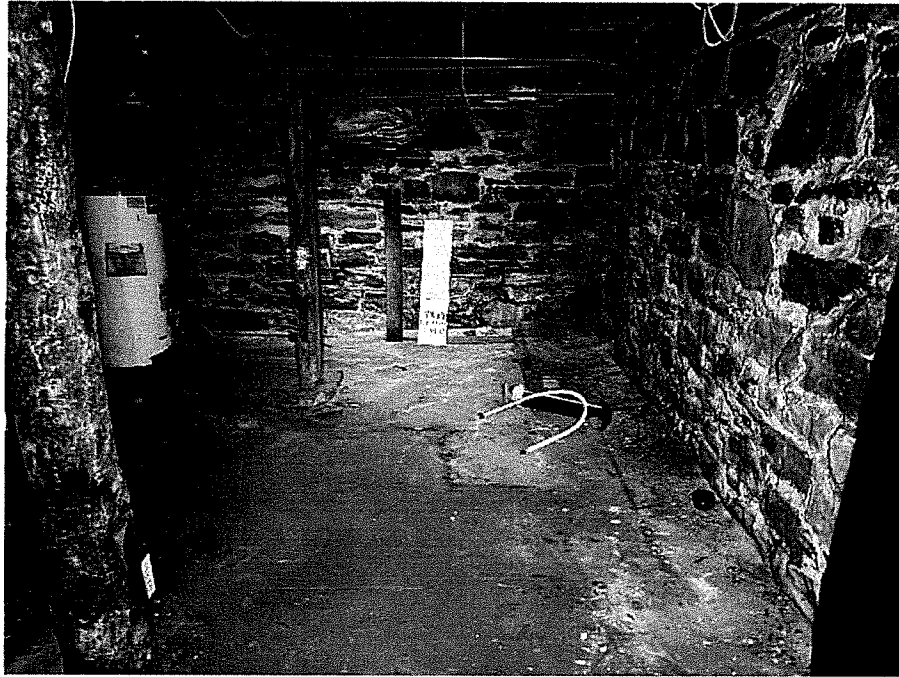


PHOTO 31

- Typical basement interior showing intact joists, foundation walls, and concrete slab with control joints.

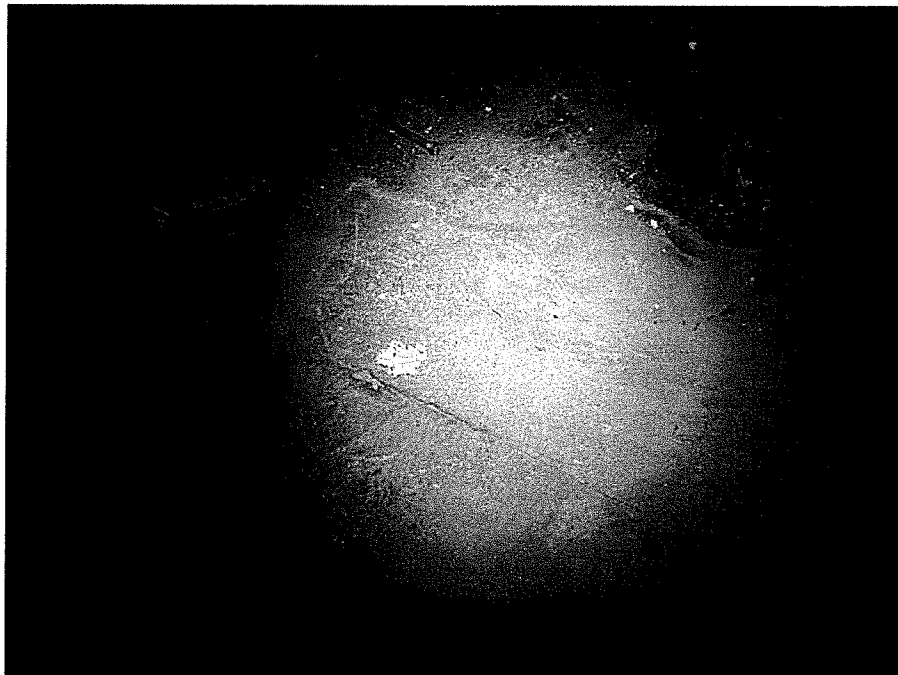
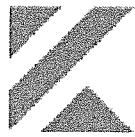


PHOTO 32

- Basement slab-on-grade with control joint and spall around base of interior column.



Appendix B
Curriculum Vitae

Scott A. Silverstein, P.E.
FORENSIC ENGINEER

PROFESSIONAL SUMMARY

15 years professional experience in design, analysis, and evaluations of single-family homes, multifamily homes, commercial properties, bridges, construction equipment, PV solar installations, and amusement rides. Diverse client base including homeowners, business owners, contractors, architects, property managers, realtors, insurance companies, and local governments. Expert CADD skills and construction oversight services.

EDUCATION

Massachusetts Institute of Technology Cambridge, MA, Dept. of Civil & Environmental Engineering - Master of Engineering Degree, June 2009.

Cornell University Ithaca, NY, School of Civil & Environmental Engineering - Bachelor of Science Degree, May 2008.

LICENSE

Professional Engineer in Vermont
Professional Engineer in Massachusetts
Professional Engineer in New York
Professional Engineer in Rhode Island
Professional Engineer in New Hampshire
VT ANR Class 1 Certified.

WORK HISTORY

Keystone Experts and Engineers, LLC
Forensic Engineer

2020 to Present

Responsible for structural and architectural forensic consultation and investigation to determine the cause and origin of various site issues, including design and construction defects, and weather-related damage to residential, commercial and industrial properties. Capable of performing site evaluations, field analysis, and assessments of structural and architectural systems, low/steep-slope roofing systems, and foundation systems. Provide evaluations for failures as a result of hail damage, wind damage, moisture intrusion, flooding, building envelope failures, and general construction failures, as well as providing general recommendations for remediation and repair. Performs structural failure analysis, and evaluation of damage from hurricanes, tornados, ice/wind/snow, fires, explosions, blasting, construction vibrations, and differential foundation movement.

Completes forensic investigations and professional damage assessment reports for properties affected by storm events. This includes damage from Flood, Wind, Hail, etc.

Richmond Professional Engineering PLC
Owner

February 2022-Present

- Design houses, facilities, outbuildings, renovations & repairs, foundations, bridges, construction hoists, & cranes
- Design commercial rooftop & ground-mount PV solar installations
- Analyze structural issues in residences & facilities
- Investigate insurance claims for structural damage to properties
- Evaluate soil properties for structural stability & septic systems
- Evaluate water flow & effect of structures on flood water surface elevation
- Consult for the Town of Waterbury, VT to develop coordinated strategies & best practices for homeowner flood mitigation
- Draft site plans, floor plans, & construction details
- Perform construction field services and annual inspections
- Prepare technical reports for homeowners, businesses, and institutions

PERCH Engineering PLC**April 2014-February 2022****Owner**

- Designed houses, offices, additions, renovations, decks, foundations, pedestrian bridges, construction hoists, cranes, & amusement rides
- Worked with architects, carpenters, & excavators to realize designs
- Analyzed structural issues in single-family & multifamily houses
- Evaluated soil properties for structural stability & septic systems
- Drafted site plans, floor plans, & construction details
- Designed 5 tethered helium balloon rides and produced drawings, calculations, and other design documentation to verify safety & durability, satisfy national & international standards, and meet the unique demands of clients worldwide

The Louis Berger Group, Inc.**October 2011-April 2014****Structural Engineer**

- Designed decks, superstructures, bearings, substructures, & foundations for highway & railroad bridges
- Employed Accelerated Bridge Construction (ABC) methods including "Inverset" modular fabrication techniques
- Drafted bid drawings using AutoCAD
- Performed bridge inspections in varying conditions, including trusses & girder bridges of steel, timber, reinforced concrete, & prestressed concrete
- Responded to shop drawings & requests for information (RFIs) from the contractor during construction phase services

Ammann & Whitney**July 2009-October 2011****Junior Structural Engineer**

- Designed decks, superstructures, bearings, substructures, & foundations for highway & pedestrian bridges
- Incorporated adaptability on the North Bank Bridge, a pedestrian bridge in Boston that reuses the foundation of a demolished highway onramp
- Performed inspections & condition evaluations of building façades, roofs, & bridges
- Completed inspection reports & rating reports
- Performed construction monitoring to protect the Boston Public Library during construction of a new subway station

Professional Affiliations

ASCE American Society of Civil Engineers – member

SEON Sustainable Energy Outreach Network – High Performance Building certificate holder

Honors and Awards

Douglas Whitney Prize for Writing

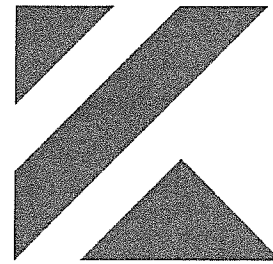
Excellence in Eng. Communications and

Roger K. Berman Oral Presentation Award

2007 Cornell Eng. Communications Program

(sole recipient out of approximately 300 senior engineering students in 2007-2008 program)

Eagle Scout - 2002



KEYSTONE

EXPERTS + ENGINEERS

18 South Wilcox Street, Suite 100
Castle Rock, Colorado 80104

keystoneexperts.com (866) EXP-EN

Michael Richardson, PE
Managing Engineer

PROFESSIONAL SUMMARY

After earning a Master of Science Degree in structural engineering from Purdue University, Mr. Richardson provided a variety of efficient, cost-effective structural designs for various public and private clients. His design experience included the use of the latest in computer technology design aids for the structural design and analysis of new and existing education facilities, commercial and municipal office buildings, correctional facilities, distribution facilities, and water treatment tanks.

In 2002, Mr. Richardson transitioned his engineering focus to providing forensic engineering services and facility condition assessments, which is still his primary focus. Mr. Richardson's areas of expertise in forensic investigations include structural failures and collapses, construction defects, roofing failures, water infiltration, fires and explosions, and severe weather damage assessment. Mr. Richardson has performed investigations on a wide variety of construction materials and methods. He is well versed in identifying building component deficiencies and any resulting damages and liability. His investigations often times result in providing recommendations and designs of unique and effective repairs to correct the deficiencies.

Mr. Richardson has led multi-discipline teams of engineers in forensic investigations and assessments for local, state, and federal agencies throughout the US and internationally.

Mr. Richardson has previous training and certification for the determination of the cause and origin of fires and/or explosions involving residential and commercial structures, vehicles, and equipment. His experience in physics, fire science, and engineering were an asset in the reconstruction of fire scenes to determine the incident's cause from the remaining physical evidence. This specialized training and experience also proves instrumental in determining the extent of structural damage to buildings that have sustained a fire.

EDUCATION & LICENSES

Bachelor of Science in Civil Engineering Purdue University 2000
Master of Science (Structural Engineering) Purdue University 2001
Licensed Professional Engineer - CO, FL, IN, MO, NV, & OH

WORK HISTORY

Keystone Experts + Engineers, LLC
Managing Engineer

2022 to present

Responsible for structural and architectural forensic consultation and investigation to

determine the cause and origin of various site issues, including design and construction defects, and weather-related damage to residential, commercial and industrial properties. Capable of performing site evaluations, field analysis, and assessments of structural and architectural systems, low/steep-slope roofing systems, and foundation systems. Provide evaluations for failures as a result of hail damage, wind damage, moisture intrusion, flooding, building envelope failures, and general construction failures, as well as providing general recommendations for remediation and repair. Performs structural failure analysis, and evaluation of damage from hurricanes, tornados, ice/wind/snow, fires, explosions, blasting, construction vibrations, and differential foundation movement. Completes forensic investigations and professional damage assessment reports for properties affected by storm events. This includes damage from Flood, Wind, Hail, etc.

SDII GLOBAL CORPORATION

2020 to Present

Principal Forensic Engineer

Performed forensic engineering services for insurance companies and law firms for property loss claims. These claims include structural failure, deterioration, water infiltration, fire/storm damage assessment, and roof failures. Mentored young engineers on the technical aspects of forensic investigations, scene documentation, and technical reports.

SALAS O'BRIEN (Formerly Varo Engineers)

2017 to 2020

Department Manager, Structural

Assumed full authority for financial, technical, and administrative decisions of structural engineering department consisting of numerous engineers and designers within a multi-discipline engineering firm of more than 700 staff members.

