

Burlington Design Advisory Board

645 Pine Street
Burlington, VT 05401
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Design Advisory Board

Tuesday, April 8, 2025, 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

Zoom: <https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137

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1. Agenda

1.1.

Session I – 3:00 PM – 3:30 PM

**ZP-25-92; 24 Grant Street (RM, Ward 3) 24 Grant Street, LLC / Doug Viehmann
Post fire rehabilitation, creating one additional residential unit as allowed under
the Historic Building Rehabilitation Bonus. Project review under Planned Unit
Development (PUD) standards. (Project Manager, Mary O’Neil)**

2. Adjournment

3. Informational and Non-Discrimination Statements

3.1.

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Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
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William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Planning Technician
Vacant, Zoning Compliance Officer



MEMORANDUM

To: The Design Advisory Board
From: Mary O'Neil, AICP, Principal Planner
RE: ZP-25-92
Location: 24 Grant Street
Date: April 8, 2025

File: ZP-25-92

Location: 24 Grant Street

Zone: RM **Ward:** 3

Parking District: Neighborhood

Date application accepted: March 18, 2025

Applicant/ Owner: Doug Viehmann, GVV Architects / Filipp Lagun

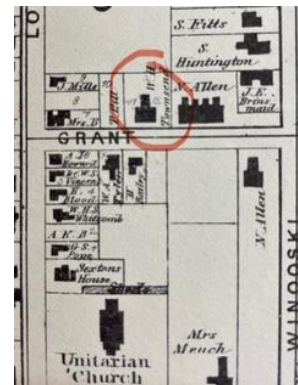
Request: Post fire renovations including the addition of one residential dwelling unit for a total of six in principal structure. Renovations include community laundry in attic, sprinkler system, remove aluminum siding, restore wood siding and trims, replace windows - except restore 13 windows in original house.

Second building on site with 2 units and 6 carports to be unchanged.



Background:

- **Zoning Permit 86-590 / COA 83-0124A;** convert existing office to one residential unit. No exterior modifications and no change in lot coverage. Approved with conditions, December 1986.
- **Zoning Permit 83-038;** erect a freestanding sign. March 1983.
- **Zoning Permit 83-042 / COA 83-014;** convert accessory residential building (garage) to office space/conference room. Decreasing lot coverage to 62%. February 1983.
- **Zoning Permit (n.n.);** seeking a special exception to convert the first floor apartment into two apartments, making 5 apartments in the house. Approved April 1967.



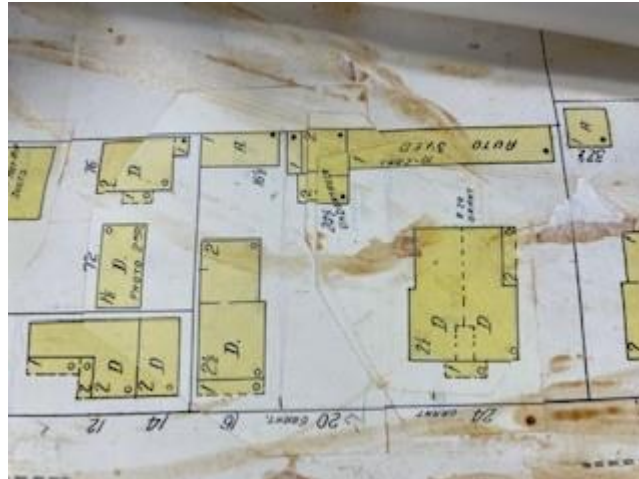
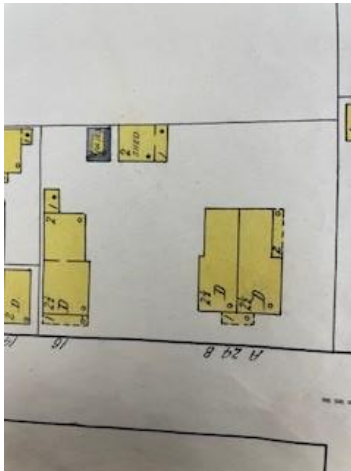
1869 Beers Atlas Map
(detail)

Overview: 24 Grant Street includes two detached structures; the one in the front with 5 residential units, and the rear structure with 2

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residential units and 6 garage bays. It was constructed in 1869 by William Townsend, an architect-builder who lived here from 1869-1899.

The 1919 Sanborn map shows the existing arrangement of the front building, but by 1926 the rear “Autoshed” is in place.



An apartment fire on October 7, 2024 significantly damaged the (front) structure at 24 Grant Street, which housed 5 apartments. The rear detached structure, with 2 additional dwelling units, was not damaged.

24 Grant Street is listed on the Vermont State Register of Historic Resources.

This application seeks to renovate the front fire damaged structure, adding one additional dwelling unit (for a total of 6 in this building, and 2 in a detached building) utilizing the Historic Building Rehabilitation Bonus. As there is more than one principal structure on site, the DRB will be reviewing as a Planned Unit Development (PUD) review.

Part 1: Land Division Design Standards

No land division is proposed. Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.1 Applicability.

These standards shall be satisfied for the approval of all development subject to the provisions of this ordinance found in Article 3, Section 3.4.2(1) – Site Plan Review

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

There are no identified alterations to the existing landscaping. The last permit issuance (1986) required that an approved landscaping plan issued under COA 83-014A be implemented. The proposed site plan differs in that a westerly access drive has morphed into a shared driveway, with continuous gravel between 16 Grant Street and this lot. This has eliminated two parking spots that were previously approved under the 1983 plan, but otherwise parking numbers on the west area and within the garage remains consistent. Additionally, an approved area of grass (in front of the rear structure) has been converted to a continuous drive between buildings. The last approved lot coverage was 62%; this application reports 71.9% lot coverage as “existing.” The maximum lot coverage allowed under the Historic Building Rehabilitation Bonus is 72% (Table 5.4.8-1), which the application achieves; however there are opportunities to minimize lot coverage, restore two approved parking spaces and create more recreational area for building tenants (as required under the PUD standards) with site plan revisions.

(b) Topographical Alterations:

None identified.

(c) Protection of Important Public Views:

There are no protected views from or through this site. Not applicable.

(d) Protection of Important Cultural Resources:

Burlington’s architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city’s or the region’s pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

See Section 5.4.8, below.

(e) Supporting the Use of Renewable Energy Resources:

Where feasible, the site plan should be so designed as to take advantage of the site’s inherent potential to utilize sources of renewable energy including direct sunlight, wind, or running water. The site plan should also incorporate site planning and landscaping decisions intended to minimize energy demand such as siting buildings to maximize solar access or the use of deciduous and coniferous trees to create shade and windbreak.

Buildings should, where appropriate within the context of the neighborhood development pattern, maximize their solar exposure by being oriented to maximize natural light and heat gain during winter months, and to minimize casting shadows into ground floor living space of a building on an adjacent property.

No change to the building's orientation is proposed. There is nothing within the proposal that would preclude the use of wind, water, solar, geothermal, or other renewable energy resource.

(f) Brownfield Sites:

Not applicable.

(g) Provide for nature's events:

Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. All development and site disturbance shall follow applicable city and state erosion and stormwater management guidelines in accordance with the requirements of Art 5, Sec 5.5.3.

Design features which address the effects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage from circulation areas shall also be incorporated.

Site work is not proposed (that would trigger Stormwater/EPSC review).

A new double-decker porch is proposed on the east elevation. The front porch will remain.

(h) Building Location and Orientation:

No change to building orientation is proposed. Not applicable.

(i) Vehicular Access:

Curb cuts shall be arranged and limited in number to reduce congestion and improve traffic safety. A secondary access point from side roads is encouraged where possible to improve traffic flow and safety along major streets. The width and radius of curb cuts should be kept to the minimum width necessary, and sight triangles and sufficient turnarounds for vehicles shall be provided to reduce the potential for accidents at points of egress.

Driveways for commercial properties may require a traffic study to identify the impacts of the movement of traffic to and from the property, and design for safe access. Access for service and loading areas should be located behind buildings or otherwise screened from streets or public ways with landscaping or other barriers. Whether commercial or residential, shared driveways are encouraged, where possible and appropriate.

The approved 1983/1983 site plans illustrate two curb cuts, each leading to parking areas/garage. The proposed site plan modifies the 1983 plan by connecting the two vehicular areas, adding to the lot coverage and minimizing green space. The east driveway is well defined, but the westerly access has created the equivalent of a shared driveway with 16 Grant Street with expansive gravel. It certainly would be possible to minimize the lot coverage and more clearly define the access/parking in this area.

(j) Pedestrian Access:

Pedestrians shall be provided one or more direct and unobstructed paths between a public sidewalk and the primary building entrance. Well defined pedestrian routes shall be provided through parking areas to primary building access points and be designed to provide a physical separation between vehicles and pedestrians in a manner that minimizes conflicts and improves safety. Where sidewalks and driveways meet, the sidewalk shall be clearly marked by differentiated ground materials and/or pavement markings.



Walkways are identified to the Grant Street primary frontage, to the easterly porch, to the westerly entrances, and to the proposed new northerly stair tower.

(k) Accessibility for the Handicapped:

Special attention shall be given to the location and integration of accessible routes, parking spaces, and ramps for the disabled. Special attention shall also be given to identifying accessible access points between buildings and parking areas, public streets and sidewalks. The federal Americans with Disabilities Act Accessibility Guidelines (ADAAG) shall be used as a guide in determining the adequacy of the proposed development in addressing the needs of the disabled.

ADA access is under the jurisdiction of the building official. After inquiry, an accessible unit will not be required.

(l) Parking and Circulation:

To the extent possible, parking should be placed at the side or rear of the lot and screened from view from surrounding properties and adjacent public rights of ways.

Attempts to link adjacent parking lots or provide shared parking areas which can serve neighboring properties simultaneously shall be strongly encouraged.

The approved 1983/1986 site plans include a parking area on the west with 5 spaces, a garage with 6 stalls (one storage), and two parking spaces in front of the garage.

The site plan has functionally changed in that the two access drives (east, west) have been connected in a gravel lane between the buildings; eliminating the 2 parking spaces in

front of the garage, and expanding the gravel onto the 16 Grant Street parcel. While parking minimums are no longer applicable, there are opportunities to minimize lot coverage, enhance the landscaping, provide areas of natural stormwater infiltration and provide a greater area for resident enjoyment of the yard with a return to the 1983 plan. (Lot coverage has increased from 62% in 1983/1986 to almost 72% now.)

(m) Landscaping, Fences and Retaining Walls:

There is no proposed landscaping plan. See above comments about opportunities to reduce lot coverage, restore approved parking between the buildings and enhance the site.

(n) Public Plazas and Open Space:

There is no requirement for a public plaza; however PUD standards require outdoor areas for resident use. [Section 11.1.5 (g)] The alteration of the 1983/1986 site plan has reduced the grassy area and increased lot coverage. At present, there are no identified outdoor areas for residential use, other than a new two story porch on the east. Landscape enhancements and minimized lot coverage are recommended to meet this requirement.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

No information about proposed lighting fixtures has been provided, and is required.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

Utility and service enclosures and screening shall be coordinated with the design of the principal building, and should be grouped in a service court away from public view. On-site utilities shall be placed underground whenever practicable. Trash and recycling bins and dumpsters shall be located, within preferably, or behind buildings, enclosed on all four (4) sides to prevent blowing trash, and screened from public view.

Any development involving the installation of machinery or equipment which emits heat, vapor, fumes, vibration, or noise shall minimize, insofar as practicable, any adverse impact on neighboring properties and the environment pursuant to the requirements of Article 5, Part 5 Performance Standards.

No information about utility connections, meters, mailboxes or HVAC equipment has been included in the plans. Trash and recycling are proposed for the 6th garage bay, which was identified as owner storage in the 1983/1986 plan.

PART 3: Architectural Design Standards

Sec. 6.3.1 Applicability.

These standards are enacted and shall be satisfied for the approval of all development subject to the provisions of this ordinance found in Article 3, Section 3.4.2(b) – Design Review.

Sec. 6.3.2 Review Standards

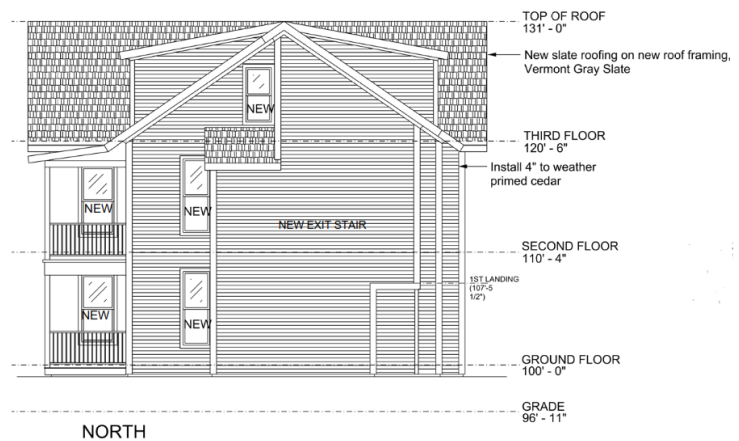
(a) Relate development to its environment:

Proposed buildings and additions shall be appropriately scaled and proportioned for their function and with respect to the purpose of the zoning district. They should integrate harmoniously into the topography, and to the use, scale, and architectural details of existing buildings in the vicinity; however, such consideration shall not require building height to be more limited than otherwise allowed within an applicable zoning district or overlay zone per Article 4.