Provided oversight and guidance on all department work to promote successful project delivery in terms of quality, cost, schedule, and safety. The firm's projects are typically in the industrial markets with multi-million dollar installed costs. Lead and mentored team members to advance their technical expertise and career development while promoting the corporate culture. Utilized business development efforts to enhance existing relationships and identify and cultivate new business opportunities throughout the US.

Communicated pertinent information between company executives and direct reports including department metrics, organizational messaging, resource planning, strategic business planning, etc. Carried out contractual obligations while identifying risks that run counter to company policies and quality standards.

RICHARDSON ENGINEERING CONSULTING, LLC

2014 to 2020

Owner

Owner conducting all aspects of business including technical work, accounting, and business development. Performed forensic engineering services for insurance companies and law firms for property loss and construction defect claims. These claims include structural failure, deterioration, water infiltration, fire/storm damage assessment, and roof failures. Conducted forensic investigations, property condition assessments, and capital reserve studies for property owners and managers. Structural engineering design services for the construction and modification of commercial facilities.

ADVANCED ENGINEERING CONSULTANTS

2014 to 2016

Project Manager

Managed projects focused on the assessment and modification of existing facilities. Conducted and managed multi-facility condition assessments and capital reserve studies for several state and federal agencies.

AMERICAN STRUCTUREPOINT, INC.

2002 to 2014

Director of Project Development

Managed operations of the Forensic Engineering department in the branch office. Performed forensic engineering services for insurance companies and law firms for property loss and construction defect claims. These claims include structural failure, deterioration, water infiltration, fire/storm damage assessment, and roof failures. Performed structural engineering services for the repair and restoration of many types of buildings, including single-family residences, townhouses, office buildings and educational. Performed structural engineering services for the design of new structures and additions including education facilities, commercial and municipal office buildings, correctional facilities, distribution facilities, and water treatment tanks.

Performed cause and origin determination of fires and explosions to a wide range of residential and commercial structures for insurance companies and law firms. Conducted and managed property condition assessments and capital reserve studies.

PUBLICATIONS

Barn Collapse: When Experience Is Not on Your Side. Subrogator: A publication dedicated to the art of recovery by National Association of Subrogation Professionals, Spring/Summer 2013



ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401

Date of Loss: 10/07/2024

ORIGIN & CAUSE REPORT

Structure Fire

24 Grant St, Burlington, VT 05401



D-side(east)

Date of Loss:

Monday, October 7, 2024

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Incident #: 2024-00008576

Primary Investigator:
Matthew Stone

Date of Fire: 10/07/2024

Classification: Accidental



ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401
Date of Loss: 10/07/2024

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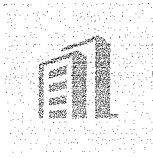
Attachments

Appendix A: Scene Interviews

Incident #: 2024-00008576

Primary Investigator:
Matthew Stone
Classification: Accidental

Date of Fire: 10/07/2024



ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401

Date of Loss: 10/07/2024

Appendix B: Report Photographs

Appendix C: Supplemental Reports

Incident #: 2024-00008576

Primary Investigator:
Matthew Stone

Date of Fire: 10/07/2024

Classification: Accidental



ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401

Date of Loss: 10/07/2024

1. INCIDENT SYNOPSIS

On 10/07/2024 at approximately 0111 hours the Burlington Fire Department responded to a reported residential structure fire located at 24 Grant St, Burlington, VT 05401, on the exterior porch. Fire crews arrived on the scene and found a 2-story, residential multifamily occupancy with fire involvement. Fire crews extinguished the fire but not before an estimated \$1.15 million worth of damage had occurred. Fire investigators were then requested to the scene to assist with fire cause determination.

After a thorough scene exam, collecting and analyzing available data including witness interviews, the fire was classified as **accidental**. Analysis of the evidence and information revealed the area of origin was located on the exterior of the structure. The conclusion of this fire event was the fire was initiated by an ashtray used for cigarette smoking as the heat source. There were no injuries or fatalities associated with this fire event.

Incident #: 2024-00008576

Primary Investigator:
Matthew Stone

Date of Fire: 10/07/2024

Classification: Accidental



ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401

Date of Loss: 10/07/2024

2. SCOPE OF WORK & PROBLEM STATEMENT

OBJECTIVE - The objective of the investigative efforts associated with this report was to establish the origin and cause of the fire that occurred at the given location at the specified date and time. This report is intended to document those investigative efforts and the origin and cause analysis. It should be noted that this report does not, nor was intended to, contain every investigative detail considered as part of the origin and cause analysis. Rather, this report highlights and summarizes only the information and evidence available to the investigators which is believed to be most significant to the origin and cause analysis. Additional details may be available from the participating agencies and organizations involved in the investigation of this incident.

CIVIL/CRIMINAL RESPONSIBILITY – The assessment and identification of parties having possible civil and/or criminal responsibility, motive, and or liability for the fire incident is beyond the scope of the analysis contained in this report.

SCENE PROCESSING & METHODOLOGY - A systematic approach was used in the scene investigation. Specifically, investigators conducted comparison examinations of areas of less damage to areas of greater damage with an emphasis on recognition, identification, and analysis of fire patterns. The investigation progressed from the exterior to the interior of the structure. The following data and information of significance were collected during this investigation.

The fire scene examination was conducted using the Scientific Methodology, the basic method of fire investigation, as well as a Systematic Approach to determine the origin and cause of the fire. The approach and method used have been subjected to peer review by the consensus committee of the 2024 edition of NFPA

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Primary Investigator:
Matthew Stone

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Date of Loss: 10/07/2024

921; "A Guide for Fire and Explosion Investigation", as well as the 2022 edition NFPA 1033; "Professional Qualifications for Fire Investigators".

Incident #: 2024-00008576

Primary Investigator:
Matthew Stone

Date of Fire: 10/07/2024

Classification: Accidental



ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401

Date of Loss: 10/07/2024

3. RECEIPT OF ASSIGNMENT

A fire investigation response was initiated after receiving a request from the Incident Commander. Matthew Stone, Chris Franzen and Phil Edgerley responded to the incident address. Upon arrival, Fire investigators checked in with Command to obtain a briefing, and conduct a cursory scene exam to determine the extent of the investigation. Matthew Stone conducted the origin and cause investigation as the primary investigator, while Chris Franzen and Phil Edgerley led the interviews with the fire crews and individuals associated with the fire event.

4. SAFETY ASSESSMENT

Fire investigators checked in with the Incident Commander to verify the scene was safe to enter. After an assessment of the fire scene, general fire scene dangers were observed to be the hazards present, and coveralls and boots with respiratory protection were deemed appropriate for the investigation.

5. WEATHER INFORMATION

SOURCE OF INFORMATION: OpenWeather
DATE AND TIME OF DATA COLLECTION: 10/07/2024 at 0111 hours
TEMPERATURE: 54.57 °F
HUMIDITY: 93%
WIND DIRECTION: 160°/Southeast
WIND SPEED: 6.91 MPH
SKIES: Overcast clouds

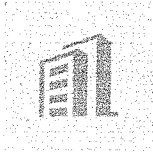
6. STRUCTURE DETAILS

The involved structure was a Type V-Wood Frame 2 story, residential multifamily occupancy. The structure was approximately 38 feet wide and 55 feet in length with an estimated total square footage of 4180. The Burlington Assessors Office listed the total square feet as 4036 sq. ft. The roof was cross gable styled with roofing material consisting of slate. The exterior siding was made

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of wood/aluminum siding material and the foundation consisted of concrete. Fire damage assessments conducted of the structure suggests the property damages to be approximately \$1,000,000 with an additional \$150,000 in content loss.

6.1 EXPOSURES

Type V two story apartment building to the east received heat damage to the vinyl siding. No picture was taken of this building.

7. PHOTOGRAPHY/ VIDEO SURVEILLANCE

7.1 PHOTOGRAPHY

During the origin and cause examination, digital photographs were taken to document the investigation and findings. The photographs taken are a true and accurate representation of the relevant facts gathered throughout the investigation. 201 photographs were taken in all.

The following Investigator(s) are responsible for the photography documentation.

Photographer 1

Photographer / participator name	Christopher Franzen
Type	Additional Scene Photos
Number of photographs	72

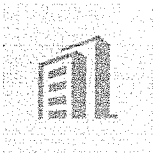
Photographer 2

Photographer / participator name	Matthew Stone
---	---------------

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Primary Investigator:
Matthew Stone
Classification: Accidental

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24 Grant St, Burlington, VT 05401

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Type	Scene Photos
Number of photographs	129

7.2 VIDEO SURVEILLANCE

Camera on rear of building to the east, 32-38 Grant St.

Ring camera on parking garage to the north.

Air B-n-B renter from a building to the east.

8. UTILITIES

8.1 ELECTRICAL SERVICE

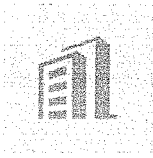
Overhead Single-phase

The electrical service for the residence was located on the East side of the property and was supplied from single-phase pole-mounted transmission lines via overhead drops to a weather-head/mast assembly and arriving at a meter base located on the East side of the residence. The electrical service was provided by Burlington Electric Department and the structure was energized at the time of the fire. There was no mechanical or fire damage to the meter base or weather head. The power to the structure was de-energized by Burlington Electric Department at the request of the incident commander for fire crew safety.

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8.2 ELECTRICAL DISTRIBUTION PANEL

Multiple breaker boxes and fuses boxes served the structure. Fuses ranged from 15 amp to 30 amp. Breakers ranged from 15 amp to 100 amp. Single and double pole breaker were present. This panels showed no signs of fire damage. Fuses panels apartment 2 and 4 had two blown fuses in each.

8.3 ELECTRICAL DISTRIBUTION SUBPANEL

Six electrical meters served fuse boxes or breaker boxes for each apartment or house panel.

8.4 GAS SERVICE

Natural gas service was provided to the structure.

No damage was observed to the gas meter.

Examinations of the gas main control valve revealed it was currently in the ON position.

8.5 WATER SERVICE

The water was on and operating at the time of the fire event.

9. BUILDING SYSTEMS

Interior compartments were examined to locate any fire, smoke detection systems/components, and surveillance cameras that were installed before the fire event. The following was observed and described:

9.1 ALARM SYSTEM

There was no onsite alarm system found during the examination.

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9.2 SMOKE ALARMS

During the scene exam, smoke alarms were observed within the structure. The status of the smoke alarms showed they were non-working. A smoke alarm was sounding upon arrival at the scene. Apartment 4 had removed the smoke alarms due to low battery alarm beeps.

10. EXTERIOR EXAMINATION

The scene examination began from the address side of the structure and worked in a clockwise direction documenting the exterior of the structure. For the purpose of this report, the front of the structure is 24 Grant St, Burlington, VT 05401, which will be referred to as side A. The remaining sides will be referred to as side B, C (north of structure) and D.

Alpha - Grant St. side- South side

Bravo - West side

Charlie - North side

Delta - East side

The burn patterns on the exterior 2nd floor, D side porch indicated that the fire started on the outside of the structure. The exterior siding was aluminum over wood clapboard over a paper type backing material over a solid wood (1x6 or 1x8) sheathing. Mass loss of all levels, char depth and protected areas behind the paper backing material indicated an area of origin on the porch in the area between W1 and D1. Mass loss along with heat and smoke patterns on the interior of apartments 2 and 4 also indicated that the fire started on the outside of the structure.

This concludes the exterior examination. At this point of the fire scene examination, the determination was made the fire progression moved in the direction from the exterior of the structure to the interior compartment areas.

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11. INTERIOR EXAMINATION

Entrance to the interior of structure was made through the front entrance door located on the alpha side of the structure. At this point of the exam, signs of forcible entry were observed. Firefighters had forced entry to the structure to extinguish the fire.

Utilizing a systematic approach working at the areas of least damage and moving to the area of greatest fire damage, the determination has been made the area of least damage was the 1st floor apartments moving up to the greatest area of damage to the upstairs apartments at the rear of the building. These area(s) to be non-area(s) of origin and are considered exposure room(s) within the structure. The exposure room(s) revealed a movement and intensity pattern created by convective, radiant and direct flame impingement producing black carbon particles or soot. These patterns indicated the fire traveled from the area of origin to the area(s) identified as an exposure area.

① Significant findings observed and/or revealed during the interior examination/investigation:

Apartment #4 had heavy smoke damage with fire damage to the inside of the window trim and above the window. The door to the exterior porch had significant mass loss in the upper area of the door. Apartment #2 which contained the bikes received heavy smoke damage with fire damage to the inside of the window trim and above the window.

Smoking materials found in apartment #4 with extension cords placed through two windows to the exterior porch.

New Rinnai natural gas heater installed without a permit on Sept. 3rd 2024.

12. AREA(S) OF FIRE ORIGIN

Working systematically from the least burned to the most burned areas around the structure, the area of origin was found to be exterior second floor porch.

The fire, heat, and smoke patterns from within this area indicated the fire had reached the fully developed stage of fire development.

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Classification: Accidental

Date of Fire: 10/07/2024



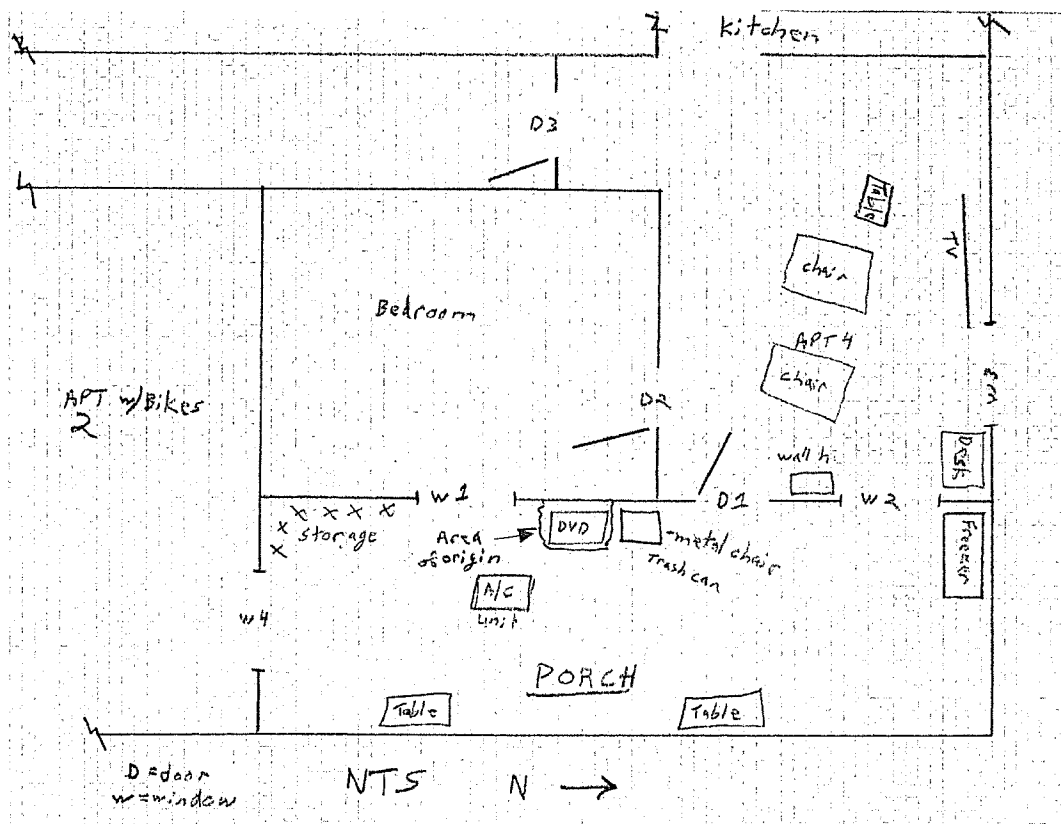
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The following is a detailed description of the area of origin:

Description is standing on the porch looking west. The second-floor porch accessed by apartment #4 with a door was the area of origin. One window (W2) at the north end of the porch, one door (D2) to the left of the window and one window (W1) to the left of the door. Facing south was one window (W4) that accessed Apt #2. The area of origin was between D1 and W1.



D- side porch, centered on porch, near the house wall.

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13. DE-LAYERING/RECONSTRUCTION

13.1 DE-LAYERING PROCESS

A delayering process was conducted within the area of origin. This process was conducted to visualize and identify any competent ignition sources and available first fuels. Fire debris within the area of origin was carefully moved and sifted through in an attempt to locate any heat sources responsible for this fire event.

13.2 RECONSTRUCTION PROCESS

The area of origin was not reconstructed.

14. IGNITION & FUEL SOURCES IDENTIFIED IN AREA OF ORIGIN

① Accidental Ignition Sources (Smoking Activity and or Presence of an Open Flame)

During the investigation, accidental ignition sources such as improperly discarded smoking material and candles were searched for. The following was revealed during the examination:

Evidence of improperly discarded smoking material was found within the area of origin.

No evidence of candles or any device/item capable of producing or sustaining an open flame was found within the area of origin.

4 heat source(s) within the area of origin have been identified:

One extension cord through W2 to supply power to the freezer on the north end of the porch. One power supply cord for the window AC unit that was sitting on the porch floor in front of the W1. One glass ashtray found in the debris pile of DVD's. One Rinnai heater.

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Primary Investigator:
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ORIGIN & CAUSE REPORT

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Of the above heat sources, the following have been ruled out:

The extension cord running through W2, which was pinched between the bottom window sash and the window sill. The windowsill did not show a mass loss that would have resulted from the arcing of the wires at the pinch point. The extension cord was plugged into a power strip inside by the Rinnai heater. The extension cord running through W1 was not plugged in. The window AC was in place in the window at the time of the fire. The mass loss patterns and burn patterns did not lead back to this area. The Rinnai heater vent did not have mass loss around it that would indicate the origin of the fire. The inside of the Rinnai vent system did not have heat damage. The Rinnai heater was set to turn on automatically depending on air temperature.

Among the mentioned heat sources, they were able to be dismissed as potential ignition sources. This conclusion was drawn based on factors such as the items not being energized, their distance from the heat source, and the absence of any electrical failure in the components within each item.

After examination of the area, the following were unable to be ruled out:

Tenant of Apt 4 admitted to smoking on the porch on the evening of 10/6/2024. A glass ashtray was used for the cigarettes. A glass ashtray was found in the debris pile located between D1 and W1.

During the on-site examination, identification of various available fuels within the area of origin was found. The available fuels within the area of origin provided sufficient evidence that supported the determination regarding the first fuels ignited. The first fuels ignited has been determined to be paper, cardboard boxes and soda bottles. Items were confirmed during witness interviews.

15. AREA(S) OF FIRE ORIGIN

Area of Origin - Pile of DVD's located between D1 and W1. To the left of the metal chair.

Competent Heat Source – Smoking materials within the ashtray used for cigarette smoking.

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Primary Investigator:
Matthew Stone

Date of Fire: 10/07/2024

Classification: Accidental



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Date of Loss: 10/07/2024

First Material Ignited - DVD cases, paper, cardboard boxes, carpet.

16. ACCELERANT DETECTION CANINE

An ignitable liquid (IGL) canine handler was not used in this investigation.

17. EVIDENCE COLLECTED

There was no evidence collected for this fire event.

18. IGNITION SEQUENCE / HYPOTHESIS DEVELOPMENT AND TESTED

Most Probable Ignition Sequence: Cigarettes not properly extinguished or disposed.

19. ALL PARTICIPATING INVESTIGATORS

Primary: Matthew Stone

Secondary: Chris Franzen

Secondary: Phil Edgerly

Incident #: 2024-00008576

Primary Investigator:
Matthew Stone
Classification: Accidental

Date of Fire: 10/07/2024



ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401

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20. DOLLAR LOSS ESTIMATE

The total dollar loss for this fire event is estimated to be \$ to include the following:

Structure-\$ 578,800

Contents-\$ 75,000

Vehicle(s)-\$ 0

21. FIRE CAUSE CLASSIFICATION

The fire has been classified as ACCIDENTAL due to an ashtray used for cigarette smoking being introduced to DVD cases, paper, cardboard boxes, carpet.

This report has been reviewed for conformance with accepted and tested scene processing methodology. Additionally, it has been reviewed for both form and content and agreed with or exceed the recommendations of published materials and standards relating to the reporting of scientific information outlined in publications such as those published by the NFPA and ASTM.

The data contained in this investigation is true and accurate based on the information available at the time it was written. Findings, opinions, and conclusions may change if additional data collected is discovered after this report was authored.

Should additional data become available after this report was generated, the City of Burlington Fire Department reserves the right to evaluate new information and adjust stated opinions as needed or dictated by industry standards and guidelines such as NFPA 921 or ASTM standards.

Incident #: 2024-00008576

Primary Investigator:
Matthew Stone

Date of Fire: 10/07/2024

Classification: Accidental



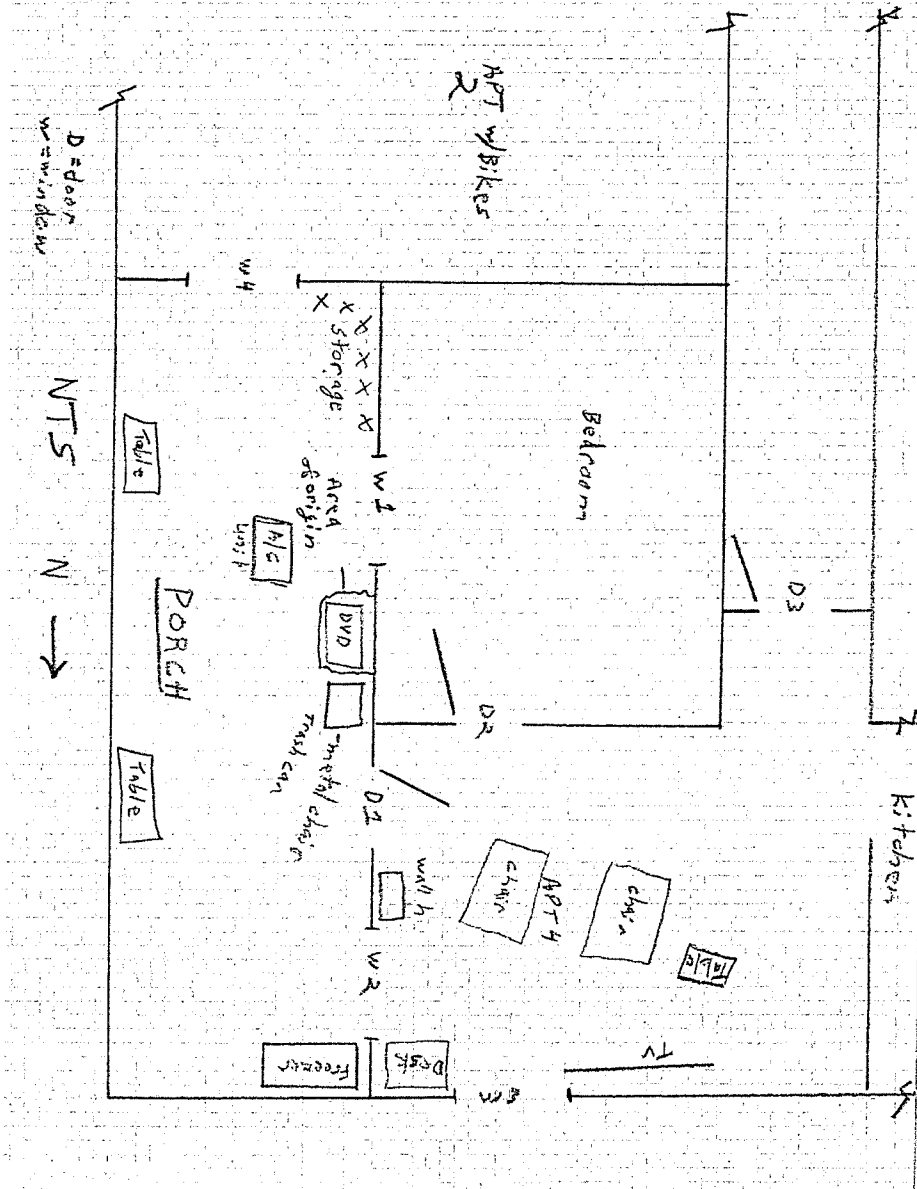
ORIGIN & CAUSE REPORT

24 Grant St, Burlington, VT 05401

Date of Loss: 10/07/2024

FLOOR PLAN OF INCIDENT ADDRESS

① Not to scale. For illustration purpose only.

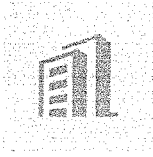


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Classification: Accidental



ORIGIN & CAUSE REPORT

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Date of Loss: 10/07/2024

Not to scale. For illustration purposes only. North is the top side of the mapview.