The following shall be considered:

1. Massing, Height and Scale:

The limited massed changes include the addition of a rear exit stair on the north elevation. This is entirely compatible with the existing structure, located on a secondary elevation. The addition of dormers on the east/west on the rear addition facilitate upper floor living space; however for purposes of confirming acceptable



building height (Section 5.2.6 (a) e.), the measurement to the mid-line of the dormers shall be required.¹

2. Roofs and Rooflines.

The application proposes re-installation of a Vermont Strata Gray slate roof on the primary structure, while the rear addition will have asphalt shingles. See Plans A 2.1 and A 2.2.

¹ Roofs with Dormers: Building height will be calculated to the midpoint of the rise of dormers that either individually or collectively exceed 50% of the width of the horizontal eave length of the roof. Dormers less than this width do not affect height calculation noted in A-C and E of the subsection.

3. Building Openings

Principal entrances shall be clearly defined and readily identifiable from a public street whether by a door, a canopy, porch, or other prominent architectural or landscape features. People with physical challenges should be able to use the same entrance as everyone-else and shall be provided an “accessible route” to the building. Attention shall also be accorded to design features which provide protection from the affects of rain, snow, and ice at building entrances, and to provisions for snow and ice removal or storage.

Window openings shall maintain consistent patterns and proportions appropriate to the use. The window pattern should add variety and interest to the architecture, and be proportioned to appear more vertical than horizontal. Where awnings over windows or doors are used, the lowest edge of the awning shall be at least eight (8) feet above any pedestrian way, and shall not encroach into the public right-of-way without an encroachment permit issued by the dept. of public works.

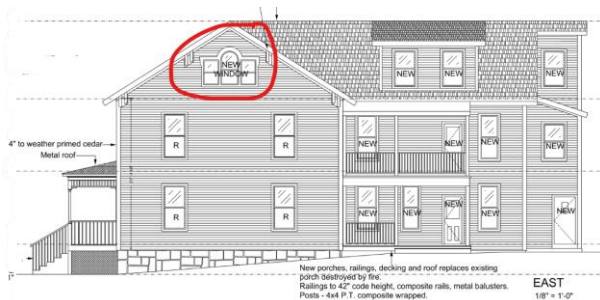
Buildings placed on a side or rear property line where no setback is required shall contain neither doors nor windows along such façade so as not to restrict future development or re-development options of the adjacent property due to fire safety code restrictions. Otherwise they should be setback a minimum of 5-feet.

Replacement windows are proposed for the rear/north addition and the gable-end of the historic home. The application proposes restoration of the existing windows on that portion of the structure. Plans define 1/1 windows there, while historic photos, current photos and the Vermont State Register listing illustrate a 2/2 fenestration pattern which shall be retained or duplicated.

The replacement gable end windows differ from existing conditions by creating a three-part arrangement with an archtop window in the center, without muntins. This alters the characteristic single arch-top window that historically existed; its replacement a diminishment of an identified historic characteristic of the listed historic structure. This is a feature that is represented in other neighboring structures, and singularly identified in the Vermont State Register listing. (*Round headed gable window with shouldered architrave.*)



1967 Polaroid photo of 24 Grant Street.
Note fenestration pattern.



PRE-FIRE VIEW FROM SOUTHEAST

11 GRANT ST

From floor plans, the alteration is proposed in support of living area on the third floor in the new 6th residential unit. The rehabilitation will include sprinklering, so the code requirement for larger windows is moot. The DAB must discern whether this loss of historic character and a specifically identified feature may be avoided or is an acceptable change to design and appearance.

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Where the proposed development involves buildings listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8. The introduction of new buildings to a historic district listed on a state or national register of historic places shall make every effort to be compatible with nearby historic buildings.

See Section 5.4.8, below.

(c) Protection of Important Public Views:

Not applicable.

(d) Provide an active and inviting street edge:

Plans propose removal of existing wide aluminum siding, with installation of composite trim and cornerboards (window trim to be restored at restored windows). Siding will be 4" primed cedar, and the existing brackets are to be stripped and painted in place. Front porch balusters will be repainted, and a Vermont Gray slate roof will be installed on the historic main structure, with asphalt shingles on the rear (north) addition. A new fiberglass door will be installed at the Grant Street entrance. See Plan A2.1. A replacement entry that more clearly replicates the existing double door is highly recommended to retain the Italianate style of the 1869 residence.

(e) Quality of materials:

All development shall maximize the use of highly durable building materials that extend the life cycle of the building, and reduce maintenance, waste, and environmental impacts. Such materials are particularly important in certain highly trafficked locations such as along major streets, sidewalks, loading areas, and driveways. Efforts to incorporate the use of recycled content materials and building materials and products that are extracted and/or manufactured within the region are highly encouraged.

Owners of historic structures are encouraged to consult with an architectural historian in order to determine the most appropriate repair, restoration or replacement of historic building materials as outlined by the requirements of Art 5, Sec. 5.4.8.

See above.

(f) Reduce energy utilization:

All new construction is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

See Section 6.2.2. (p), above.

(i) Make spaces secure and safe:

Spaces shall be designed to facilitate building evacuation, accessibility by fire, police or other emergency personnel and equipment, and, to the extent feasible, provide for adequate and secure visibility for persons using and observing such spaces. Building entrances/entry points shall be visible and adequately lit, and intercom systems for multi-family housing should be incorporated where possible, to maximize personal safety.

Renovations will include a sprinkler system and a rear access staircase. The plan shall adhere to all applicable building and life safety code requirements as defined by the building official and/or fire marshal.

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,

To promote the adaptive re-use of historic buildings and sites.

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

24 Grant Street is listed on the Vermont State Register of Historic Places; therefore the following standards apply.

(b) Standards and Guidelines:

The following development standards, following the Secretary of the Interior's Standards for the Treatment of Historic Properties, shall be used in the review of all applications involving historic buildings and sites subject to the provisions of this section and the requirements for Design Review in Art 3, Part 4. The Secretary of the Interior's Standards are basic principles created to help preserve the distinctive character of a historic building and its site. They are a series of concepts about maintaining, repairing and replacing historic features, as well as designing new additions or making alterations. These Standards are intended to be applied in a reasonable manner, taking into consideration economic and technical feasibility.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

24 Grant Street was constructed as a residence; a use that will continue.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

Removal of the aluminum siding and restoration of the porch, siding, windows and roof will be positive steps in reclaiming/retaining historic character. The removal of the archtop gable window will be a loss to the historic merit of the property and therefore recommended for plan revision.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The replacement front door is recommended to more closely replicate the existing double door with archtop lights.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The fire damage in the rear ell requires significant restoration/rehabilitation to the structure. New construction there is warranted and welcomed.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The gable end archtop attic window is a distinctive feature that should be retained. A tri-part window arrangement is not consistent with the historic character of the property.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

The slate roof will be replaced on the primary structure, with asphalt shingles on the rear ell.

See above comments about the attic gable end window.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

None identified.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

None identified.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

See previous comments about preferred retention of the archtop gable end attic windows.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The fire loss that substantially damaged the structure precipitates the overall project. Plans define the efforts to restore the front portion of the structure (although the entire “t” shaped building dates to 1869) weigh favorably in the reconstruction of the rear portion of the building. The new stairtower at the north is a welcome addition to the project, providing a new residential unit. An option would include utilizing the rear ell for the new 6th unit, leaving the existing attic area for tenant storage and avoiding the loss of the gable end windows. The laundry area could be relocated to one of the garage bays; more accessible to all tenants.

Items for the Board’s consideration:

1. Information about any lighting fixtures shall be provided for staff review and approval.
2. For purposes of creating more residential common area, enhancing landscaping, providing greater area for natural stormwater infiltration and minimization of lot coverage, it is strongly recommended that there be a reversion to the approved 1983/1986 site plan that disconnects the two parking areas and adds green space between the two buildings.
3. Windows for the front building shall remain 2/2; it is recommended that the attic/gable window shall be restored or replaced to match the arch-top 2/2 window with shouldered architrave. If there is a building code requirement to enlarge that opening to accommodate living space in the attic, the Design Advisory Board shall review those requirements and advise.

4. The entrance door fronting Grant Street is recommended to be replaced with a similar double door (*Center, double doors, single panel with round headed lights*) to maintain the Italianate style original to the entrance.
5. The front porch (with Eastlake motif) shall be retained/restored.
6. Utility connections, meters, mailboxes and HVAC equipment shall be illustrated on elevations and/or site plans as appropriate.
7. All new construction is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.
8. A letter of adequate water and sewer capacity will be required from Burlington's Water Resources Division.
9. A state wastewater permit will be required. It is the owner's responsibility to secure that permit.
10. Standard Permit Conditions 1-15.

March 14, 2025

Scott Gustin
Zoning Division Manager
City of Burlington Zoning

RE: 24 Grant Street Application for PUD

G•V•V Architects is working with Filipp Lagun to restore the fire damaged property at 24 Grant Street and add one unit to the existing 5 unit building.

The existing property has two structures. The existing 5 unit Primary building was damaged by fire that consumed the roof and heavily damaged 3 of the 5 units toward the rear of the building. The secondary building, at the rear of the property was undamaged and has two units which are still currently occupied as well as a 6 bay carport of which one has been used to house the trash and recycling receptacles.

This project proposes to add a 6th unit and community laundry room under the new roof of the Primary building while restoring the slate roofing on the street face, and restoring the trim and siding to its pre-vinyl glory. Existing lot coverage exceeds allowable coverage in the medium density zone. We propose using the Historic Rehab Bonus to take advantage lot coverage allowance of 72% maximum under the Zoning ordinance section (4.4.5(d)(3). A sprinkler system will also be added and a new exit stair on the back serving basement through attic, 4 levels.

Per **10.1.8 (a)2**. See attached abutters list

Article 5 commentary:

5.1.2; Primary and Accessory structures are pre-existing with no major proposed changes other than slightly larger exit stair on rear of building and slight smaller porch on east side.

5.2.2; Lot Frontage of 103.55' meets the minimum for the district.

5.2.3; Existing lot coverage is 70.8% and proposed is 71.7%. This is comprised of 39.6% building coverage and 32.4% walks and drives. See Site plan for further breakdown.

5.2.4; No steep slopes on this site.

5.2.5; See site plan for setbacks. The existing primary building and proposed exit stair addition will not encroach into setbacks. The existing accessory building does encroach into the side and rear setbacks, no changes are proposed to that building.

5.2.6; The proposed roof structure will be the same height and slope as the original that was destroyed by fire. Total height measured to mid line of pitched roof per 5.2.6(a)2B is approximately 30'-6" above grade at the south side of the building and at the proposed dormers.

5.2.7; Density Calculation - Property is located in Medium Density zone which allows up to 8 units per lot in 2 building of 4 units each. PUD ordinance states no minimum lot size in the RM zone and allows for up to 40 units per acre. The existing lot is 12,045 sf or 0.276 acres X 40 = 11 units max. 8 units are proposed in two structures with 6 in the primary structure and 2 in the secondary structure.

5.3; Non-conformity – a. The nonconforming setback encroachment of the secondary structure has been an existing condition for many years and no change is proposed.

5.3.5; The existing Primary structure exceeds the 1800 maximum per table 4.4.5-2. The proposed footprint is slightly smaller than the existing. See site plan for more information.

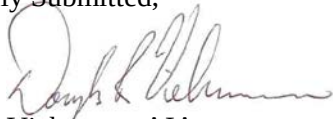
5.3.8; This application is for rebuilding after catastrophe (fire), see 5.3.5 above. Also base zoning allows two structure s with 4 units each. The existing primary structure had 5 units, we propose an increase to 6 units in the primary structure while maintaining the maximum 8 units per lot even though PUD's allow 40 units per acre or 11 units on this site

5.4.8(e); Historic Building Rehab Bonus. See attached State Historic Register pages. Note that when surveyed in 1978 the aluminum siding was in place. This project will restore the original look with repaired and new primed wood siding, restoration of the salvaged trim elements and restoration of the 13 double hung windows in the front section of the home. The windows will be made more energy efficient with exterior storms, modification from double hung to single hung, and new hardware. The new roof structure will support slate on the south (street) face. The front porch will be restored and the front door which was damaged during the fire and subsequent break-in will be replaced while maintaining the round topped sidelights.

The applicant asks that the proposed lot coverage of no more than 72% be approved based on the historic restoration proposed.

Conclusion: We are requesting a total of 8 units on the site as allowed under current zoning. The configuration of 6 units in the primary structure and 2 in the secondary is allowed under PUD permitting. Historic Rehab Bonus is being used to allow for up to 72% maximum coverage. Note the attached existing conditions Google Earth photograph with grassed areas within what our site plan shows as gravel drives. During construction these grass strips will be disturbed and take years to recover, hence the 72% maximum lot coverage shown.

Respectfully Submitted,



Douglas R. Viehmann, AIA

20-24 GRANT STREET AUTUMN 2021 PHOTOS



PRE-FIRE VIEW FROM SOUTHWEST



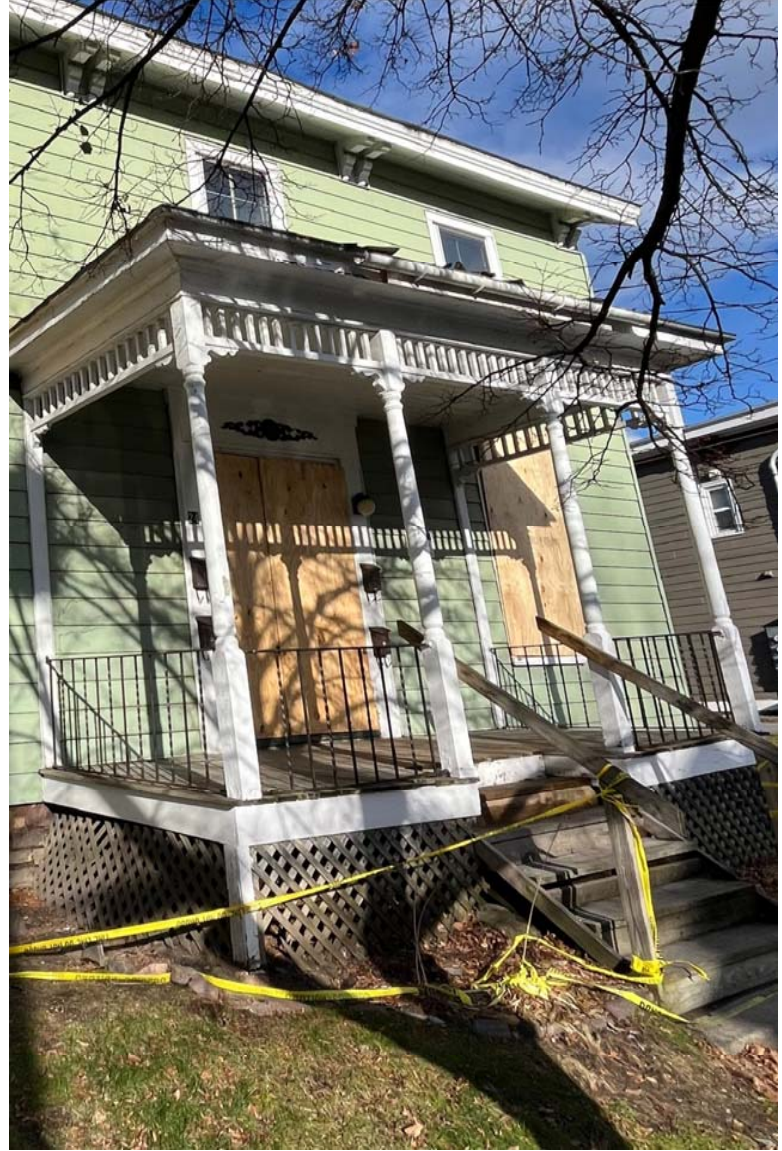
PRE-FIRE VIEW FROM SOUTHEAST



24 GRANT ST



ARCH TOP GLASS IN DOOR



EXISTING PORCH DETAILS

GRANT STREET NEIGHBORING PROPERTY PHOTOS



14 & 16 GRANT STREET



VIEW WEST FROM CLARK ST INTERSECTION



17-19 GRANT ST

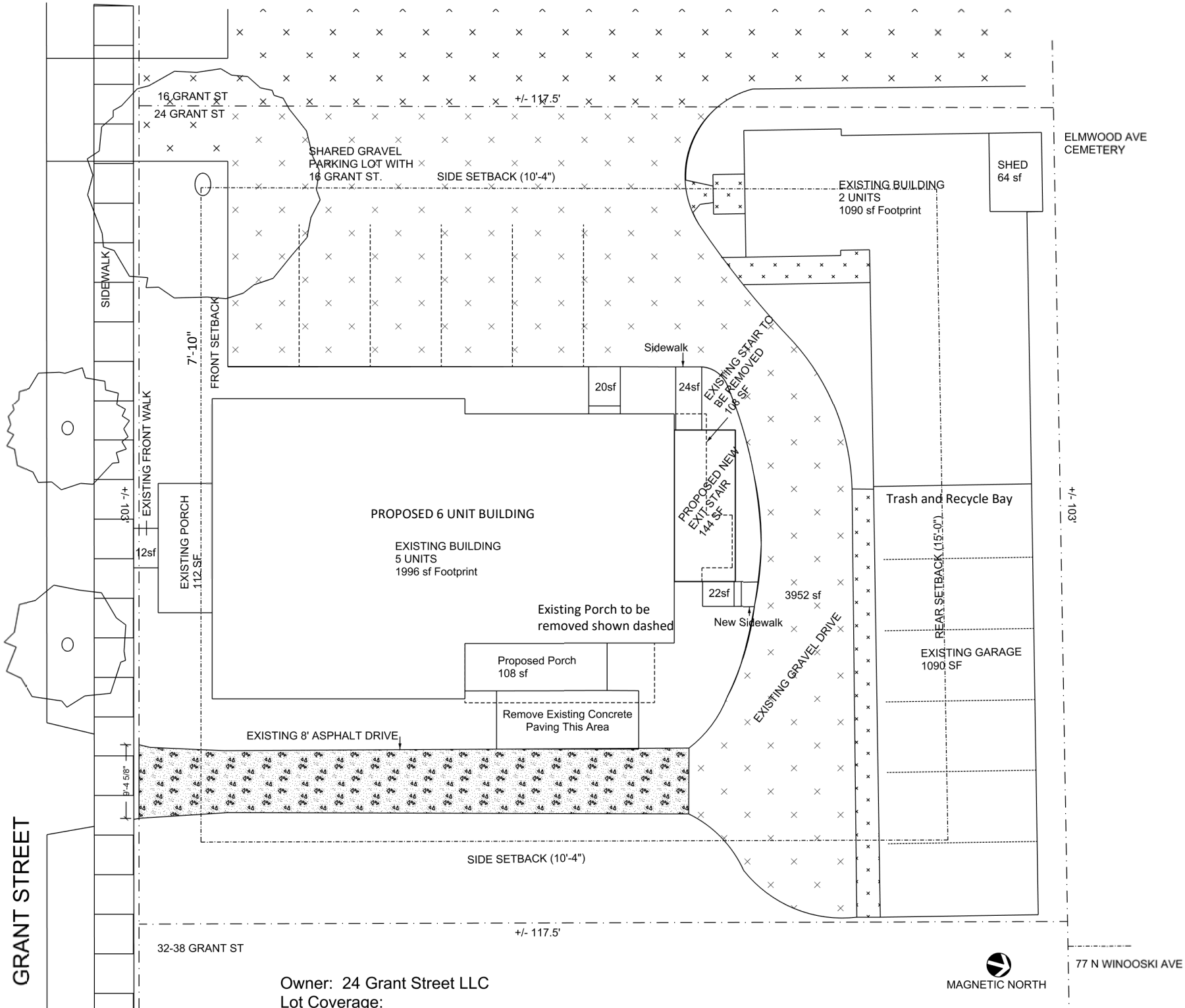
11 GRANT ST



32-38 GRANT ST

General Notes:

- 1. Straw wattles are to be placed around all stockpiled soils and downhill from excavation.
- 2. Existing sewer connection to remain.
- 3. New water connection for sprinkler and domestic supply.



Owner: 24 Grant Street LLC
Lot Coverage:
Lot Size = 12,045 sf = 0.276 Acres

	Existing:	Proposed:
Primary Building:	2,104 sf	2140 sf
Decks/Porches:	316 sf	232 sf
Secondary Building:	2,244 sf	2,244 sf
Total Buildings:	4,664 sf (39.4%)	4,616 sf (38.3%)
Walks & Drives:	3,996 sf (33.2%)	4,018 sf (33.4%)
Total Coverage:	8,660 sf (71.9%)	8,634 sf (71.7%)

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NOTES:

 NORTH

24 Grant Street
Burlington, VT

GUILLLOT VIVIAN VIEHMANN ARCHITECTS, INC. Burlington, VT 802.862.9631

DATE: 07 FEB 25
REVISED:

SCALE:
1/16" = 1'-0"

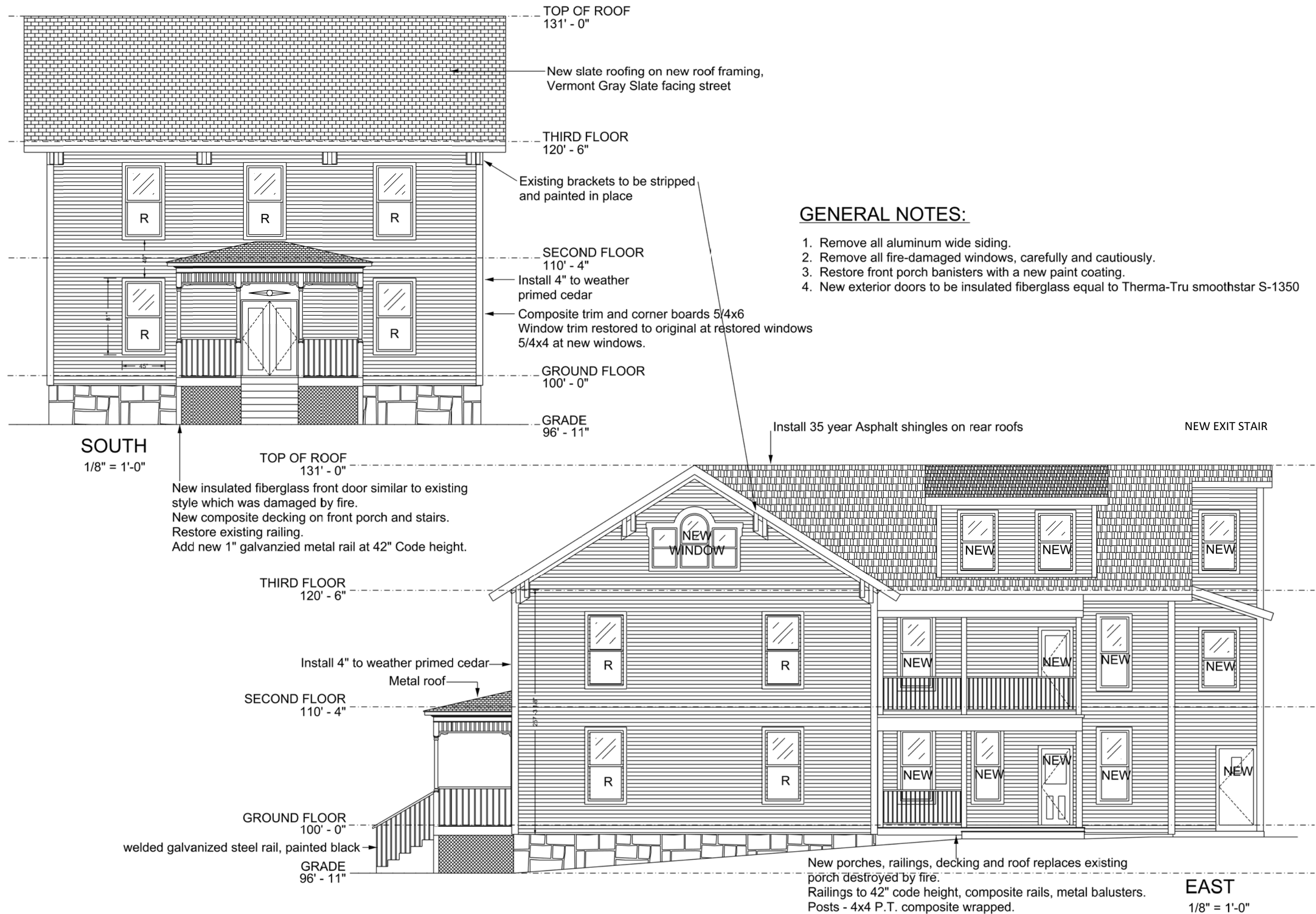
DRAWING:
Site Plan

SHEET:
SP

NOTES:

Achenbach Residence
64 BROADLAKE RD, COLCHESTER, VERMONT
GUILLOT VIVIAN VIEHMANN ARCHITECTS, INC. Burlington, VT 802.862.9631