A-side (south)

Incident #: 2024-00008576

Primary Investigator:
Matthew Stone
Classification: Accidental

Date of Fire: 10/07/2024

18 S. Wilcox Street, Suite 100
Castle Rock, Colorado 80104



1 1-Lagun_ (1)

Date Taken: 10/15/2024

18 S. Wilcox Street, Suite 100
Castle Rock, Colorado 80104



7 7-Lagun_ (7)

Date Taken: 10/15/2024

18 S. Wilcox Street, Suite 100
Castle Rock, Colorado 80104



9

9-Lagun_ (9)

Date Taken: 10/15/2024

18 S. Wilcox Street, Suite 100
Castle Rock, Colorado 80104



13

13-Lagun_ (13)

Date Taken: 10/15/2024



TAX ABATEMENT COMMITTEE

City Hall, Ground Flr., 149 Church Street, Burlington, VT 05401
WEBSITE: www.burlingtonvt.gov/assessor Voice (802) 865-7114

4/4/2025

Recommended Abatement Decision

Golden Junk LLC
Jeffrey Sonin
328 North Winooski Avenue
Burlington, VT 05401

RE: The Board of Tax Abatement Committee recommendation to the full Board of Tax Abatement regarding your request for abatement.

PARCEL ID: 040-2-140-000
TYPE OF PROPERTY: Commercial
LOCATION: 310-320 North Winooski Avenue

PROPERTY OWNER ON GRAND LIST: Golden Junk LLC

COMMITTEE HEARING DATE: 03.13.2025

AMOUNT REQUESTED: \$2,300

COMMITTEE'S RECOMMENDATION: Recommendation made in open public hearing. The Tax Abatement Committee recommends to grant in part the request for abatement per criteria for abatement under Section 42 of the Charter. Delays out of taxpayers control thus manifestly unjust. The abatement is only for the municipal portion of the taxes, and furthermore; only the portion of the building value contributing to the taxes. Abate approximately 24.8% of tax of building itself due to an unforeseen issue that engineering testing for state failed to note prior to the remediation work beginning and which significantly set the process of remediation, renovation and reuse/remodel of structure back many months.

AMOUNT RECOMMENDED FOR ABATEMENT: \$723.42

The Board of Tax Abatement will make a final decision on your request for tax abatement on **Monday, April 14, 2025**. Board takes the Tax Abatement Committee's recommendation under advisement. If you disagree with the recommendation you have the right to testify before the Full Board of Tax Abatement. The hearing will be held in **Contois Auditorium in Burlington City Hall**, during the City Council meeting.

If you are planning on attending this meeting, please contact Lori Olberg at 802-865-7136. She will provide you the start time and the methods of attendance.

Sincerely,

Kenneth Nosek, Administrator, Tax Abatement Committee

Non-Discrimination

The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at 865-7145.

TAX ABATEMENT REQUEST FORM

Submit to: C/O Tax Abatement, Burlington City Hall, Ground Floor, 149 Church Street, Burlington, VT 05401

Date of this Request: 2/18/25

Name, Property Owner on Grand List: GoldenJunk LLC

Name, Applicant: JEFFREY SONIN
(Describe the relationship of applicant to listed owner if the applicant is not the listed owner)

New Owner, Purchase Date: GoldenJunk LLC 11/19/2021

Executor/Administrator of Estate: JEFFREY SONIN

Mailing Address: 328 N. Winooski AVE

City, State, Zip code: Burlington VT. 05401

Applicant's Email and Phone #: phinnevssoin@gmail.com 802 865-3724

Location of Property: 310-320 NORTH WINOOSKI AVE / CORNER OF ARCHIBALD ST.

Parcel ID # (000-0-000-000): 040-2-140-000 or,

Account Number (PPP000000): _____ business personal property
(Can be found on the tax bill or property record card)

Total dollar amount you are requesting be abated:	\$	<u>2300.⁰⁰</u>
Breakout based on amount of:		
taxes:	\$	<u>2300.⁰⁰</u>
penalties:	\$	<u>0</u>
interest:	\$	<u>0</u>
prior year delinquency:	\$	<u>0</u>
other:	\$	_____

Briefly describe your abatement request. You may submit a letter with more details of your request.
Delays in Remediation of Property beyond My Control
Please see Submitted letter for Details.

Required Attachments:

- Copy of Tax Bill
- Copy of Tax Payment History (attainable from Clerk/Treasurer's Office)
- Property Record Card

Signature 

Date 2/18/2025

This form received by:

Date received:

2/16/2025

Board of Tax Abatement
149 church st
Burlington, VT 05401

Parcel # 040-Z-140-000

Subject: Request for Tax Abatement for 310-320 North Winooski Ave

Dear Board of Tax Abatement,

I am writing to formally request tax abatement for my property located at 310-320 North Winooski Ave. I purchased this property with the intent to expand my resale shop, Junktiques, and ultimately renovate the building to include much-needed affordable housing and retail space. However, the extensive environmental contamination from its prior use as Champlain Transmission has significantly delayed these plans and placed an immense financial burden on me.

I have made progress on the remediation process. The roof has been fully repaired, and phase one and half of phase two of the cleanup—digging and installing monitoring wells—have been completed. However, we encountered a major setback in phase three. The concrete floors of the building are too saturated with oil contamination, preventing the epoxy application from adhering properly. As a result, I had to request an additional \$30,000 from the Vermont Department of Environmental Conservation (DEC) to fund necessary floor replacements before the epoxy could be applied. see attached email between Stone Environmental and Garage Outfitters which explains the delay in the remediation process beyond my control. Thankfully, this request was approved in February 2025, and construction will resume in March, with epoxy application beginning in April 2025.

Due to these delays, I have remained unable to generate any income from this property. I have continued to pay property taxes, the mortgage, and insurance since acquiring the property in January 2022, all while being unable to use the building for my business or even for storage. This financial hardship has placed both my business and my livelihood at risk.

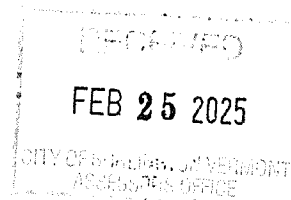
I am therefore requesting tax abatement on the grounds that the collection of taxes is manifestly unjust given the building's uninhabitable state and the delays in remediation caused by circumstances beyond my control. I respectfully ask for your consideration and support in alleviating this financial burden as I continue working toward making this property a beneficial addition to our community.

Thank you for your time and consideration. I look forward to your response and would be happy to provide any further documentation or details needed.

Sincerely,
Jeffery Sonin



2/16/2025



City of Burlington Tax Administration
Detail Transactions Report
Parcel 040-2-140-000 All Tax Years Full Detail

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance
			Bill Appl. To Prin. Pmt 4	07/05/19			940		1,921.18	7,684.72
			Rcpt. Appl. To Prin. Pmt 1	08/15/19	4217	1231351.0	36	LOCKBOX	-1,921.18	5,763.54
			Rcpt. Appl. To Prin. Pmt 2	11/18/19	4280	1231414.0	232	LOCKBOX	-1,921.18	3,842.36
			Rcpt. Appl. To Prin. Pmt 3	03/20/20	4353	1231492.0	463	LOCKBOX	-1,921.18	1,921.18
			Rcpt. Appl. To Prin. Pmt 4	06/15/20	4406	1231553.0	634	LOCKBOX	-1,921.18	0.00

Parcel Balance										0.00

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance
040-2-140-000	2021	314 WINOOSKI AVE LLC	310 NORTH WINOOSKI AV							
			Bill Appl. To Prin. Pmt 1	08/06/20			730		1,295.63	1,295.63
			Bill Appl. To Prin. Pmt 2	08/06/20			730		1,295.63	2,591.26
			Bill Appl. To Prin. Pmt 3	08/06/20			730		1,295.63	3,886.89
			Bill Appl. To Prin. Pmt 4	08/06/20			730		1,295.63	5,182.52
			Rcpt. Appl. To Prin. Pmt 1	09/14/20	4432	812230.0	817	LOCKBOX	-1,295.63	3,886.89
			Bill Appl. To Int. Pmt 2	11/23/20			984		12.96	3,899.85
			Bill Appl. To Int. Pmt 2	11/25/20			990		51.83	3,951.68
			Rcpt. Appl. To Prin. Pmt 2	12/08/20	WEB-CK	1208209.0	21		-1,295.63	2,656.05
			Rcpt. Appl. To Int. Pmt 2	12/08/20	WEB-CK	1208209.0	21		-64.79	2,591.26
			Rcpt. Appl. To Prin. Pmt 3	03/12/21	DDEBIT	9270934.0	190		-1,295.63	1,295.63
			Rcpt. Appl. To Prin. Pmt 4	06/14/21	DDEBIT	9270938.0	387		-1,295.63	0.00

Parcel Balance										0.00

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance
040-2-140-000	2022	GOLDENJUNK LLC	310 NORTH WINOOSKI AV							
			Bill Appl. To Prin. Pmt 1	07/13/21			453		1,994.16	1,994.16
			Bill Appl. To Prin. Pmt 2	07/13/21			453		1,994.16	3,988.32
			Bill Appl. To Prin. Pmt 3	07/13/21			453		1,994.16	5,982.48
			Bill Appl. To Prin. Pmt 4	07/13/21			453		1,994.16	7,976.64
			Rcpt. Appl. To Prin. Pmt 1	08/12/21	DDEBIT	9270942.0	517		-1,994.16	5,982.48
			Rcpt. Appl. To Prin. Pmt 2	11/12/21	DDEBIT	9270956.0	720		-1,994.16	3,988.32
			Bill Appl. To Int. Pmt 3	03/22/22			999		19.94	4,008.26
			Bill Appl. To Int. Pmt 3	03/28/22			12		79.77	4,088.03
			Rcpt. Appl. To Prin. Pmt 3	04/04/22	1264	404225.0	32	EVB	-1,994.16	2,093.87
			Rcpt. Appl. To Int. Pmt 3	04/04/22	1264	404225.0	32	EVB	-99.71	1,994.16
			Bill Appl. To Int. Pmt 4	06/16/22			192		19.94	2,014.10
			Rcpt. Appl. To Prin. Pmt 4	06/21/22	1268	621223.0	199	TC	-1,994.16	19.94
			Rcpt. Appl. To Int. Pmt 4	06/21/22	1268	621223.0	199	TC	-19.94	0.00

Parcel Balance										0.00

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance
040-2-140-000	2023	GOLDENJUNK LLC	310 NORTH WINOOSKI AV							
			Bill Appl. To Prin. Pmt 1	07/05/22			227		1,644.51	1,644.51
			Bill Appl. To Prin. Pmt 2	07/05/22			227		1,644.51	3,289.02
			Bill Appl. To Prin. Pmt 3	07/05/22			227		1,644.51	4,933.53
			Bill Appl. To Prin. Pmt 4	07/05/22			227		1,644.51	6,578.04
			Bill Appl. To Int. Pmt 1	08/23/22			344		16.45	6,594.49
			Bill Appl. To Int. Pmt 1	08/26/22			356		65.78	6,660.27
			Bill Appl. To Int. Pmt 1	09/19/22			413		16.45	6,676.72
			Bill Appl. To Int. Pmt 1	10/19/22			475		16.45	6,693.17
			Bill Appl. To Int. Pmt 1	11/28/22			562		16.45	6,709.62

City of Burlington Tax Administration
Detail Transactions Report
Parcel 040-2-140-000 All Tax Years Full Detail

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance
Bill	Appl.	To Int.	Pmt 2	11/28/22		562			16.45	6,726.07
Bill	Appl.	To Int.	Pmt 2	11/30/22		572			65.78	6,791.85
Bill	Appl.	To Int.	Pmt 1	12/16/22		619			16.45	6,808.30
Bill	Appl.	To Int.	Pmt 2	12/16/22		619			16.45	6,824.75
Rcpt.	Appl.	To Prin.	Pmt 1	12/16/22	1311	1216222.0	623	LB	-1,644.51	5,180.24
Rcpt.	Appl.	To Int.	Pmt 1	12/16/22	1311	1216222.0	623	LB	-148.03	5,032.21
Rcpt.	Appl.	To Prin.	Pmt 2	12/16/22	1311	1216222.0	623	LB	-1,644.50	3,387.71
Rcpt.	Appl.	To Int.	Pmt 2	12/16/22	1311	1216222.0	623	LB	-98.68	3,289.03
Bill	Appl.	To Int.	Pmt 3	03/23/23		807			16.45	3,305.48
Bill	Appl.	To Int.	Pmt 3	03/28/23		821			65.78	3,371.26
Rcpt.	Appl.	To Prin.	Pmt 2	04/05/23	1291	405231.0	850	PL	-0.01	3,371.25
Rcpt.	Appl.	To Prin.	Pmt 3	04/05/23	1291	405231.0	850	PL	-1,644.51	1,726.74
Rcpt.	Appl.	To Int.	Pmt 3	04/05/23	1291	405231.0	850	PL	-82.23	1,644.51
Bill	Appl.	To Int.	Pmt 4	06/15/23		11			16.45	1,660.96
Rcpt.	Appl.	To Prin.	Pmt 4	06/23/23	1342	623235.0	37	KK	-1,644.51	16.45
Rcpt.	Appl.	To Int.	Pmt 4	06/23/23	1342	623235.0	37	KK	-16.45	0.00
Parcel Balance										0.00