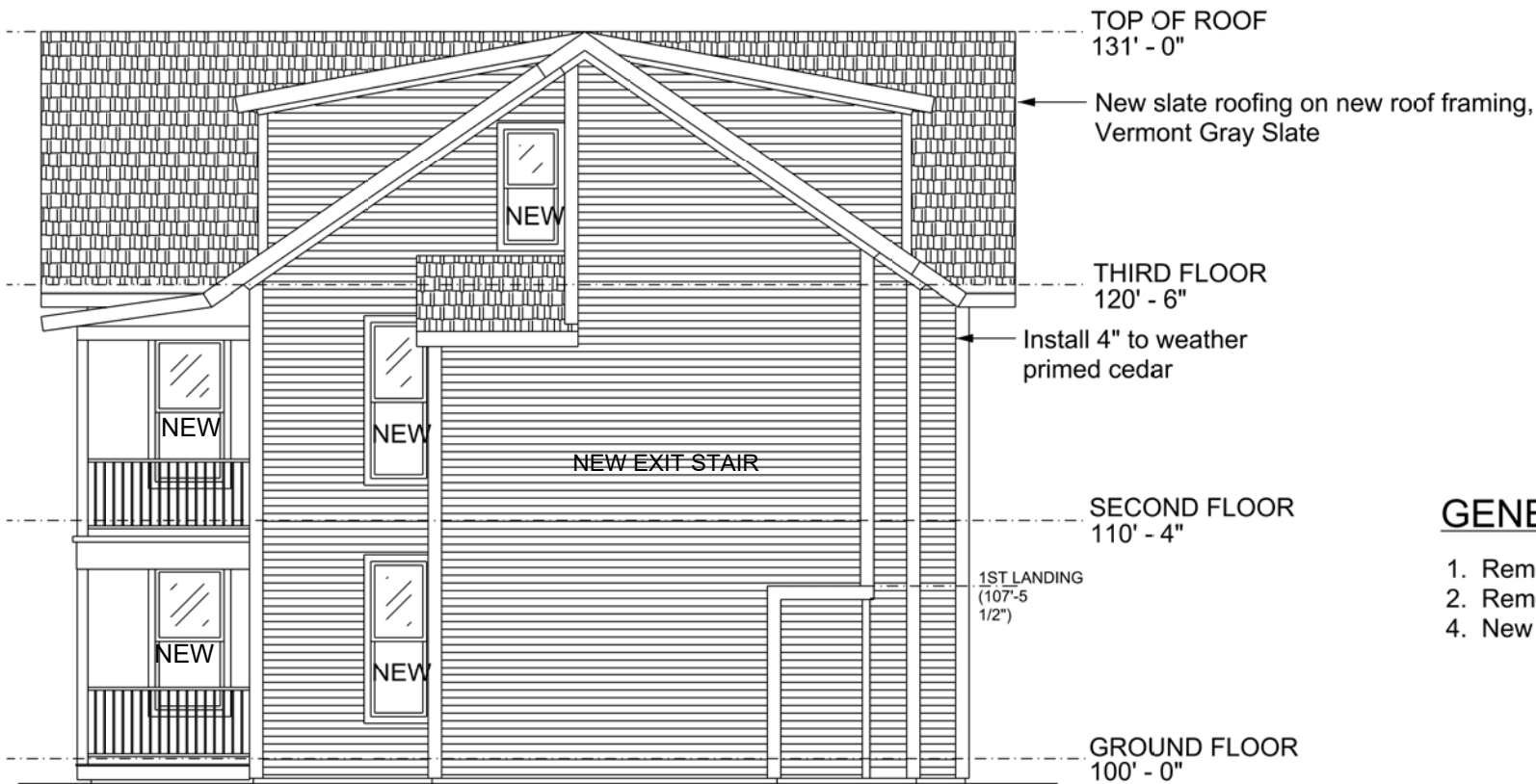
DATE: 28 JAN 25
REVISED:
SCALE:
1/8" = 1'-0"
DRAWING:
ELEVATIONS
SHEET:
A2.1



NOTES:

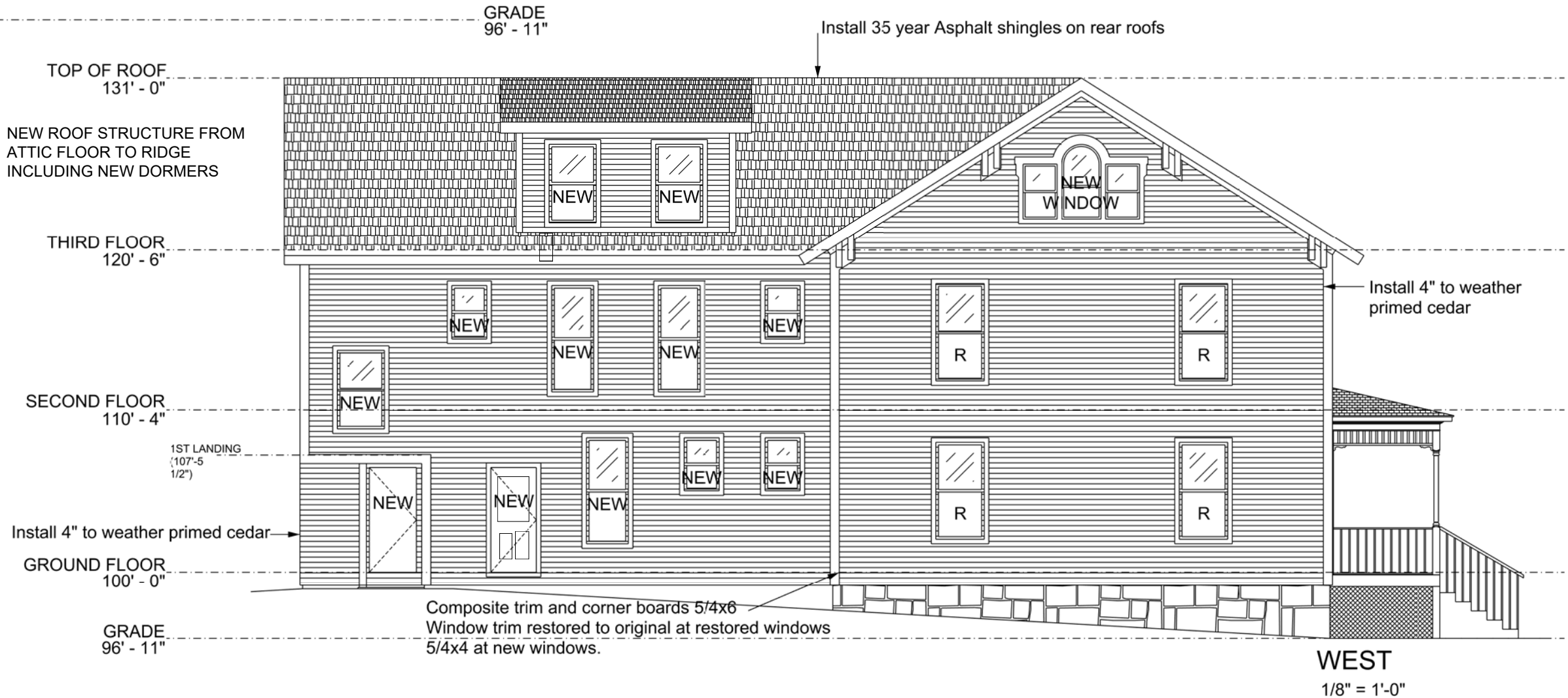
Achenbach Residence
64 BROADLAKE RD, COLCHESTER, VERMONT
GUILLOT VIVIAN VIEHMANN ARCHITECTS, INC. Burlington, VT 802.862.9631

DATE: 28 JAN 25
REVISED:
SCALE:
1/8" = 1'-0"
DRAWING:
ELEVATIONS
SHEET:
A2.2

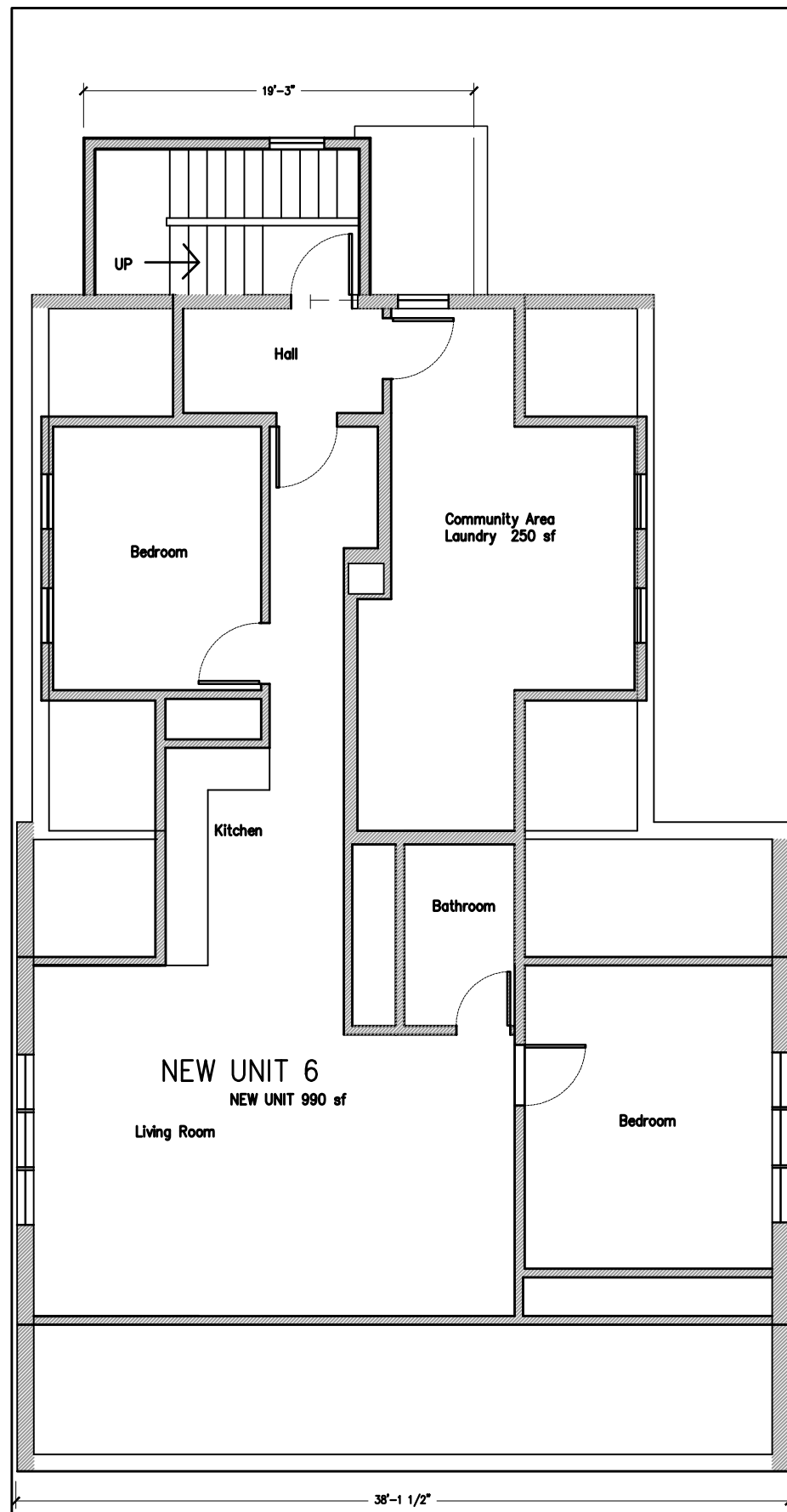


- GENERAL NOTES:**
1. Remove all aluminum wide siding.
 2. Remove all fire-damaged windows, carefully and cautiously.
 4. New exterior doors to be insulated fiberglass equal to Therma-Tru smoothstar S-1350

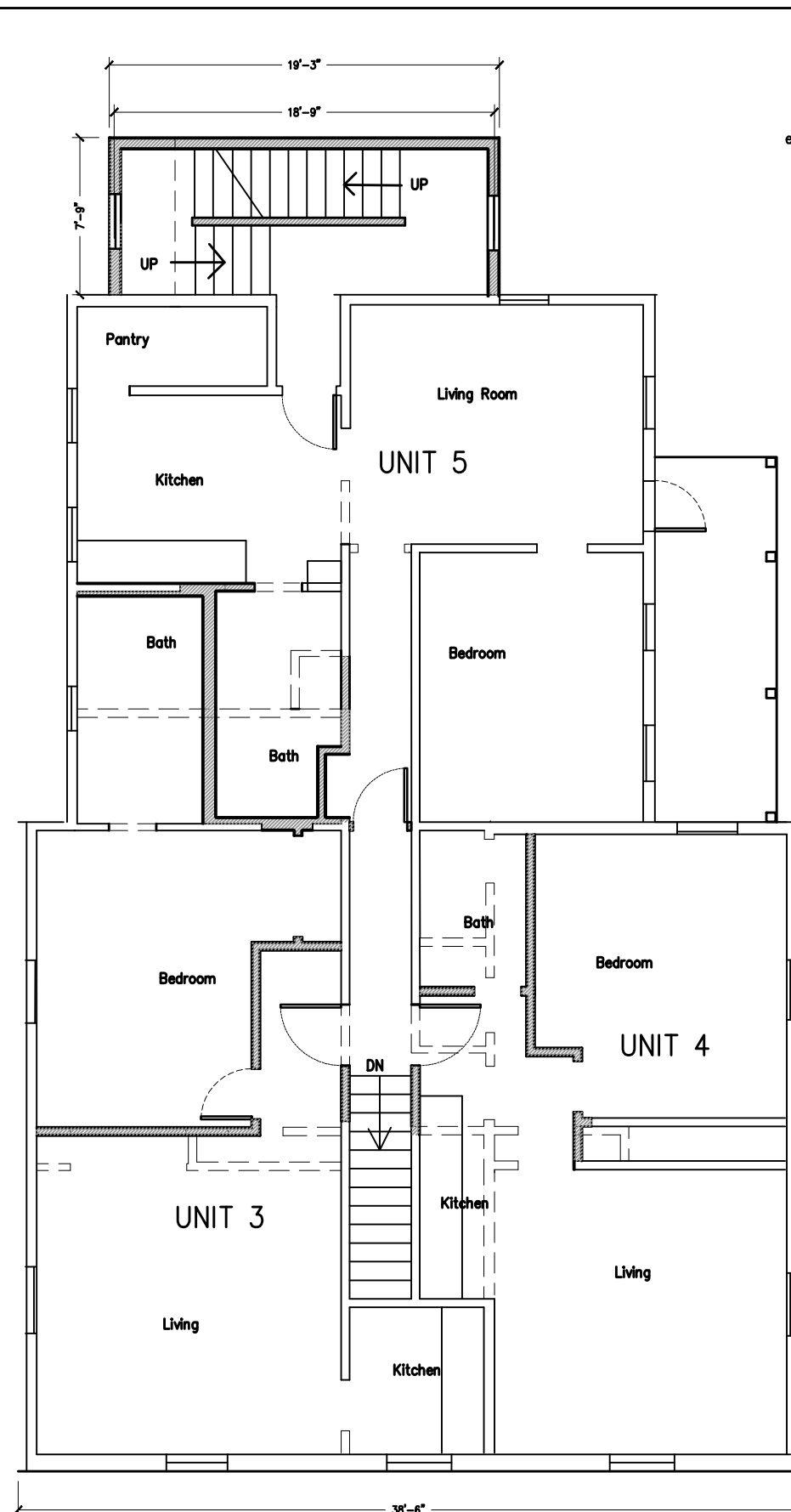
NORTH
1/8" = 1'-0"