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance
040-2-140-000	2024	GOLDENJUNK LLC				310320	NORTH WINOOSKI AVE			
Bill	Appl.	To Prin.	Pmt 1	07/06/23		61			1,723.34	1,723.34
Bill	Appl.	To Prin.	Pmt 2	07/06/23		61			1,723.34	3,446.68
Bill	Appl.	To Prin.	Pmt 3	07/06/23		61			1,723.34	5,170.02
Bill	Appl.	To Prin.	Pmt 4	07/06/23		61			1,723.34	6,893.36
Rcpt.	Appl.	To Prin.	Pmt 1	08/15/23	1276	9271425.0	175	LOCKBOX	-1,723.34	5,170.02
Bill	Appl.	To Int.	Pmt 2	11/16/23		394			17.23	5,187.25
Rcpt.	Appl.	To Prin.	Pmt 2	11/16/23	1352	1116234.0	396	SS	-1,723.34	3,463.91
Rcpt.	Appl.	To Int.	Pmt 2	11/16/23	1352	1116234.0	396	SS	-17.23	3,446.68
Abate	Appl.	To Prin.	Pmt 3	03/04/24	abate muni tax per BOA 1/3/24				-658.93	2,787.75
Abate	Appl.	To Prin.	Pmt 4	03/04/24	abate muni tax per BOA 1/3/24				-658.92	2,128.83
Abate	Appl.	To Cred.		03/04/24	abate muni tax per BOA 1/3/24				-1,317.86	810.97
Adj.	Appl.	To Prin.	Pmt 3	03/04/24	apply credit from BOA abatemen				-1,064.41	-253.44
Adj.	Appl.	To Prin.	Pmt 4	03/04/24	apply credit from BOA abatemen				-253.45	-506.89
Adj.	Appl.	To Cred.		03/04/24	apply credit from BOA abatemen				1,317.86	810.97
Rcpt.	Appl.	To Prin.	Pmt 4	06/12/24	1389	612244.1	864	SS	-810.97	0.00
Parcel Balance										0.00

Parcel	Tax Year	Name	Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance
040-2-140-000	2025	GOLDENJUNK LLC				310320	NORTH WINOOSKI AVE			
Bill	Appl.	To Prin.	Pmt 1	07/01/24		912			1,884.53	1,884.53
Bill	Appl.	To Prin.	Pmt 2	07/01/24		912			1,884.53	3,769.06
Bill	Appl.	To Prin.	Pmt 3	07/01/24		912			1,884.53	5,653.59
Bill	Appl.	To Prin.	Pmt 4	07/01/24		912			1,884.53	7,538.12
Bill	Appl.	To Int.	Pmt 1	08/20/24		36			18.85	7,556.97
Bill	Appl.	To Int.	Pmt 1	08/27/24		52			75.38	7,632.35
Rcpt.	Appl.	To Prin.	Pmt 1	08/29/24	1403	829245.0	68	KK	-1,884.53	5,747.82
Rcpt.	Appl.	To Int.	Pmt 1	08/29/24	1403	829245.0	68	KK	-94.23	5,653.59
Bill	Appl.	To Int.	Pmt 2	11/19/24		257			18.85	5,672.44
Rcpt.	Appl.	To Prin.	Pmt 2	11/19/24	1414	1119242.0	258	LB	-1,884.53	3,787.91
Rcpt.	Appl.	To Int.	Pmt 2	11/19/24	1414	1119242.0	258	LB	-18.85	3,769.06



Phinneus Sonin <phinneussonin@gmail.com>

FW: Garage Outfitters - 314 Winooski Ave

Katrina Mattice <kmattice@stone-env.com>

Tue, Feb 18, 2025 at 3:39 PM

To: "phinneussonin@gmail.com" <phinneussonin@gmail.com>

From: Christine Albrecht <calbrecht@garageoutfittersvt.com>

Sent: Tuesday, February 11, 2025 9:24 AM

To: Katrina Mattice <kmattice@stone-env.com>

Subject: Re: Garage Outfitters - 314 Winooski Ave

Great, thanks for the update.

Christine

Christine Albrecht

Project Manager

Garage Outfitters

220 Pioneer Dr. Williston, VT 05495

phn (802) 879-6400

garageoutfittersvt.com

On Mon, Feb 10, 2025 at 2:38 PM Katrina Mattice <kmattice@stone-env.com> wrote:

Hi Christine,

Yes we have a plan to move forward. We are going to remove the contaminated concrete from the building, pour new concrete and then allow to cure for 30 days. We should be ready to engage garage

outfitters early April. I will keep you posted when I have a more concrete schedule.

Thank you,
Katrina

From: Christine Albrecht <calbrecht@garageoutfittersvt.com>
Sent: Tuesday, February 4, 2025 2:27 PM
To: Katrina Mattice <kmattice@stone-env.com>
Subject: Garage Outfitters - 314 Winooski Ave

Hi Katrina,

Just checking in to see if there was an update on 314 N. Winooski Ave project.

Thanks,

Christine

Christine Albrecht

Project Manager

Garage Outfitters

220 Pioneer Dr. Williston, VT 05495

phn (802) 879-6400

garageoutfittersvt.com

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Former Champlain Transmission, 314 N Winooski Avenue Corrective Action Plan
Stone Project #: 17-142
DETAILED FEE & SCOPE DETAILS

#	Staff Type	Name	Rate Per Unit	Unit	Amount	Subtotal	Scope Details			
1	Task 1: Hydraulic Lift Removal and Floor Drain Closure Professional Services Staff Professional 3	LBR	\$104 / hour	8	832	\$832	Staff scientist will provide oversight during hydraulic lift removal and floor drain closure.			
		Professional Services Summary			8					
		External Expenses								
		Hydraulic lift removal		\$10,000 / ea	1	\$11,000				
		Floor drain closure		\$1,000 / ls	1	\$1,100				
		Non-hazardous soil transport/disposal		\$100 / ton	12	\$1,320				
		Stone Equipment								
		Nissan NV200 Mileage		\$0.625 / mile	85	\$53.13				
		PID		\$90.00 / Daily	1	\$90.00				
		Stone Consumables								
		PPE		\$19.50 / Day/St	1	\$19.50				
		Expense Summary				\$13,503				
		TASK SUBTOTAL						\$14,415		
		2	Task 2: Soil Vapor Extraction System Professional Services Project Engineer 3 Staff Engineer 1 Staff Professional 3 Sub-Contractors/Consultants* Face TO-15 Driller Mobilization Driller Geoprobe Well Materials SVE System Install Labor Electrician External Expenses Gast Regenerative Blower Solberg F-231P-200 F-Series Compact 2" Inlet Filter Assembly/let filter Solberg IRS-737-200HC IRS-Series Liquid Separator 2" Inlet Vacuum Filter Float switch Pilot tube Pressure Gauge Heat Exchanger 4" Schd 40 River 4" Schd 40 PVC fittings GAC- 200 lb units 4" gate valve Inlet/Discharge Silencers: 2 in 1-1/2" NPT psi Pressure Relief Valve 4" to 2" Steel Reducer Heater Thermomatal with fan Control Panel lights Electricity GAC Disposal Power Drop Stone Equipment Nissan NV200 Mileage Bosch Hammer Drill Cox-Colvin Vapor Pin Kit Manometer OmniGuard Differential Pressure Recorder PID Samsung Field Tablet Stone Consumables PPE 1/4" OD FEP tubing Vapor Pin	KIM	\$ 136 / hour	10		\$1,360	\$19,920	A SVE system will be installed and operated for one year. Assumptions: Labor: Stone to perform oversight during extraction well installation. Assumes 8 hrs onsite, 1 hr prep time and 2 hr RT. Stone to perform oversight during the installation of SVE system, assumes 32 hrs onsite, 1 hr prep time and 4 hr RT. Stone to perform startup monitoring, weekly monitoring for one month, and monthly monitoring for 11 months. Stone will sample effluent upon startup and quarterly thereafter. Stone will evaluate rebound following one year of operation. Rebound will include three monitoring events, 1 week, 3 months and 6 months. Staff Scientist: 8 hrs initial startup, 4 hrs weekly and monthly monitoring, 24 hrs to evaluate rebound, 18 trips with 2 hr RT. Project Engineer: 4 hrs to coordinate system installation Laboratory: VOCs TO-15- 4 influent, 4 mid, 4 effluent, 9 sub-slab +3 FD SVE installation sourced from Absolute Spill Response and https://www.knequip.com/ Assumption: Carbon will be changed out 12 times during system operation.
				FFC	\$ 93 / hour	128		\$11,904		
LBR	\$ 104 / hour			64	\$6,656					
Professional Services Summary					202					
Sub-Contractors/Consultants*										
Face TO-15				\$230 / sample	24	\$6,072				
Driller Mobilization				\$1,000 / ls	1	\$1,100				
Driller Geoprobe				\$1,800 / day	1	\$1,980				
Well Materials				\$50.0 / foot	20	\$1,100				
SVE System Install Labor				\$50.0 / hr	64	\$3,200				
Electrician				\$1,000.0 / ls	1	\$1,100				
Consultant Summary						\$14,872				
External Expenses										
Gast Regenerative Blower				\$2,485 / ea	1	\$2,734				
Solberg F-231P-200 F-Series Compact 2" Inlet Filter Assembly/let filter				\$200 / ea	1	\$220				
Solberg IRS-737-200HC IRS-Series Liquid Separator 2" Inlet Vacuum Filter				\$1,250 / ea	1	\$1,375				
Float switch				\$100 / ea	1	\$110				
Pilot tube				\$760 / ea	3	\$858				
Pressure Gauge				\$25 / ea	8	\$220				
Heat Exchanger				\$3,000 / ea	1	\$3,300				
4" Schd 40 River				\$6 / ft	100	\$605				
4" Schd 40 PVC fittings				\$15 / ea	10	\$165				
GAC- 200 lb units				\$600 / ea	24	\$2,160				
4" gate valve				\$85 / ea	2	\$187				
Inlet/Discharge Silencers: 2 in				\$150 / ea	1	\$165				
1-1/2" NPT psi Pressure Relief Valve				\$550 / ea	1	\$605				
4" to 2" Steel Reducer				\$50 / ea	1	\$55				
Heater				\$500 / ea	1	\$550				
Thermomatal with fan				\$500 / ea	1	\$550				
Control Panel				\$1,000 / ea	1	\$1,100				
lights				\$100 / ea	1	\$110				
Electricity				\$100 / mos	12	\$1,320				
GAC Disposal				\$1,000 / ea	12	\$13,200				
Power Drop				\$500 / ea	1	\$550				
Stone Equipment										
Nissan NV200 Mileage				\$0.625 / mile	1870	\$1,169				
Bosch Hammer Drill				\$50.00 / Daily	1	\$50				
Cox-Colvin Vapor Pin Kit				\$35.00 / Daily	1	\$35				
Manometer				\$35.00 / Daily	20	\$700				
OmniGuard Differential Pressure Recorder				\$50.00 / Daily	20	\$1,000				
PID				\$90.00 / Daily	20	\$1,800				
Samsung Field Tablet				\$50.00 / Daily	20	\$1,000				
Stone Consumables										
PPE				\$19.50 / Day/St	21	\$409.50				
1/4" OD FEP tubing				\$2.00 / Feet	10	\$20.00				
Vapor Pin				\$52.00 / Each	3	\$156.00				
Expense Summary						\$55,438				
TASK SUBTOTAL						\$90,230				