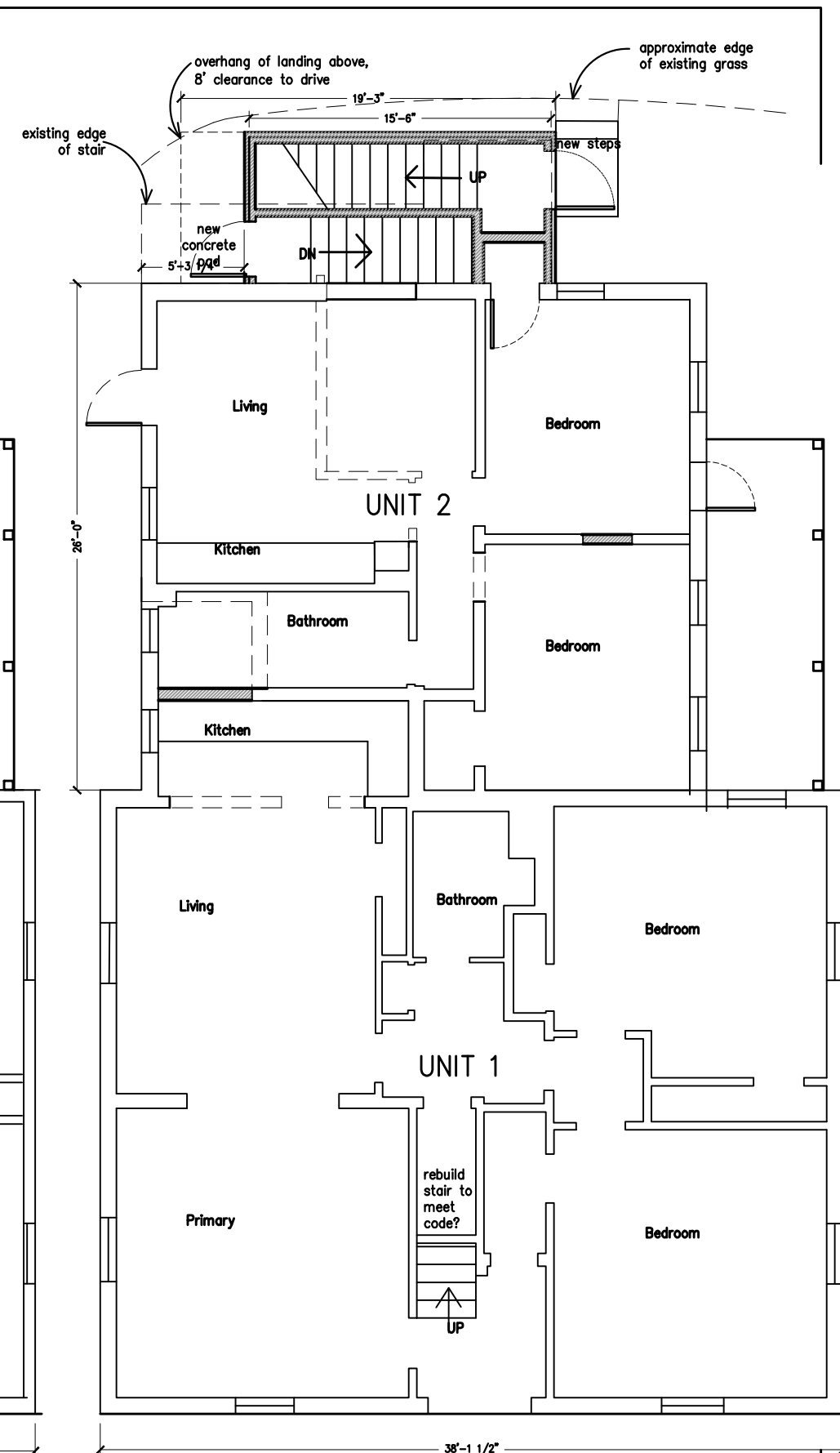
WEST
1/8" = 1'-0"



① THIRD FLOOR PLAN
1/8" = 1'-0"



① SECOND FLOOR PLAN
1/8" = 1'-0"



① FIRST FLOOR PLAN
1/8" = 1'-0"

WALLS SHOWN DASHED
TO BE REMOVED

WALLS SHOWN HATCHED
ARE NEW

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other project without written
authorization.

NOTES:

24 GRANT STREET
BURLINGTON, VERMONT

GUILLOT VIVIAN VIEHMANN ARCHITECTS, INC. Burlington, VT 802.862.9631

DATE: 1-9-25
REVISED:

SCALE:
1/8" = 1'-0"

DRAWING:
FLOOR PLANS

SHEET:
A1.0

OR SIMILAR INSULATED FIBERGLASS DOOR
SUCH AS THERMATRU OR TRUSTILE

Architectural™ Collection Fiberglass Exterior Door: 3/4 View Mahogany Camber Top 2-Panel Glass Panel

Model Overview



PROJECT TYPE New construction and replacement	MAINTENANCE LEVEL Minimal	WARRANTY Lifetime Warranty
COLORS & FINISHES 6 Finish Options 26 Paint Options	GLASS Decorative and energy efficient.	CONSTRUCTION Architectural Construction Plugless Frame Clip Assembly
MATERIALS 1 Woodgrain Option		



PRICING

Many options will influence the price of your door.
To get an estimate, contact your JELD-WEN dealer.

WHERE TO BUY (/WHERE-TO-BUY?
PID=148089)

GET HELP ON YOUR PROJECT (/EN-
US/GET-HELP?
PID=148089&JWCT_GETHELP=PRODUCTPAGE)

- Materials
- Colors & Finishes
- Glass
- Construction & Framing
- Energy & Sustainability

Hi there! How can I help you today?

Smooth-Pro™ Fiberglass Exterior Door: 1/2 View Twin 3-Light 2-Panel

Explore the options

On-screen colors/finishes vary from actual products.

See all options and features >

NO DIVIDED LIGHTS
CLEAR GLASS
INSULATED FIBERGLASS

Give Feedback

Reset

Exterior
(Left)



PRICING

Many options will influence the price of your door.
To get an estimate, contact your JELD-WEN dealer.

WHERE TO BUY (/WHERE-TO-BUY?
PID=147201)

GET HELP ON YOUR PROJECT (/EN-
US/GET-HELP?
PID=147201&JWCT_GETHELP=PRODUCTPAGE)

Model Overview

Pella® Lifestyle Series

Clad/Wood



OR SIMILAR CLAD WOOD WINDOWS SUCH AS
ANDERSEN 100 SERIES OR MARVIN ELEVATE

#1 performing wood window and patio door for the combination of energy, sound and value.¹

Triple-pane casement



Dual-pane double-hung window with Hidden Screen



- **Easy-to-learn Pella Steady Set® interior installation system**
Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows.¹ The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality.² Available on select windows.
- **Performance redefined**
You don't have to compromise on any aspect of performance. Available performance solutions offer an unbeatable combination of energy efficiency, sound control and value.³
- **ENERGY STAR® certified⁴**
Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Lifestyle Series products with triple-pane glass have been awarded ENERGY STAR Most Efficient Mark in 2023.
- **Enhanced sound control**
Our patented, triple-pane design with Advanced Low-E glass allows for mixed glass thickness for enhanced sound dampening resulting in an average 52% noise reduction versus single-pane windows.⁵
- **Intentional design for improved durability**
Intentional jamb on sill design helps seal the end grain of the wood and elevates it off the rough opening, reducing the potential for moisture.
- **Durable 3-way corner joints**
Three-way corner joints are made up of mortise-and-tenon, metal fasteners and commercial adhesive for added strength and durability.
- **Quality exterior finishes**
EnduraClad® finish is a tough, protective aluminum finish for windows. The overlapping, watershed cladding resists chalking and fading. Our extruded aluminum-cladding delivers exceptional durability for sliding patio door exteriors.
- **Exclusive wood protection**
Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly. It provides advanced protection against the effects of moisture, decay, stains from mold and mildew — as well as termite damage.
- **Time-tested innovations**
Create unique room-by-room solutions and achieve project goals with performance options and purposeful innovations like the Hidden Screen and integrated blinds and shades.
- **Best limited lifetime warranty⁶**
Pella Lifestyle Series products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.⁶
- **Testing beyond requirements**
At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.
- **Convenient & durable screens**
The revolutionary Hidden Screen appears when you open a double-hung window and folds away when it is closed. It provides a clear view when the window is closed and improves curb appeal year-round. The heavy-duty TuffScreen® by Phifer keeps bugs out and allows more fresh air in as one of the most durable screen options on the market. Available on sliding patio doors.

Available in these window and patio door styles:

NEW WINDOWS, DBL HUNG



Special shape windows also available.

^{1,2,3,4,5,6,7} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles		Performance Values				Performance Class & Grade		Frame/Install	
		Min. Width	Min. Height	Max. Width	Max. Height	U-Factor	SHGC	STC	
Awning	Dual-pane vent	21"	17"	59"	59"	0.25-0.34	0.19-0.51	25-28	Pella Steady Set™, Fold-out Fin, Black Frame, EnduraClad Exterior Trim / Brickmould
Awning	Triple-pane vent	21"	17"	59"	59"	0.20-0.28	0.15-0.41	31-37	
Casement	Dual-pane vent	17"	17"	35"	73"	0.25-0.34	0.19-0.58	25-31	
Casement	Triple-pane vent	17"	17"	35"	73"	0.20-0.25	0.17-0.46	31-37	
Fixed Casement	Dual-pane	17"	17"	73"	73"	0.23-0.35	0.20-0.57	29-32	
Fixed Casement	Triple-pane	17"	17"	73"	73"	0.19-0.27	0.15-0.49	33-37	
Double-Hung	Dual-pane vent	21"	35"	48"	84"	0.25-0.34	0.20-0.48	27-31	
Hinged Patio Door	Dual-pane single door	30"	80"	38"	96"	0.26-0.32	0.18-0.48	31	
Hinged Patio Door	Triple-pane single door	30"	80"	38"	96"	0.23-0.28	0.12-0.34	34-36	
Hinged Patio Door	Dual-pane double door	60"	80"	75"	96"	0.25-0.29	0.18-0.48	30-32	
Hinged Patio Door	Triple-pane double door	50"	80"	75"	96"	0.22-0.26	0.14-0.38	34-36	Fold-out Fin, Black Frame, EnduraClad Exterior Trim / Brickmould
Sliding Patio Door	Dual-pane double-door vent (OX or XO)	60"	80"	120"	120"	0.26-0.31	0.20-0.51	28-31	
Sliding Patio Door	Triple-pane double-door vent (OX or XO)	60"	80"	96"	96"	0.23-0.26	0.19-0.47	32-34	
Sliding Patio Door	Dual-pane triple-door vent (OXO)	90"	80"	180"	120"	0.26-0.31	0.20-0.51	-	
Sliding Patio Door	Triple-pane triple-door vent (OXO)	90"	80"	144"	96"	0.23-0.26	0.19-0.47	-	
Sliding Patio Door	Dual-pane quad/triple-door vent (OXXO)	117"	80"	237"	120"	0.26-0.31	0.20-0.51	-	
Sliding Patio Door	Triple-pane quad/triple-door vent (OXXO)	117"	80"	189"	96"	0.23-0.26	0.19-0.47	-	

Window sizes available in 1/4" increments
Special sizes available in dual- and triple-pane sliding patio doors. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit install.pella.com.

Window Hardware

Essential Collection

Select from popular designs and finishes to suit every style.