Former Champlain Transmission, 314 N Winooski Avenue Corrective Action Plan
 Stone Project #: 17-142
 DETAILED FEE & SCOPE DETAILS

#	Staff Type	Name	Rate Per Unit	Unit	Amount	Subtotal	Scope Details	
3	Task 3 - Epoxy Coating							
	Professional Services							
	Staff Professional 3		\$ 104 / hour	12	\$1,248		Staff professional to perform two inspections during Epoxy-coal application (4 hrs on-site 2 hr RT). Project professional to coordinate with subcontractor. Contractor to profile concrete slab and apply Epoxy-Coal, quote from Garage Outfitters of Williston, VT -Provide a grind and clean approximately 1,432 sf existing concrete slab in preparation for the Skalkoof 1620 installation per manufacturer's specification -Install (3) coat Skalkoof 1620 and pigmented topcoat to approximately 1,432 sf of the concrete slab Collect one VOC sample of concrete dust generated during profiling of slab. Assume disposal as non-hazardous waste. Epoxy application also include repairing concrete slab.	
	Project Engineer 3		\$ 136 / hour	5	\$680			
		Professional Services Summary		17		\$1,928		
	Sub-Contractors/Consultants*							
	Con-Test VOCs		\$80 / sample	1	\$88			
	Drum Disposal		\$500 / ea	1	\$500			
	Epoxy Material/Application		\$17,175 / ls	1	\$18,893			
		Consultant Summary				\$19,571		
	Stone Equipment							
	Nissan NV200 Mileage		\$0.63 / mile	160	\$100.00			
	Stone Consumables							
	PPE		\$19.50 / Day/St	2	\$39.00			
		Expense Summary				\$139		
		TASK SUBTOTAL				\$21,598		
4	Task 4 - Engineered Barriers							
	Professional Services						Staff essential to oversee engineered barrier installation to document compliance with CAP. Stone will perform weekly site visits for the duration of the construction (assumed 1 month, 4 hr site visits with 2 hrs RT) Engineered barriers will be installed including asphalt parking lot, concrete patio and green space. Engineered barrier installation sourced from VTrans 5 year price list.	
	Staff Professional 3	LBR	\$ 104 / hour	24	\$2,496			
	Project Engineer 3	KJM	\$ 136 / hour	10	\$1,360			
		Professional Services Summary		34		\$3,856		
	Sub-Contractors/Consultants*							
	Mobilization		\$10,000 / ls	1	\$11,000			
	Geotextile		\$2.75 / sy	715	\$2,163			
	Sub-Base Gravel		\$37 / cy	75	\$3,027			
	Landscape Fill		\$35 / cy	145	\$5,646			
	Grass Seed		\$9 / lb	20	\$198			
	Mulch		\$857 / ton	2	\$1,885			
	Aluminous Concrete		\$181 / ton	75	\$14,905			
	Potential Cement Concrete Sidewalk, 5 inch		\$88 / sy	55	\$5,353			
	Site Grading		\$50,000 / acre	0.2	\$11,000			
	Non-hazardous soil transport/disposal		\$100 / ton	215	\$23,650			
		Consultant Summary				\$78,628		
	Stone Equipment							
	Nissan NV200 Mileage		\$0.625 / mile	340	\$212.50			
	Stone Consumables							
	PPE		\$19.50 / Day/St	4	\$78.00			
		Expense Summary				\$291		
		TASK SUBTOTAL				\$82,974		
5	Task 5 - Corrective Action Construction Completion Report							
	Professional Services						Prepare CACCR in accordance with IRule following completion of cleanup activities, including 1 year of SVE system monitoring. Labor: 6 hrs senior review of CACCR and SVE O&M. Staff profile 12 hrs to draft CACCR and 12 hrs to draft as-built figures, staff engineer 24 hrs to draft O&M section of CACCR.	
	Project Engineer 3		\$ 136 / hour	6	\$816			
	Staff Professional 3		\$ 104 / hour	24	\$2,496			
	Staff Engineer 1		\$ 93 / hour	24	\$2,232			
		Professional Services Summary		58		\$6,156		
	Stone Equipment							
	AutoCad Civil 3D		\$10.00 / Hour	16	\$160.00			
		Expense Summary				\$160		
		TASK SUBTOTAL				\$6,316		
6	Task 6 - Remove Oil Stained Concrete and Pour Slab							
	Professional Services						Subcontractor to break concrete, remove and load into dump trucks for disposal and repair floor in the waiting room and storage area, approximately 450 SF area. Stone to perform QEP Oversight. QEP Oversight, 3 days, 10 hr days, 2 hr RT, 2 hr prep/demob	
	Senior Engineer 1		\$150 / hour	8	\$1,200			
	Staff Professional 3		\$106 / hour	38	\$4,028			
		Professional Services Summary		46		\$5,228		
	Sub-Contractors/Consultants							
	Calkins Excavating		\$22,726 / LS	1	\$24,999			
		Consultant Summary				\$24,999		
	Stone Equipment							
	F150 Mileage		\$0.67 / mile	240	\$161			
	Stone Consumables							
	PPE		\$22 / Day/St	3	\$66			
	Samsung Field Tablet		\$50 / Day	3	\$150			
		Expense Summary				\$377		
		TASK SUBTOTAL				\$30,603		
		PROJECT TOTAL				\$246,136		
		PROJECT TOTAL (28.4% Contingency)				\$315,057		

Stone Environmental's standard mark-up on all Consultant and reimbursable project expenses is 10%.

Brownfields Revitalization Fund

State Program

Applicant Response

Section 1 Applicant Details

Date of Submission: **2022-12-08**; revised 2025-01-10

Applicant Organization Legal Name: **Golden Junk LLC**

Organization Doing Business As (DBA): **Golden Junk LLC**

Applicant Mailing Street: **324 N. Winooski**

Applicant Mailing City: **Winooski**

Applicant Mailing State: **VT**

Applicant Mailing Zip: **05404**

Applicant Designation/Structure: **For-Profit**

Primary Contact Name: **Jeffrey Sonin**

Primary Contact Role/Title: **Owner**

Primary Contact Phone Number: **8028653724**

Primary Contact Email: **Phinneussonin@gmail.com**

The Applicant is: **The owner**

Applicant is re-developing the property for: **Own Use**

If the applicant is not the owner, please list the name, address, phone number, and email

address of property owner:

Section 2 Property Details

Property Street Address: **314 N. Winooski**

Property City: **Burlington**

Property County: **Chittenden**

Property State: **VT**

Property Zip: **05401**

"Nickname" of project (if applicable, any other known names for site/project): **Arts Mission (Former Champlain Transmission)**

SPAN #: **11403514159**

Size of property in acres: **0.2**

Are you enrolled in the Brownfields Reuse and Environmental Liability Limitation Act (BRELLA) program?: **Yes**

Date enrolled in BRELLA: **2022-11-03**

Please provide the Sites Management Section (SMS) Site Number for the property:
20184777

Has a Corrective Action Plan (CAP) been submitted to DEC for approval?: **Yes**

Has a Corrective Action Plan (CAP) been approved by DEC?: **Yes**

Property located within a town of less than 10,000 residents?: **No**

Property located in a Designated Downtown, Village Center, or Neighborhood Development Area?: **Yes**

Property located in an Opportunity Zone?: **Yes**

Section 3 Project Details

Project Type: [**"Commercial", "Housing"**]

This project aligns with the following: [**"State/Regional/Municipal Plan"**]

Provide a description of how the project aligns with the selected plans/goals: **Community and Economic Development Office: As the project owner, Goldenjunk LLC has taken the opportunity to meet with CEDO on two occasions to discuss the vision of the Champlain Transmissions Brownfield Project. CEDO has provided support for the project. The project aligns with CEDO Strategic Plan 2019, specifically by connecting people and neighborhoods with one another by offering community gathering space. Since ownership of the property, Goldenjunk LLC has hosted several outdoor markets with live music and food vendors, representing several members of the community. Additionally, the redevelopment plan for the property includes two units of housing on the second floor of the building. Housing aligns with CEDO Strategic Plan by providing housing in both an opportunity zone and a Neighborhood Development**

Area. Chittenden County Regional Planning Commission (CCRPC 2018 Environment, Community, Opportunity, Sustainability (ECOS Plan incorporates the visions and goals of municipalities, organizations, businesses and residents and includes goals for the built environment including housing and land use. The former Champlain Transmission Brownfield Project is located in an area planned for mix-used growth and the project offers both commercial and residential opportunities. The Winooski Avenue Corridor Improvements including the addition of bike lanes along Winooski Ave supports both the 2018 ECOS Plan and the property redevelopment. One commercial business to be located on the property is Betty's Bikes providing affordable bike service and bikes. Accessible means of transportation through self propelled means allows residential communities to connect with one another and reduces the impact of greenhouse gases associated with climate change.

Provide a description detailing the redevelopment plan and outcomes of cleanup: **The redevelopment plan is to create a mix-use space by renovating the first floor of the building as a commercial space to be used as an expansion of Junktiques (antique store in Burlington and adding a second floor addition for two units of housing. The exterior portion of the property will be improved with landscaping adjoining North Winooski Avenue and Archibald Street, and landscaping southeast of the building. A patio will be installed southeast of the building. With extensive renovations of the outdoor space, community members including artists and makers will be invited to weekly markets to sell and trade goods. Additionally, artists space are envisions to be constructed on the exterior portion of the property by repurposing homeless pods currently being pilot tested in Burlington. The property is currently vacant and blighted with contamination from use as an automotive service garage. There is a risk of contamination migrating off the property and vapor intrusion into the existing building. The outcomes of the cleanup would allow the property to be reused with meaning and purpose and reduce the risk of contamination migrating to adjoining properties.**

If this project has regional, community, and/or municipal support, please describe those supports: **The property owner, Goldenjunk LLC has received the mayor of Burlington, Miro Weinberger, testimonial support. Additionally, Will Clavelle from CEDO has meet with Goldenjunk LLC twice and CEDO has identified support for the project. Lastly, Jim Lockridge from Big Heavy World, a non-profit organization promoting musicians in Vermont has provided support for the project and recognizes opportunities for Vermont artist to showcase their talents during the open markets planned for the property.**

Describe how the requested funding will help to advance the planned redevelopment: **The funding is necessary to move the project forward. The level of contamination, and the cost to remediation are the barriers to project completion. The property has sat vacant since the owners of Champlain Commission has closed their doors. The property has transferred to two subsequent property owners, and since Goldenjunk LLC has taken titled, the exterior portion of the property was already utilized as a market space. Goldenjunk LLC has demonstrated the ambition and know how to get the project done, however lacks funding the bring the project the full redevelopment. Selected mitigation strategies within the CAP were not effective during implementation, specifically, the application of an epoxy vapor barrier; this was due to high oil saturation on the concrete. As such, removal and re-pouring of concrete is necessary to mitigate risk to site users. This has added an additional \$30,000 in unanticipated costs to CAP implementation. Moreover, there have been over \$8,000 in overage from the CAP budget due to additional concrete removal during hydraulic lift removal. Due to over 1 year and a half of project delays, costs have also risen due to inflation. Without securing of these additional funds, the full CAP will not be implemented, a COC will not be achieved and the redevelopment plans are in jeopardy.**

What Environmental Professional/Company are you anticipating using for CAP implementation?: **Stone Environmental**

Is the site available for a site visit and on-site project presentation to the State and/or regional partners?: **Yes**

Anticipated start date of cleanup project?: **2023-01-01**

Anticipated completion date of cleanup project?: **2026-02-28**

Section 4 Budget Details

Estimated total cleanup cost?: **\$308,444**

Amount requested of this fund; not to exceed 90% of total cleanup costs: **\$277,600**
What

is the source of match funding to meet 10% match requirement: **Owner Investment**

Does this funding fill a gap that allows the project to move forward?: **Yes**

If the project isn't funded at the requested amount, does the cleanup and redevelopment remain viable?: **No**

Have you applied for funding from any other Brownfield cleanup source?: **No**

Which Brownfield funding source(s) have you applied to?:

Section 5 Anticipated Results

Housing units current?: **0**

Housing units created?: **2**

Jobs current?: **0**

Jobs created?: **10**

Acres contaminated currently?: **0.2**

Acres mitigated?: **0.2**

Grand List Value currently?: **341600**

Grand List Value increase?: **650000**

Reused/existing infrastructure?: **The current baseline is a vacant underutilized building**

located on the property. Renovation to the existing building will increase the use of the property by creating up to 10 jobs and 2 housing unit. The offering of outdoor markets has already attracted hundreds of neighbors and community members. The first market was on May 21, 2022 and the markets took place from 12 to 5 pm every Saturday and Sunday in the parking lot of the former Champlain Transmission. To find out more information about the market follow this link:

<https://www.burlingtonfreepress.com/story/news/2022/04/29/junktiques-announces-outdoor-market-djs-food-trucks-and-more/9571220002/>

Created/improved infrastructure?: **A portion of the parking lot will be removed, and turned from an impervious surface to a pervious surface which will help prevent runoff. A rundown building will be turned into a needed commercial and residential asset to the neighborhood.**

Describe any additional measurable proposed impacts to the property and/or surrounding area as a result of the cleanup. Include baselines and goals for each impact.: **The remediation will allow usage of the green space that was formerly derelict and piled with debris from the abandoned transmission shop. The space will be turned in a patio space with landscaping that promotes stormwater infiltration.**

Provide a statement of need, describe how this project will address that need. Include data to demonstrate the need and cite the source of data: **The need for economic and housing growth in the Old North End of Burlington has been identified by both CEDO and CCRPC. The O.N.E challenge is a successful project supported by CEDO (<https://www.burlingtonvt.gov/CEDO/ONE-Challenge>). The O.N.E challenge is an annual shop local campaign organized by the Old North End Arts and Business Network designed to encourage more people to shop, eat and use services in the neighborhood. The project will address this need already demonstrated to be successful by the O.N.E. project by providing continuous opportunities to shop and eat local with a weekend outdoor market space. Additionally, the project will provide space for artists and makers to create goods to sell within the Old North End Neighborhood. Housing is a basic part of the fabric of the Old North End Neighborhood where the planned mix residential and commercial use of the project keep with the neighborhood character. It is evident that mix use zoning allows for smart growth of a neighborhood where access to goods and services is within walking or biking distance. The vision for the Arts Mission (former Champlain Transmission) is to provide two housing units for young professionals or artists, This type of housing is much needed for residents in the Old North End due to competition from college students that attend the downtown UVM campus (<https://www.burlingtonvt.gov/CEDO/Housing-Action-Plan>).**

Section 6 Equity Impacts

How will this project help build a just, equitable, and sustainable COVID-19 recovery and how will the project address the disproportionate impacts of inequities? Choose all that apply: **["Targets disadvantaged populations ", "Targets households or communities suffering multi-generational poverty ", "Other social impacts not mentioned above ", "Impacts efficiency gains and/or replaces the use of fossil fuels or emission of other greenhouse gases "]**

Please describe the population that will be served by the project including number and demographic characteristics of those served.: **Local residents, New Americans, artists. Create 8-10 jobs, 8-10 internship opportunities and two housing units. A place for the varied populations of the North End to blend together. The aim is to create a place where the diverse population of the neighborhood will congregate and cross cultural lines. To give a home to the artists in the area, as well as provide job training to those who may either be underemployed, unemployed or looking to learn a new skill. There will also be outreach resources from local nonprofits, with the intent to help triage how to best work with the undeserved population of homeless, mentally ill, and those caught in substance abuse.**

Section 7 Additional Considerations

Describe any other benefits that should be considered in reviewing this application that might assist the State in its selection: **The mission is to revitalize a decaying urban landscape into a vital thriving community hub. To create a community center to bring people together in the Old North End. A venue with food, music and local vendors selling art, crafts, and vintage items. Unlike traditional marketplaces, the Bazaar was created to make a safe space for people of all income brackets, gender expression, races, and ethnicity. The storefront will be an extension of Junktiques, with emphasis on repair, and reuse. Job training will be provided to those that help in the shop in the repair of items to be resold or turned into art. Art will be on display and there will be rotating exhibitions showcasing neighborhood artists. The corner has already been transformed with several planter boxes. After the remediation, serious landscaping will beautify the area further with small gardens, and will be part of the O.N.E garden walk. The goal is to turn that corner into a community hub that the neighborhood can be proud of.**

Section 8 Applicant Representations and Signature

All information contained in this application, including attachments, is true and complete to the best of the applicant's knowledge and belief. Yes

The applicant's redevelopment plan for the property is as represented in this application.

Yes

The applicant (including its principals, owners, directors, affiliates, and subsidiaries) has not directly or indirectly caused or contributed to any releases of hazardous materials at the property for which funding assistance is requested through this application.: Yes

I have the authority to request payment from the State of Vermont. I am requesting payment for costs incurred in connection with the implementation of the Corrective Action Plan.: Yes

Applicant will report on incurred expenses and/or losses, in a form and at a frequency prescribed by the State of Vermont and will cooperate with the State of Vermont in creating and retaining appropriate documentation to demonstrate that the proposed uses meet the requirements as set forth in the Grant Agreement. Yes

Applicant must repay the award or portion of the award to the ACCD if: any funds received were issued in error; are based on incorrect representations made to the ACCD; or any costs forming the basis of an award under this program are covered by other grant funds or forgiven loans received by Applicant. I agree that the final determination of whether there has been a duplication of benefits and the amount to be repaid, if any, will

be made by ACCD.: Yes

Applicant shall maintain and make available to the State of Vermont, upon request, all documents and financial records sufficient to establish compliance with any Grant Agreement.

General ledger and subsidiary ledgers used to account for (a) the receipt of grant funds and (b) the disbursements from such payments to meet eligible expenses related to the implementation of the Corrective Action Plan;

Payroll, time records, human resource records to support costs incurred for payroll expenses related to the implementation of the Corrective Action Plan;
Receipts of purchases made related to the implementation of the Corrective Action Plan;

Contracts and subcontracts entered into using grant funds and all documents related to such contracts;

Grant agreements and grant subaward agreements entered into using grant funds and all documents related to such awards;

All documentation of reports, audits, and other monitoring of contractors, including subcontractors, and grant recipient and subrecipients;

All documentation supporting the performance outcomes of contracts, subcontracts, grant awards, and grant recipient subawards;

All internal and external email/electronic communications related to use of grant funds; and

All investigative files and inquiry reports involving grant funds. Yes

To the best of my knowledge, neither Applicant nor Applicant's principals (officers, directors, owners, or partners) are presently debarred, suspended, proposed for debarment, declared ineligible or excluded from participation in State or Federal programs, or programs supported in whole or in part by State or Federal funds. Yes

Applicant will submit reports as required by the State of Vermont. Yes

ACCD may share the information on Applicant's applications, and the related awards with other Vermont state agencies, and other Vermont agencies can share information with ACCD for the purpose of verifying Applicant's eligibility for this or another award. Yes

Applicant is not in bankruptcy. Yes

I attest, under penalty of perjury, that all information provided on this form is true and accurate. I understand that the State of Vermont will rely on these certifications as material representations in making this award. Further, I understand that intentional misrepresentation of information is fraud and may subject me or my organization to disqualification from receiving further benefits, administrative penalties, and criminal prosecution. Yes

Attested by (An authorized representative of the applicant): Jeffrey Sonin

Date Attested: 2025-01-10



Phinneus Sonin <phinneussonin@gmail.com>

Goldenjunk request

5 messages

Phinneus Sonin <phinneussonin@gmail.com>

Fri, Jan 10, 2025 at 3:24 PM

To: "Farnham, Kristie" <Kristie.Farnham@vermont.gov>, Katrina Mattice <kmattice@stone-env.com>, Annemarie Fortune <afortune@stone-env.com>

Kristie,

Thank you for your support of the GoldenJunk redevelopment project and for consideration of a revised funding request based upon CAP implementation activities thus far. Due to barriers with cash flow and project funding, the project was delayed roughly a year and a half from when it was originally anticipated to begin. With support from NRPC, we are excited that the project is progressing. This said, thus far the project has seen \$8040 in cost exceedances beyond the 20% contingency in the CAP. Moreover, as Katrina described below, an additional ~ \$30,000 in project costs have been added due to unforeseen scope changes. These costs hinder my ability to implement the CAP to completion, which jeopardize my ability to achieve my redevelopment vision, including the ability to develop two housing units. To ensure the successful revitalization of the Champlain Transmission property, I would like to formally revise a request to ACCD's BRF to reflect updated CAP implementation costs. If the BRF can support an enhancement, progress on the CAP would immediately proceed again. A revised BRF application is attached (see text in red); moreover, I have included a table below that documents the revised CAP costs and requested BRF amount.

Item	Estimate
Original CAP costs (w/ 20% contingency) (2023)	\$ 258,640.80
CAP Implementation Overages (in excess of contingency)	\$ 8,040.12
Added SOW: Oily Concrete Removal (w/ 20% Contingency)	\$ 35,803.16
Inflation Factor on Remaining Work (2.7%)	\$ 5,960.30

Total Revised CAP Costs (January 2025)	\$ 308,444.38
Revised 10% Cost Share	\$ 30,844.44
Revised 90% Costs (Requested 2025 BRF Contract Amount)	\$ 277,599.95
BRF Award Amount (2023)	\$ 253,712.70
Current Project Enhancement Request	\$ 23,887.25

Please don't hesitate to reach out to the Stone team or me with any questions you may have. Thank you in advance for your consideration and flexibility.

Phinn

 Golden Junk LLC_BRFAApplication Revised_20250110.pdf
265K

Farnham, Kristie <Kristie.Farnham@vermont.gov> Thu, Feb 6, 2025 at 12:04 PM
 To: Katrina Mattice <kmattice@stone-env.com>, Annemarie Fortune <afortune@stone-env.com>, "Phinneussonin@gmail.com" <phinneussonin@gmail.com>
 Cc: "Herzer, Kristi" <Kristi.Herzer@vermont.gov>, "Nance, Elisabeth" <Elisabeth.Nance@vermont.gov>, "Bartlett, Sarah" <Sarah.Bartlett@vermont.gov>

Hi folks,

I am eager to authorize the amendment to the grant agreement to enhance this project as per the notice of award yesterday. However, I am unable to reconcile the full cost of CAP implementation as we've seen 3 CAP implementation cost estimates for this project. This is our 2nd amendment to increase BRF State Program contributions.

If the present-day CE is \$308,444 then 90% would yield an award of \$277,599.60 (not \$283,547.70) as my 2/5/25 correspondence indicated. Stone, I'm holding further action until I see an updated CE that totals that \$308,444. In turn, I will revise the award to the \$277,599.60. Extend by a year. Add in "Removal and reworking of concrete at location where application of an epoxy vapor barrier was unsuccessful due to high oil saturation" to the performance targets.

I know the difference is small potatoes, but these budget residuals are in incredible demand,



TAX ABATEMENT COMMITTEE

City Hall, Ground Flr., 149 Church Street, Burlington, VT 05401
WEBSITE: www.burlingtonvt.gov/assessor Voice (802) 865-7114

4/4/2025

Recommended Abatement Decision

Spectrum Youth & Family Services Inc
Will Towne, COO
31 Elmwood Avenue
Burlington, VT 05401

RE: The Board of Tax Abatement Committee recommendation to the full Board of Tax Abatement regarding your request for abatement.

PARCEL ID: 049-1-125-004
TYPE OF PROPERTY: Commercial Condo
LOCATION: 84 Pine Street, Unit 4

PROPERTY OWNER ON GRAND LIST: Spectrum Youth & Family Services Inc

COMMITTEE HEARING DATE: 03.13.2025

AMOUNT REQUESTED: \$16,680

COMMITTEE'S RECOMMENDATION: Recommendation made in open public hearing. Deny without prejudice. Spectrum did not own the property on April 1, 2024. The City received the exemption application request on February 27, 2025 and this application was still under review at the time of the Tax Abatement Committee hearing. The City already paid the education taxes to the State of Vermont. This tax money is unretrievable from the State. The Committee believes it is unfair to abate because that would cause tax payment to defer to the Burlington taxpayers for both Municipal and State education taxes. Therefore the committee see no criteria met within the Charter for which an abatement must be given.

AMOUNT RECOMMENDED FOR ABATEMENT: \$0.00

The Board of Tax Abatement will make a final decision on your request for tax abatement on **Monday, April 14, 2025**. Board takes the Tax Abatement Committee's recommendation under advisement. If you disagree with the recommendation you have the right to testify before the Full Board of Tax Abatement. The hearing will be held in **Contois Auditorium in Burlington City Hall**, during the City Council meeting.

If you are planning on attending this meeting, please contact Lori Olberg at 802-865-7136. She will provide you the start time and the methods of attendance.