Fold-Away Crank

Cam-Action Lock

Finishes:

Champagne

White

Brown

Matte Black

Satin Nickel

Satin Brass

Patio Door Hardware

Essential Collection

Elevate your style and transform a home with elegant selections.

Hinged Patio Door Handle

Sliding Patio Door Handle

Finishes:

Champagne

White

Brown

Matte Black

Satin Nickel

Satin Brass

Colors

Prefinished Pine Interior Colors

We can prefinish pine in your choice of several paint and stain colors. Unfinished or primed and ready-to-paint are also available.

White

Bright White

Linen White

Natural Stain

Golden Oak Stain

Early American Stain

Provincial Stain

Black Stain

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect windows and patio doors for years. Seacoast EnduraClad protective finish for coastal projects with high salt exposure is also available.

Aluminum-Clad Exterior Colors

Black

White

Brown

Fossil

Iron Ore

Porobello

Putty

Almond

Classic White

Brick Red

Hartford Green

Wolf Gray

Integrated Blinds & Shades

Integrated Blinds

Raise blinds up for an unobstructed view or tilt to let in just the right amount of light.

White

Poplar White

Bisque

Storm

Golden

Mocha

Black

Our best integrated fabric shades feature a white exterior fabric for a uniform look from the street. Integrated and accessible shades are available manual or motorized with Pella Insynctive technology.

Integrated Shades

Light-Filtering:

White

Silver

Maize

Room-Darkening:

Cotton

Bamboo

Ash

Haven't landed on the final blind or shade color or selection? No problem. With our patented triple-pane design, you and your customer can make those decisions later in the schedule. Our triple-pane products come with all of the hardware to add a blind or shade straight from the factory or at a later time in the building or remodeling process.

Screens⁹

Hidden Screen

The Hidden Screen appears when you open a double-hung window and folds away when the window is closed. It allows 44% more natural light into your home when a window is closed than a standard screen.¹⁰ Hidden Screen carriage available in Black, White, Brown, Fossil and Iron Ore colors to match or complement the exterior cladding color choice.

Rolscreen®

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement and awning windows.

TuffScreen® by Phifer®

The heavy-duty vinyl-coated screen is tear, puncture and damage resistant, standing up to pets, children and harsh weather. The TuffScreen® by Phifer is 2.5x stronger than a standard screen.¹¹ Available on sliding patio doors.

InView®

InView flat screens let in 14% more light and are 8% more open for improved airflow when compared to the conventional fiberglass screen.¹¹

⁹All trademarks are property of their respective owners.

8.9.19.11 See back cover for disclosures.

Performance Packages

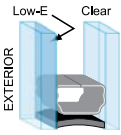
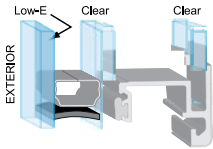
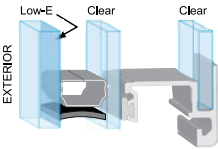
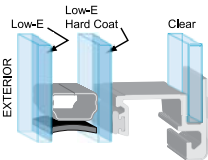
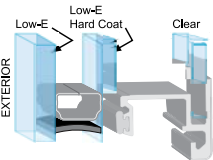
To make things easier, we've created performance packages.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Create room-by-room solutions with the upgraded triple-pane glass design.

All values below are averages compared with single-pane windows.



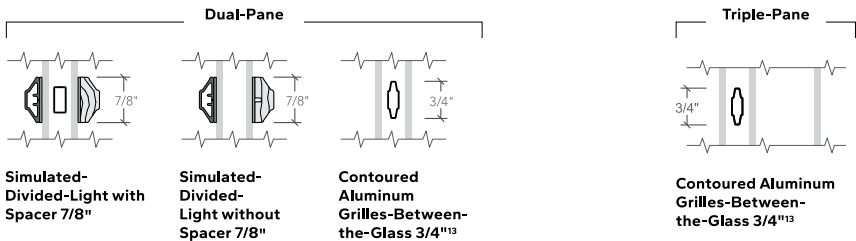
Pella® Lifestyle Series offers products awarded ENERGY STAR® Most Efficient for 2023.⁴

Base	Performance	Sound Control	Energy Efficiency	Ultimate Performance
	71% More Energy Efficient ¹⁰ + 34% Noise Reduction ⁵	52% Noise Reduction ⁵	83% More Energy Efficient ¹⁰	79% More Energy Efficient ¹⁰ + 52% Noise Reduction ⁵
 Advanced Low-E Two panes of insulating, energy-efficient glass and our most popular features and options.	 Advanced Low-E SunDefense Low-E or NaturalSun Low-E A triple-pane glass design for a combination of both improved energy efficiency and sound performance.	 Advanced Low-E, SunDefense Low-E or NaturalSun Low-E Sound-reduction glazing Triple-pane glass design featuring mixed glass thicknesses for enhanced sound dampening.	 AdvancedComfort A triple-pane glass design with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.	 AdvancedComfort Sound-reduction glazing A triple-pane glass design featuring mixed glass thicknesses with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.

Patented triple-pane glass design gives flexibility to add integrated blinds or shades without impacting performance.

Grilles

Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.⁶

¹ Compared to leading national wood window brands recommended installation methods for new construction windows.

² Comparing average install time and plumb/level/square measurements of leading national wood window brands when installed following the manufacturer's standard installation methods for new construction windows.

³ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

⁴ Some Pella products may not meet ENERGY STAR certification in Canada. For more information, contact your local Pella sales representative or go to nrcan.gc.ca/energy/products/categories/fenestration/13739.

⁵ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁶ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

⁷ Double-hung windows available in dual-pane only.

⁸ Available with triple-pane products only.

⁹ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

¹⁰ Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

¹¹ Improved airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

¹² Based on the composite results of a 5-panel strength analysis comparing TuffScreen and standard screening.

¹³ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.



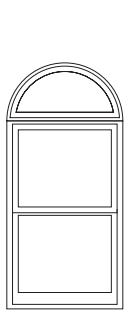
Lifestyle Series Double-Hung

Combination Assemblies

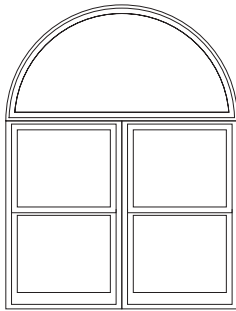
Combinations are a great way to create visual interest in any project. A combination is an assembly formed by two or more separate windows or doors whose frames are mullioned together by a direct or reinforcing mullion.

Pella window combinations are available in an endless variety of arrangements. Refer to Combinations Section for requirements, and limitations.

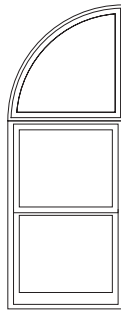
Contact your local Pella sales representative for more information.



Half Circle over
Single



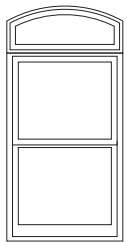
Half Circle over
Two-Wide



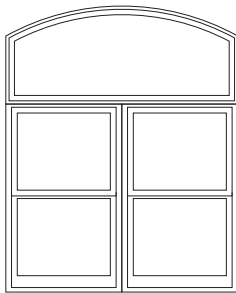
Left Quarter Circle
over Single



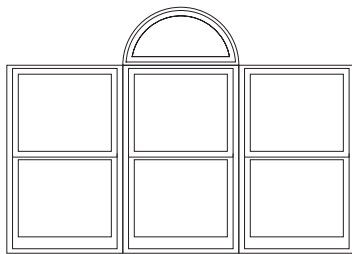
Right Quarter Circle
over Single



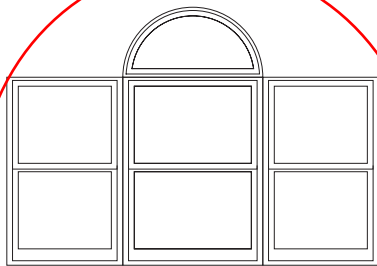
Arch Head over
Single



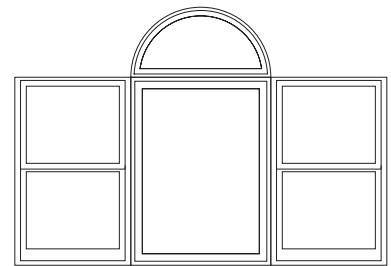
Arch Head over
Two-Wide



Half Circle centered on
Three-Wide Equal



Half Circle over
Three-Wide Unequal



Half Circle over
Center Fixed with Flankers

AT EAST AND WEST GABLES



Lifestyle Series Double-Hung

Glazing Performance - Total Unit

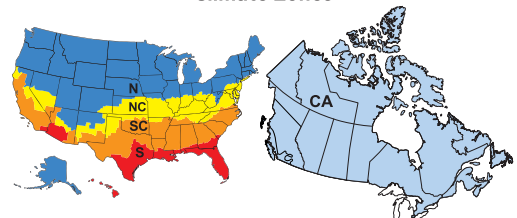
Glazing Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values ₁				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown					
			Ext.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada ₂	
										Zone				ER	Zone
										Dual-Pane Vent					
11/16"	Advanced LowE IG	PEL-N-35-00514-00001	2.5	2.5	argon	0.30	0.30	0.56	56						
	with grilles-between-the-glass	PEL-N-35-00515-00001				0.30	0.27	0.50	56						
	with Simulated Divided Light	PEL-N-35-00516-00001				0.30	0.27	0.50	56						
11/16"	Advanced LowE IG	PEL-N-35-00517-00001	3	3	argon	0.30	0.30	0.56	55						
	with grilles-between-the-glass	PEL-N-35-00518-00001				0.30	0.27	0.50	55						
	with Simulated Divided Light	PEL-N-35-00519-00001				0.30	0.27	0.50	55						
11/16"	SunDefense™ Low-E IG	PEL-N-35-00550-00001	2.5	2.5	argon	0.29	0.22	0.52	56				S		
	with grilles-between-the-glass	PEL-N-35-00551-00001				0.29	0.20	0.47	56				S		
	with Simulated Divided Light	PEL-N-35-00552-00001				0.29	0.20	0.47	56				S		
11/16"	SunDefense Low-E IG	PEL-N-35-00553-00001	3	3	argon	0.29	0.22	0.52	55				S		
	with grilles-between-the-glass	PEL-N-35-00554-00001				0.29	0.20	0.46	55				S		
	with Simulated Divided Light	PEL-N-35-00555-00001				0.29	0.20	0.46	55				S		
11/16"	SunDefense+ Low-E IG	PEL-N-35-00568-00001	2.5	2.5	argon	0.25	0.22	0.51	45		NC	SC	S		
	with grilles-between-the-glass	PEL-N-35-00569-00001				0.25	0.20	0.46	45		NC	SC	S		
	with Simulated Divided Light	PEL-N-35-00570-00001				0.25	0.20	0.46	45		NC	SC	S		
11/16"	SunDefense+ Low-E IG	PEL-N-35-00571-00001	3	3	argon	0.25	0.22	0.51	44		NC	SC	S		
	with grilles-between-the-glass	PEL-N-35-00572-00001				0.25	0.20	0.45	44		NC	SC	S		
	with Simulated Divided Light	PEL-N-35-00573-00001				0.25	0.20	0.45	44		NC	SC	S		
11/16"	AdvancedComfort Low-E IG	PEL-N-35-00532-00001	2.5	2.5	argon	0.26	0.29	0.55	45						
	with grilles-between-the-glass	PEL-N-35-00533-00001				0.26	0.27	0.49	45						
	with Simulated Divided Light	PEL-N-35-00534-00001				0.26	0.27	0.49	45						
11/16"	AdvancedComfort Low-E IG	PEL-N-35-00535-00001	3	3	argon	0.26	0.29	0.55	44						
	with grilles-between-the-glass	PEL-N-35-00536-00001				0.26	0.26	0.49	44						
	with Simulated Divided Light	PEL-N-35-00537-00001				0.26	0.26	0.49	44						
11/16"	NaturalSun LowE IG	PEL-N-35-00478-00001	2.5	2.5	argon	0.30	0.56	0.64	55					34	CA
	with grilles-between-the-glass	PEL-N-35-00479-00001				0.30	0.50	0.57	55						
	with Simulated Divided Light	PEL-N-35-00480-00001				0.30	0.50	0.57	55						
11/16"	NaturalSun LowE IG	PEL-N-35-00481-00001	3	3	argon	0.30	0.55	0.63	54					34	CA
	with grilles-between-the-glass	PEL-N-35-00482-00001				0.30	0.49	0.57	54						
	with Simulated Divided Light	PEL-N-35-00483-00001				0.30	0.49	0.57	54						
11/16"	NaturalSun+ LowE IG	PEL-N-35-00496-00001	2.5	2.5	argon	0.26	0.51	0.63	44	N				35	CA
	with grilles-between-the-glass	PEL-N-35-00497-00001				0.26	0.46	0.56	44	N					
	with Simulated Divided Light	PEL-N-35-00498-00001				0.26	0.46	0.56	44	N					
11/16"	NaturalSun+ LowE IG	PEL-N-35-00499-00001	3	3	argon	0.26	0.50	0.62	43	N				35	CA
	with grilles-between-the-glass	PEL-N-35-00500-00001				0.26	0.45	0.55	43	N					
	with Simulated Divided Light	PEL-N-35-00501-00001				0.26	0.45	0.55	43	N					

R-Value = 1/U-Factor
SHGC = Solar Heat Gain Coefficient
VLT % = Visible Light Transmission
CR = Condensation Resistance
ER = Canadian Energy Rating

(1) Glazing performance values are calculated based on NFRC 100, NFRC 200 and NFRC 500. ENERGY STAR® values are updated to 2023 (version 7) criteria.

(2) The values shown are based on Canada's updated ENERGY STAR® 2020 initiative. Visit www.energystar.gov for Energy Star guidelines.

Climate Zones



Railings to be galvanized after welding is complete, rail for front stairs only.

236 **MOLDED STEEL & DUCTILE IRON HANDRAIL & ACCESSORIES**

SAME DAY SHIPPING!

DUCTILE IRON HANDRAIL ACCESSORIES **237**

HANDRAIL & ACCESSORIES

HANDRAIL & ACCESSORIES

HANDRAIL & ACCESSORIES

ALL COMPONENTS FIT 45-905-8 45-905-19

ALL COMPONENTS FIT 45-905-8 45-905-19

ALL COMPONENTS FIT 45-905-8 45-905-19

MOLDED STEEL COVER RAIL

8 & 19 ft. Long!

WILL FIT OVER 1/2" OR 1" SQUARE, FLAT OR CHANNEL.

45-905-8 (8')
 8' CAN SHIP
 UPS OR FEDEX
 -- 1-3/4" **\$20.18 (per 8')**
 1 5/8" **\$18.47 (20+)**

45-905-19 (19')
 -- 1-3/4" **\$47.79 (per 19')**
 1 5/8" **\$46.49 (10+)**

DUCTILE IRON MOLDED VOLUTE

81-4429-V
 1 1-5/8" **\$7.27 ea.**
 -- 1-3/4" **\$6.89 (20+)**
 1 1.05 lbs **\$6.68 (40+)**

DUCTILE IRON STRAIGHT LAMB'S TONGUE

81-4429-S
 1 5" **\$7.98 ea.**
 -- 5" **\$7.77 (15+)**
 1 1.60 lbs **\$7.18 (30+)**

DUCTILE IRON PITCHED LAMB'S TONGUE FOR PITCHED MOLDED COVER RAIL

81-4429-B
 1 1-1/16" **\$6.38 ea.**
 -- 4" **\$5.97 (50+)**
 1 1.30 lbs **\$5.59 (100+)**

DUCTILE IRON MOLDED SQUARE END

81-4429-N
 1 5" **\$2.39 ea.**
 -- 2-1/2" **\$2.28 (80+)**
 1 0.35 lbs **\$2.07 (160+)**

DUCTILE IRON CHANNEL CORNER BEND

81-100-CC
 1 4-1/2" **\$4.38 ea.**
 -- 4-1/2" **\$4.08 (80+)**
 1 0.50 lbs **\$3.89 (160+)**

DUCTILE IRON CORNER BEND

81-4429-C
 1 5" **\$5.97 ea.**
 -- 1-3/4" **\$5.59 (60+)**
 1 1.01 lbs **\$5.39 (120+)**

DUCTILE IRON TERMINAL

13-05302-405
 1 2-3/8" **\$3.37 ea.**
 -- 1-3/4" **\$3.09 (25+)**
 1 0.31 lbs

DUCTILE IRON MOLDED CORNER PIECE 90 PER BOX/37.5 LBS

81-4429-L
 1 1-1/16" **\$4.09 ea.**
 -- 3-7/8" **\$3.89 (50+)**
 1 0.75 lbs **\$3.58 (100+)**

DUCTILE IRON SQUARE TERMINAL

13-05302-403
 1 2-3/16" **\$5.49 ea.**
 -- 3-3/4" **\$5.18 (25+)**
 1 0.55 lbs

DUCTILE IRON MOLDED END URN BASE

81-4429-U
 1 5" **\$7.07 ea.**
 -- 1-5/8" **\$6.89 (100+)**
 1 0.20 lbs **\$6.79 (200+)**

DUCTILE IRON MOLDED CORNER URN BASE

81-4429-UL
 1 1-1/8" **\$7.37 ea.**
 -- 1-1/2" sq. **\$7.07 (50+)**
 1 0.15 lbs

MALLEABLE IRON MOLDED CENTER URN BASE

81-4429-UC
 1 1-15/16" **\$7.37 ea.**
 -- 1-5/8" sq. **\$7.07 (100+)**
 1 0.15 lbs **\$6.79 (200+)**

DUCTILE IRON MOLDED CENTER PIECE

81-4429-T
 1 5-3/8" **\$4.19 ea.**
 -- 1-3/4" **\$3.89 (40+)**
 1 0.75 lbs **\$3.57 (80+)**

DUCTILE IRON CENTER PIECE

13-05302-406
 1 5-5/16" **\$2.28 ea.**
 -- 2-3/16" **\$2.08 (80+)**
 1 0.74 lbs

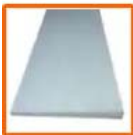
DUCTILE IRON MOLDED TERMINAL

81-4429-E
 1 5" **\$4.19 ea.**
 -- 3-3/4" **\$3.89 (60+)**
 1 0.65 lbs **\$3.58 (120+)**

New and replacement siding where repairs are needed after aluminum siding is removed

1/2 in. x 6 in. x 192 in. Red Cedar Finger Joint Primed Bevel Siding

★★★★★ (23) Questions & Answers (18)



Hover Image to Zoom

Share Print

59

- Oil primed and ready to paint
- Naturally decay resistant
- Time tested and beautiful
- [View More Details](#)

Nominal Product Length (in.): 192

96 144 192

Unavailable at Williston Delivering to 05495

Pickup Nearby
Today
In stock 68.8 mi away
FREE

Delivery
Unavailable

How much will you need?
Please note: calculations are estimates only

Calculate by:
☒ Length x Width
☐ Square Footage

Wall
Length: ft. Width:

+ Add Wall

Calculate

OR SIMILAR PRODUCT SUCH AS TREX

TimberTech
BY AZEK

AZEK
EXTERIORS

DECKING, RAILING, SIDING, TRIM & ACCESSORIES
PRODUCT GUIDE | 2024



New



Porch Collection in English Walnut®
Classic Composite Series Drink Rail

PORCH COLLECTION

Hardwoods & Stained Wood

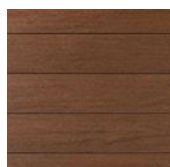
Bring all the real wood looks and performance benefits of TimberTech Advanced PVC Decking to your clients' porches. The innovative tongue-and-groove installation of our Porch Collection allows for smaller gaps between boards—delivering a traditional hardwood flooring look your clients will love.



SLATE GRAY



OYSTER®



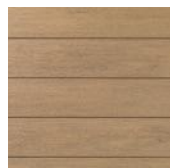
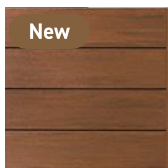
MAHOGANY



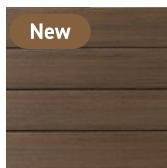
DARK HICKORY



COASTLINE®

WEATHERED
TEAK®

CYPRESS®

ENGLISH
WALNUT®

PRODUCT DESCRIPTION	TimberTech Model Number		
	10'	12'	16'
ADVANCED PVC PORCH			
1 x 4 T&G Porch Slate Gray	ADCP13510SG	ADCP13512SG	ADCP13516SG
1 x 4 T&G Porch Oyster	—	ADP13512OR	ADP13516OR
1 x 6 T&G Porch Mahogany	—	ADP15512MH	ADP15516MH
1 x 4 T&G Porch Mahogany	—	ADP13512MH	ADP13516MH
1 x 6 T&G Porch Dark Hickory	—	ADP15512DH	ADP15516DH
1 x 4 T&G Porch Dark Hickory	—	ADP13512DH	ADP13516DH
1 x 6 T&G Porch Coastline	—	ADP15512CS	ADP15516CS
1 x 4 T&G Porch Coastline	—	ADP13512CS	ADP13516CS
1 x 6 T&G Porch Weathered Teak	—	ADP15512WT	ADP15516WT
1 x 4 T&G Porch Weathered Teak	—	ADP13512WT	ADP13516WT
1 x 4 T&G Porch Cypress	—	ADP13512CY	ADP13516CY
1 x 6 T&G Porch Cypress	—	ADP15512CY	ADP15516CY
1 x 4 T&G Porch English Walnut	—	ADP13512EW	ADP13516EW
1 x 6 T&G Porch English Walnut	—	ADP15512EW	ADP15516EW

Extended lead times may apply to certain geographies.

MULTIWIDTH PORCH BOARDS

FOR DESIGN FLEXIBILITY

Standard-width (3.125") width boards available in all colors. Wide-width (5.5") porch boards available in Coastline, Cypress, Dark Hickory, English Walnut, Mahogany, and Weathered Teak for curated design options.

WUI-COMPLIANT

FOR HOMES IN FIRE ZONES

With WUI compliance, the Porch Collection is a better choice for homes in fire zones.

PROFILE OPTIONS

STANDARD

3.125"

T

1"

⊥

WIDE

5.5"

T

1"

⊥



Vintage Collection® In Coastline, RadianceRail® Express

The TimberTech Railing portfolio delivers enduringly beautiful designs as well as superior performance, whether choosing from our composite, PVC, or metal railing collections. Plus, lots of customization options mean it's easy to create a unique look.

COMPOSITE RAILING

A mix of high-performance polymers and recycled wood fibers for impressive durability, this collection offers the most customization and style options

HIGHLY DURABLE Resists cracking, splitting, and splintering

MOISTURE RESISTANT Protected from mold, mildew & rot

PREMIUM MATTE COLORS Protected by 25-year Limited Fade & Stain Warranty

RESEMBLES THE LOOK OF PAINTED WOOD

LOW MAINTENANCE Never needs painting or staining

MADE FROM UP TO 50% RECYCLED MATERIAL

OFFERS THE MOST CUSTOMIZATIONS & STYLES From modern to traditional



CLASSIC COMPOSITE SERIES

With several top rails and a universal bottom rail, the Classic Composite Series offers the most customization options, making mixing and matching components a breeze.

TOP RAIL PROFILES



DRINK RAIL

Compatible with full profile, Square-Shouldered boards. Not compatible with glass infill.



RADIANCERAIL®



PREMIER RAIL™



TRADEMARK RAIL™

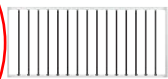
Only available in White and Matte White.



INFILL OPTIONS



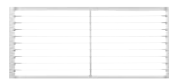
SOLID COMPOSITE BALUSTER



ALUMINUM



GLASS



CABLERAIL

COLOR OPTIONS



GLOSS WHITE



MATTE WHITE



MATTE ESPRESSO



MATTE BLACK

Matte colors also include a 25-Year Fade & Stain Limited Warranty



TruExterior®

Siding & Trim



SO AUTHENTIC. SO RELIABLE.
NOTHING COMPARES.



5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

BOARD-AND-BATTEN SIDING

Whether a Modern Farmhouse design or creating accents on a gable, board-and-batten is one of the hottest trends in home exterior design. And it's easy to create the board-and-batten look using just TruExterior Trim.

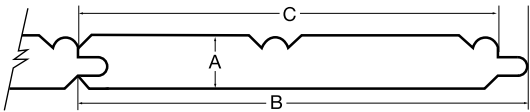


TruExterior Trim comes pre-primed and does require paint.



Pictured: Beaded Pattern

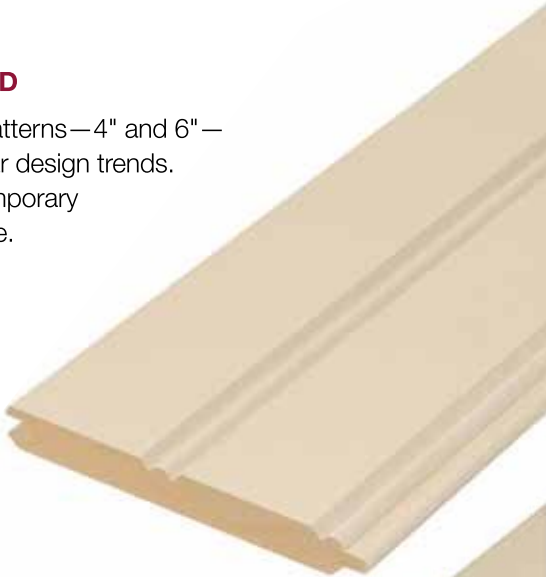
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
5/8 x 4	5/8"	3-15/32"	3-5/32"
5/8 x 6	5/8"	5-5/16"	4-15/16"



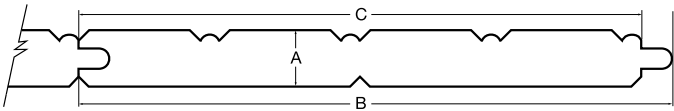
SINGLE BEADBOARD

Two distinct beaded patterns—4" and 6"—to suit the most popular design trends. Reversible for a contemporary “V-Groove” appearance.