Sincerely,

Kenneth Nosek, Administrator, Tax Abatement Committee

Non-Discrimination

The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at 865-7145.

TAX ABATEMENT REQUEST FORM

Submit to: C/O Tax Abatement, Burlington City Hall, Ground Floor, 149 Church Street, Burlington, VT 05401

Date of this Request: 2/24/25

Name, Property Owner on Grand List: Spectrum Youth + Family Services Inc

Name, Applicant: Will Towne
(Describe the relationship of applicant to listed owner if the applicant is not the listed owner)

New Owner, Purchase Date: Spectrum, 10/30/2024

Executor/Administrator of Estate: _____

Mailing Address: 31 Elmwood Ave,

City, State, Zip code: Burlington, VT 05401

Applicant's Email and Phone #: wtowne@spectrumvt.org (802) 864-7423 x301

Location of Property: 84 Pine St Unit 4 Burlington, VT 05401

Parcel ID # (000-0-000-000): 049-1-125-004 or,

Account Number (PPP000000): _____ business personal property
(Can be found on the tax bill or property record card)

Total dollar amount you are requesting be abated:	\$ <u>16,680</u>
Breakout based on amount of:	
taxes:	\$ <u>16,680</u>
penalties:	\$ _____
interest:	\$ _____
prior year delinquency:	\$ _____
other:	\$ _____

Briefly describe your abatement request. You may submit a letter with more details of your request.

We believe it to be manifestly unjust to continue with the payment of property taxes given our 501c3 tax-exempt designation as a non-profit serving this community.

Required Attachments:

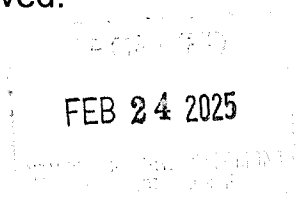
- Copy of Tax Bill
- Copy of Tax Payment History (attainable from Clerk/Treasurer's Office)
- Property Record Card

Signature Will Towne

Date 2/24/25

This form received by:

Date received:





24 February 2025

To Whom it May Concern,

I am writing in request that the total remaining taxes for 84 Pine St, Unit 4 be abated. As a tax-exempt non-profit, we are requesting abatement under the belief that these taxes are manifestly unjust. Due to the date of purchase being 10/30/2024, we will be paying $\frac{3}{4}$ of a years' worth of taxes before our exemption status kicks in. For us, the amount of \$16,680 is no small amount of money, and we would prefer to utilize those funds to meet our mission.

We look forward to utilizing this office space to house many of our community-based service programs. These programs include case management for youth involved in the foster care system, a crisis case management program, our J.O.B.S program, and our Multicultural Youth Program.

Thank you for your consideration, and please do not hesitate to reach out with any questions.

A handwritten signature in black ink, appearing to read "Will Towne", with a long, sweeping flourish extending to the right.

Will Towne

Chief Operating Officer

Spectrum Youth & Family Services

31 Elmwood Ave

Burlington, VT 05401

(802) 363-7432

wtowne@spectrumvt.org

PAYABLE TO:
MAIL TO:

Clerk Treasurer Office

City of Burlington Vermont
PO Box 22086
Albany, NY 12201-2086

TAX BILL

PARCEL ID	BILL DATE	TAX YEAR
049-1-125-004	11/20/2024	2024-2025

Location: 84 PINE ST, UNIT 4

SPAN # 114-035-17128 SCL CODE: 035

FOR INCOME TAX PURPOSES

OWNER **SPECTRUM YOUTH & FAMILY SERVICES INC**
31 ELMWOOD AVENUE
BURLINGTON VT 05401

ASSESSED VALUE	NONHOMESTEAD
REAL 849,400	849,400
TOTAL TAXABLE VALUE 849,400	849,400
GRAND LIST VALUES 8,494.00	8,494.00

MUNICIPAL TAXES				EDUCATION TAXES			
TAX RATE NAME	TAX RATE	x GRAND LIST =	TAXES	TAX RATE NAME	TAX RATE	x GRAND LIST =	TAXES
MUNICIPAL	0.8326	x8,494.00=	7,072.09	NON HOMESTEAD EDUCATION	1.5837	x8,494.00=	13,451.95
REVISED LOCAL AGRMNT	0.0005	x8,494.00=	4.25	<i>1.3910 (state rate) / 87.83% (CLA) = 1.5837</i>			
120% COMMERCIAL BID tax			1,414.42	Payments			
			297.29	1	08/12/2024		5,560.00
				2	11/12/2024		5,560.00
				3	03/12/2025		5,560.00
				4	06/12/2025		5,560.00
TOTAL MUNICIPAL TAX			8,788.05	TOTAL EDUCATION TAX			13,451.95
MUNICIPAL STATE PAYMENT			0.00	EDUCATION STATE PAYMENT			0.00
MUNICIPAL NET TAX DUE			8,788.05	EDUCATION NET TAX DUE			13,451.95
				TAX SUMMARY			
				Municipal + Education			
				TOTAL TAX			22,240.00
				TOTAL STATE PAYMENT			0.00
				TOTAL NET TAX DUE			22,240.00

DETACH THE STUBS BELOW AND RETURN WITH YOUR PAYMENT

~~Clerk Treasurer Office~~ ~~Clerk Treasurer Office~~ ~~Clerk Treasurer Office~~ ~~Clerk Treasurer Office~~

TAX YEAR 2024-2025	TAX YEAR 2024-2025	TAX YEAR 2024-2025	TAX YEAR 2024-2025
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1ST PAYMENT DUE	
08/12/2024	
OWNER NAME	
SPECTRUM YOUTH & FAMILY	
PARCEL ID	
049-1-125-004	
AMOUNT DUE	5560.00
AMOUNT PAID	

PAID

2ND PAYMENT DUE	
11/12/2024	
OWNER NAME	
SPECTRUM YOUTH & FAMILY	
PARCEL ID	
049-1-125-004	
AMOUNT DUE	5560.00
AMOUNT PAID	

PAID

3RD PAYMENT DUE	
03/12/2025	
OWNER NAME	
SPECTRUM YOUTH & FAMILY	
PARCEL ID	
049-1-125-004	
AMOUNT DUE	5560.00
AMOUNT PAID	

4TH PAYMENT DUE	
06/12/2025	
OWNER NAME	
SPECTRUM YOUTH & FAMILY	
PARCEL ID	
049-1-125-004	
AMOUNT DUE	5560.00
AMOUNT PAID	

City of Burlington Tax Administration
Detail Transactions Report
Parcel 049-1-125-004 All Tax Years Detail From 10/30/2024-End

Parcel	Tax Year	Name								
Description	Date	Check #	Deposit #	G/L Batch#	Remit	Amount	Balance			
049-1-125-004	2025	SPECTRUM YOUTH & FAMILY S		84 PINE ST, UNIT 4						
		Balance as of 10/30/24						16,736.16	16,736.16	
Rcpt. Appl. To Prin. Pmt 2	11/12/24	DDEBIT	9271736.0	224		-5,560.00	11,176.16			
Bill Appl. To Int. Pmt 1	11/20/24			259		0.56	11,176.72			
Rcpt. Appl. To Prin. Pmt 1	12/10/24	57445	1210244.0	311	SS	-55.60	11,121.12			
Rcpt. Appl. To Int. Pmt 1	12/10/24	57445	1210244.0	311	SS	-1.12	11,120.00			
		Parcel Balance						11,120.00		
		Grand Total						11,120.00		

OWNERSHIP
 SPECTRUM YOUTH & FAMILY SERVICES INC
 31 ELMWOOD AVENUE
 BURLINGTON, VT 05401

PREVIOUS OWNER
 SEG PROPERTIES, LLC
 84 PINE ST 4th FLR.
 BURLINGTON, VT 05401-0000

Occ	C#	Type	DID	DISTRICT

NARRATIVE DESCRIPTION
 This parcel contains 0.00000 SF of land mainly classified as Comm Condo. It has 1 building(s) first built in 1960 with a total of 5,670 square feet. There are 2 commercial unit(s), 2 Half Baths.

OTHER ASSESSMENTS

Code	Desc	Amt	Comm Int Amt

PROPERTY FACTORS

Item/Code	Item	Code	%
Unit 1	Dis 1B		100.0
Unit 2	Dis 2SH		0.000
Unit 3	Dis 3SN		100.0
Census	Zone 1FD6		100
F. Haz	Zone 2		
Topo	Zone 3		
Street			
Traffic			
Exempt			

LAND SECTION

LUC	LUC Desc	Ft.	# Units	Depth	U. Type	L. Type	Ft.	Base V.	Unit Prc	Adj Prc	NBC	Ft.	Mod.	Int 1	%	Int 2	%	Int 3	%	Appr	Alt LUC	%	Spec L.V.	Jurfs	L. Ft.	Assessed/Notes
CC	Comm Condo	1	0		SF	SITE	1	100		0	510	1								0				1		0
Total A/G/H/A			0.00																							0
Total S/F/S/M			0.00																							0
Parcel LU/CC - Comm Condo																										0
P. NBC Desc/CBD																										0

IN PROCESS APPRAISAL SUMMARY

Use Code	Building Val	Yard Items	Land Size	Land Val	Total Val
CC	849,400	0	0.00	0	849,400
Parcel Total	849,400	0	0.00	0	849,400
Source	2 - Inc (appr)		149.81		149.81
Total Val SF/Bld					
Total Val SF/Prc					

PREVIOUS ASSESSMENTS

Tx Yr	Cal	Use	Bld Value	Yard Items	Land Size	Land Val	Total Appr	Assessed/Notes	Date
2024	FV	CC	849,400	0	0	0	849,400	1,019,280/2024/LDS 06/14/24 11:54	06/14/2024
2023	FV	CC	849,400	0	0	0	849,400	1,019,280/2023/LDS 07/07/23 9:47	07/07/2023
2022	FV	CC	849,400	0	0	0	849,400	1,019,280/2022/LDS 08/25/22 10:15	08/25/2022
2021	FV	CC	849,400	0	0	0	849,400	1,019,280/DS Patriot Support	01/11/2022
2020	FV	CC	666,400	0	0	0	666,400	799,680/post BOA	06/23/2020
2019	FV	CC	666,400	0	0	0	666,400	799,680 9.23.2019	09/23/2019

SALES INFORMATION

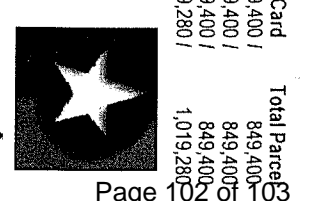
Grantor	Legal Ref	Type	Date	Sale Price	TSF	Verif.	NAI	Notes
SEG PROPERTIES, LLC	1760-342	WD	10/30/2024	850,000	No		3	
LEONARALLC	1049-759	ED	11/21/2008	0	No		9	WIRELESS COMMUNICATION EASEMENT
RUSSELL FRANCIS L	1031-472	WD	04/09/2008	837,500	No		2	ONEIL KEINER AND GREEN ATTORNEY
400 INVESTMENTS LTD	616-249	WD	02/25/1999	495,000	No			
	440-226	WD	11/18/1991	525,000	No			From MS ACCESS DB table SalesData

BUILDING PERMITS

Date	Number	Desc	Amount	Closed	Status	Fed ID	Notes	Last Visit
05/16/2008	2008 135327 00	Mechanical	2,377	12/15/2009	I		Relocate existing	05/26/2022
05/16/2008	2008 134076 00	Fire Sprink	2,200	12/15/2009	I		Relocate 38 heads	03/21/2022
05/16/2008	2008 134075 00	Plumbing	2,846	12/15/2009	I		4th FL OFFICES	11/12/2019
01/29/1993	93-199026		9,000	02/18/1993	I		E	

ACTIVITIES

Date	Result	By
05/26/2022	COR	
03/21/2022	COR	
11/12/2019	REVL	



Patriot
 PROPERTIES INC.
 User Account
 17128
 GIS Coord 1
 313163721587.00000000
 GIS Coord 1
 Insp Date
 05/26/2022
 Print Date / Time
 2/24/2025 1:42 pm
 Last Date / Time
 6/14/23 3:49 pm
 BURLINGTON/Number

USER DEFINED

RAD: 270
 OLD PID: 067701
 State District: 3-03
 CAD: 510
 SPAN: 114-035-17128
 Accessory DWI
 PriorityC: 00
 PriorityDc: 00
 Priority3c: 00
 Assessor Map
 049-1-125-000