Smooth Finish



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
5/8 x 8	5/8"	6-9/16"	6-7/32"
5/8 x 12	5/8"	10-1/4"	9-29/32"



DOUBLE BEADBOARD

The same appearance as the single-profile products, but with twice the coverage. Reversible for a contemporary “V-Groove” appearance.

Smooth Finish



TruExterior Beadboard comes pre-primed and does require paint.

TruExterior Siding & Trim Reference Guide

SUSTAINABILITY

The sustainable properties of TruExterior Siding & Trim are a result of a combination of proprietary polymer chemistry and highly refined, recovered coal combustion products (fly ash).



- Contains a minimum of 70% recycled content—verified by SCS Global Services

CODE LISTINGS

TruExterior Siding & Trim have undergone rigorous internal and third-party testing to provide building officials, architects, contractors, specifiers, designers and others with reliable, high-performing products.

- California's Wildland-Urban Interface (WUI) listed—Beadboard and Trim
- Intertek CCRR-0300

Trim

5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

Beadboard

Single		Double	
Nominal Size	Actual	Nominal	Actual
5/8 x 4	5/8" x 3-15/32"	5/8 x 8	5/8" x 6-9/16"
5/8 x 6	5/8" x 5-5/16"	5/8 x 12	5/8" x 10-1/4"

Accessories

Skirt Board		Window Pocket Rabbeted Trim		Siding Pocket Rabbeted Trim		Window and Siding Pocket Rabbeted Trim	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
1 x 6	3/4" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 3	1" x 2-1/2"	5/4 x 4	1" x 3-1/2"
1 x 8	3/4" x 7-1/4"	5/4 x 6	1" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 6	1" x 5-1/2"
5/4 x 6	1" x 5-1/2"	5/4 x 8	1" x 7-1/4"	5/4 x 5	1" x 4-1/2"	5/4 x 8	1" x 7-1/4"
5/4 x 8	1" x 7-1/4"			5/4 x 6	1" x 5-1/2"		
				5/4 x 8	1" x 7-1/4"		

Note: All TruExterior Trim, Beadboard, and Accessory products are available in a standard 16' length.

Slate on South face of roof, facing Grant Street

[HOME \(HTTPS://VERMONTSLATECO.COM/\)](https://vermontslateco.com/) > [SLATES \(HTTPS://VERMONTSLATECO.COM/SLATE/\)](https://vermontslateco.com/slate/) > VERMONT STRATA GRAY

Vermont Strata Gray

Vermont Strata Gray slate is a medium gray slate with black stripes. This medium to heavy-textured slate usually shows some buff and brown weathering. The random angles of the strata lines combined with the semi-weathering qualities provide heavy contrast through the roof.

[DOWNLOAD INFORMATION SHEET \(HTTPS://VERMONTSLATECO.COM/WP-CONTENT/UPLOADS/2015/09/VERMONT-STRATA-GRAY-PRODUCT-SHEET.PDF\)](https://vermontslateco.com/wp-content/uploads/2015/09/vermont-strata-gray-product-sheet.pdf)



ASTM Tests

	Value	ASTM Test Method	ASTM Grade
Modulus of Rupture	611 lbs. at 0.253 in	C-120-06	S1
Absorption	0.163%	C-121-06	S1
Weather Resistance	.0019 in.	C-217-94	S1

All Vermont Slate Company® roofing products meet or exceed ASTM C-406 S1 Standards

Image Gallery



Certainteed Landmark or equal asphalt shingles
For north, east and west surfaces



LANDMARK® COLOR PALETTE



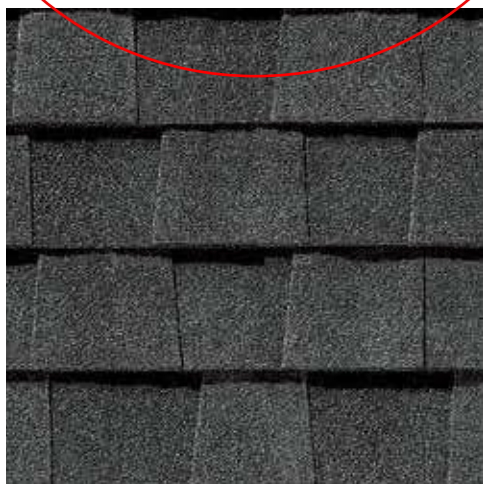
Cobblestone Gray



Georgetown Gray



Weathered Wood



Moiré Black



Charcoal Black



Heather Blend

LANDMARK® Solaris® CoolRoof COLOR PALETTE

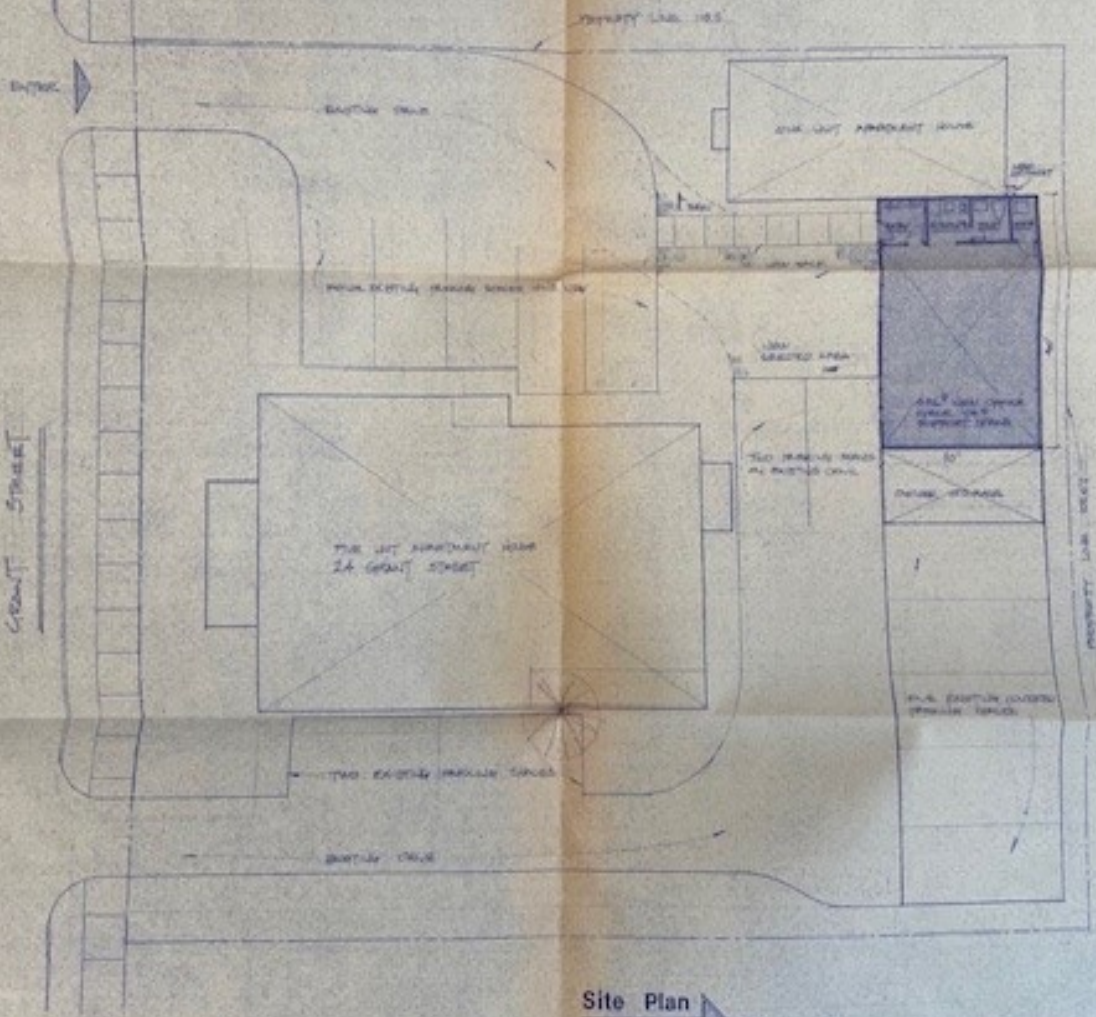


Graphite
CRRP Product ID 0668-0155



Weathered Wood
CRRP Product ID 0668-0119

GRANT STREET



Site Plan
SCALE

24 GRANT STREET

Proposed Office Space in Eastside Square
General Survey & Plan
PREPARED BY
ASHLINE

Ashline
ENGINEERS
INC.

2000 ASHLINE PARKWAY
BIRMINGHAM, AL

SITE INFORMATION
TOTAL AREA - 1.2608
UNIMPAVED AREA - 0.0000
PARKING AVAILABLE - 100
TOTAL - 100 SPACES



STATE OF VERMONT
Division for Historic Preservation
Montpelier, VT 05602

HISTORIC SITES & STRUCTURES SURVEY
Individual Structure Survey Form

SURVEY NUMBER:

NEGATIVE FILE NUMBER:

78-A-164

UTM REFERENCES:

Zone/Easting/Northing

U.S.G.S. QUAD. MAP:

PRESENT FORMAL NAME:

ORIGINAL FORMAL NAME:

PRESENT USE: apartments

ORIGINAL USE: residence

ARCHITECT/ENGINEER:

BUILDER/CONTRACTOR:

PHYSICAL CONDITION OF STRUCTURE:

Excellent ☐ Good ☒

Fair ☐ Poor ☐

STYLE: Italianate

DATE BUILT:

1869

COUNTY: Chittenden

TOWN: Burlington

LOCATION:

24 Grant St.

COMMON NAME:

FUNCTIONAL TYPE: dwelling

OWNER: Iris B. Lash

ADDRESS: 245 Crescent Road

ACCESSIBILITY TO PUBLIC:

Yes ☐ No ☒ Restricted ☐

LEVEL OF SIGNIFICANCE:

Local ☒ State ☐ National ☐

GENERAL DESCRIPTION:

Structural System

1. Foundation: Stone ☒ Brick ☐ Concrete ☐ Concrete Block ☐

2. Wall Structure

a. Wood Frame: Post & Beam ☐ Balloon ☒

b. Load Bearing Masonry: Brick ☐ Stone ☐ Concrete ☐
Concrete Block ☐

c. Iron ☐ d. Steel ☐ e. Other:

3. Wall Covering: Clapboard ☐ Board & Batten ☐ Wood Shingle ☐
Shiplap ☐ Novelty ☐ Asbestos Shingle ☐ Sheet Metal ☐

Aluminum ☒ Asphalt Shingle ☐ Brick Veneer ☐ Stone Veneer ☐
Bonding Pattern: Other:

4. Roof Structure

a. Truss: Wood ☒ Iron ☐ Steel ☐ Concrete ☐

b. Other:

5. Roof Covering: Slate ☒ Wood Shingle ☐ Asphalt Shingle ☐
Sheet Metal ☐ Built Up ☐ Rolled ☐ Tile ☐ Other:

6. Engineering Structure:

7. Other:

Appendages: Porches ☒ Towers ☐ Cupolas ☐ Dormers ☐ Chimneys ☒
Sheds ☐ Ells ☒ Wings ☐ Bay Window ☐ Other:

Roof Style: Gable ☒ Hip ☐ Shed ☐ Flat ☐ Mansard ☐ Gambrel ☐

Jerkinhead ☐ Saw Tooth ☐ With Monitor ☐ With Bellcast ☐

With Parapet ☐ With False Front ☐ Other:

Number of Stories: 2½

Number of Bays:

Entrance Location:

Approximate Dimensions:

THREAT TO STRUCTURE:

No Threat ☐ Zoning ☐ Roads ☐
Development ☐ Deterioration ☐
Alteration ☐ Other:

LOCAL ATTITUDES:

Positive ☐ Negative ☐
Mixed ☐ Other:

ADDITIONAL ARCHITECTURAL OR STRUCTURAL DESCRIPTION:

Massing - Gable sided orientation. Rectangular block with ell in rear. 1 x 3 bay front porch. 1 x 2 bay side porch on ell.

Penetration - 2/2 sash. Plain architrave. Round headed gable window with shouldered architrave.

Entrance - Center, double doors, single panel with round headed lights.

Enrichments - Turned posts, chamfered posts, spindle screen, paired brackets and an Eastlake motif over front door.

RELATED STRUCTURES: (Describe)

8 bay carriage shed with attached coachman's house.

STATEMENT OF SIGNIFICANCE:

This is similar in massing and plan to many Italianate houses throughout Burlington. Its gable sided street orientation is, however, different than these others. Distinguishing features include a double door entrance with round headed sidelights, bracketed eaves and an Eastlake detailed entrance porch.

It was the home of architect-builder William Townsend for thirty years (1869-99), and was undoubtedly designed and erected by Townsend. It maintains the modest, comfortable, middle class character of the street.

REFERENCES:

1869, 1890, Sanborn maps; directories

MAP: (Indicate North in Circle)



SURROUNDING ENVIRONMENT:

Open Land ☐ Woodland ☐
Scattered Buildings ☐
Moderately Built Up ☐
Densely Built Up ☒
Residential ☒ Commercial ☐
Agricultural ☐ Industrial ☐
Roadside Strip Development ☐
Other:

RECORDED BY:

C. Richard Morsbach

ORGANIZATION:

VT. Div. for Historic Preservation

DATE RECORDED:

6/29/78