

Burlington Development Review Board

Department of Permitting & Inspections
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DRB
Telephone: (802) 865-7188
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Caitlin Halpert
Geoff Hand
Sean McKenzie
Brad Rabinowitz
Leo Sprinzen
Chase Taylor
Marina Campbell, (Alternate)
Evan Gould, (Alternate)



Development Review Board

Tuesday, May 21, 2024, 5:00 PM

Remote on Zoom:

Please click the link below to join the webinar:

Zoom: <https://us02web.zoom.us/j/83225696227?pwd=SGQ0bTdnS000Wkc3c2J4WWw1dzMxUT09>

Webinar ID: 832 2569 6227

Passcode: 969186

Telephone: US +1 929 205 6099 or +1 301 715 8592 or +1 312 626 6799 or +1 669 900 6833 or +1 253 215 8782
or +1 346 248 7799

1. Agenda

2. Communications

3. Minutes

4. Certificate of Appropriateness

4.1.

ZP-24-143; 1555 North Avenue (RC, Ward 4) Jolley Associates / Bryan Gamache

Proposed installation of new underground fuel storage tanks, new concrete pad over tanks, new fueling drive pad, and new fueling area canopy. (Project Manager, Scott Gustin)

5. Adjournment

6. Informational and Non-Discrimination Statements

6.1.

Plans may be viewed upon request by contacting the Department of Permitting & Inspections between the hours of 8:00 a.m. and 4:30 p.m. Participation in the DRB proceeding is a prerequisite to the right to take any subsequent appeal. Please note that ANYTHING submitted to the Zoning office is considered public and cannot be kept confidential. This may not be the final order in which items will be heard. Please view final Agenda, at www.burlingtonvt.gov/dpi/drb/agendas or the office notice board, one week before the hearing for the order in which items will be heard.

The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status, crime victim status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at (802) 540-2505.

Department of Permitting & Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
Telephone: (802) 865-7188

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Permit Technician
Steve Cormier, Code Compliance Officer
Ted Boylan, DPI Administrator



TO: Development Review Board
FROM: Scott Gustin
DATE: May 21, 2024
RE: ZP-24-143; 1555 North Avenue

=====

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: RC Ward: 4

Owner/Applicant: Bryan Gamache

Request: Installation of new underground fuel storage tanks, new concrete pad over tanks, new fueling drive pad, and new fueling area canopy.

I. Findings

Background Information:

The applicant is proposing to remove and replace underground fuel storage tanks and to demolish and replace related surface pavement. Little about existing surface conditions will change. More significantly as to site conditions is the proposed canopy over the fuel pumps.

The property is located in the newly created Residential Corridor district. Lot coverage and use allowances are significantly more generous than under the prior Residential – Low Density district.

Previous zoning actions for this property are noted below.

- 3/10/97, Denial of parking lot expansion
- 11/7/96, Denial of proposed storage shed
- 6/27/96, Approval of façade renovations to convenience store
- 6/10/93, Approval to change service station to convenience store & 2-space parking waiver
- 3/9/90, Approval to expand service station use
- 10/6/89, Denial of building and site renovation
- 8/19/89, Approval to replace underground storage tanks
- 8/14/75, Approval to install concrete and site lighting
- 6/4/74, Approval to install underground storage tank, resurface parking, & install fence
- 7/21/70, Approval to remodel the existing building
- 10/16/56, Approval to construct a service station with gasoline pumps

Article 4: Maps & Districts

Sec. 4.4.5, Residential Districts:

(a) Purpose

(1) Residential Corridor (RC)

This newly established district is primarily intended for mixed residential uses along major multi-modal transportation corridors such as North Avenue. A variety of neighborhood-service commercial uses are allowed. The existing convenience store is one such permitted use.

(Affirmative finding)

(b) Dimensional Standards & Density

No change to existing lot coverage is proposed.

This corner lot has two front yards and two side yards. As proposed, the support structure of the canopy complies with the minimum required 5' front yard setback. Some of the canopy overhang projects into this setback but is allowed per Sec. 5.2.5 (b) *Exceptions to Yard Setback*

Requirements. Minimum side yard setbacks are met at more than the 10% minimum required.

The proposed canopy is 18' tall. It is well within the allowable 50' height limit. **(Affirmative finding)**

(c) Permitted & Conditional Uses

No change in use is requested. The convenience store is a permitted use in the RC zone.

(Affirmative finding)

(d) District Specific Regulations

1. Additional Residential Development Permitted

(Not applicable)

2. Exceptions to Dimensional Standards

(Not applicable)

3. Exception for Neighborhood Commercial Uses

(Not applicable)

4. Miscellaneous Standards

(Not applicable)

(e) Effective Date

(Not applicable)

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

No lot coverage exceptions are sought. **(Not applicable)**

Sec. 5.2.5, Setbacks

As noted above, part of the canopy overhang projects into the front yard setback. This encroachment is permissible per subsection (b) of this criterion. **(Affirmative finding)**

Sec. 5.2.6, Building Height Limits

No exceptions to height limits are sought. **(Not applicable)**

Sec. 5.2.7, Density Calculations

Density is unaffected. **(Not applicable)**

Sec. 5.5.1, Nuisance Regulations

Nothing in the amendment appears to constitute a nuisance under this criterion. **(Affirmative finding)**

Sec. 5.5.2, Outdoor Lighting

The proposed canopy will be illuminated underneath. As required, a fixture cut sheet and a photometric plan have been provided. Six LED canopy light fixtures are proposed, and illumination levels average to 5.3 footcandles as depicted in the photometric plan. The fixture and illumination levels are acceptable. There is nothing to indicate the outer sides of the canopy will be illuminated. The applicable criteria for canopy illumination (subsection f, 3) require that the sides of the canopy (fascia) be opaque. Canopy illumination must be reduced by at least 50% one hour after the close of business. **(Affirmative finding as conditioned)**

Sec. 5.5.3, Stormwater and Erosion Control

An erosion prevention and sediment control (EPSC) plan is required for the earthwork associated with this project. A preliminary review by Water Resources has taken place. Final approval of the EPSC is needed by Water Resources prior to construction. **(Affirmative finding as conditioned)**

Article 6: Development Review Standards:

Part 1, Land Division Design Standards

Sec. 6.1.2, Review Standards

(Not applicable)

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

Virtually nothing about site conditions will change. Paved surfaces will remain or return to paved conditions following excavation. Site access and circulation remain unchanged. The canopy will be erected over the gasoline pumps in their existing location. The property is not included in the VT DEC Hazardous Sites List. Removal and replacement of the underground storage tanks is subject to VT DEC registration and permitting. **(Affirmative finding as conditioned)**

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

The proposed canopy is relatively small in scale and is appropriate as to the size of the area it will shelter. It will be placed so as to avoid any impacts to site circulation, and it will provide shelter to patrons refueling their vehicles. The canopy is an accessory site feature and does not adversely impact the existing convenience store building. Although not expressly included in this application, the drawings of the proposed canopy depict signage. The standards for convenience stores (Sec. 5.4.3) prohibit canopy signage. Revised project plans without canopy signage are needed. **(Affirmative finding as conditioned)**

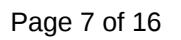
II. Conditions of Approval

1. Prior to release of the zoning permit:

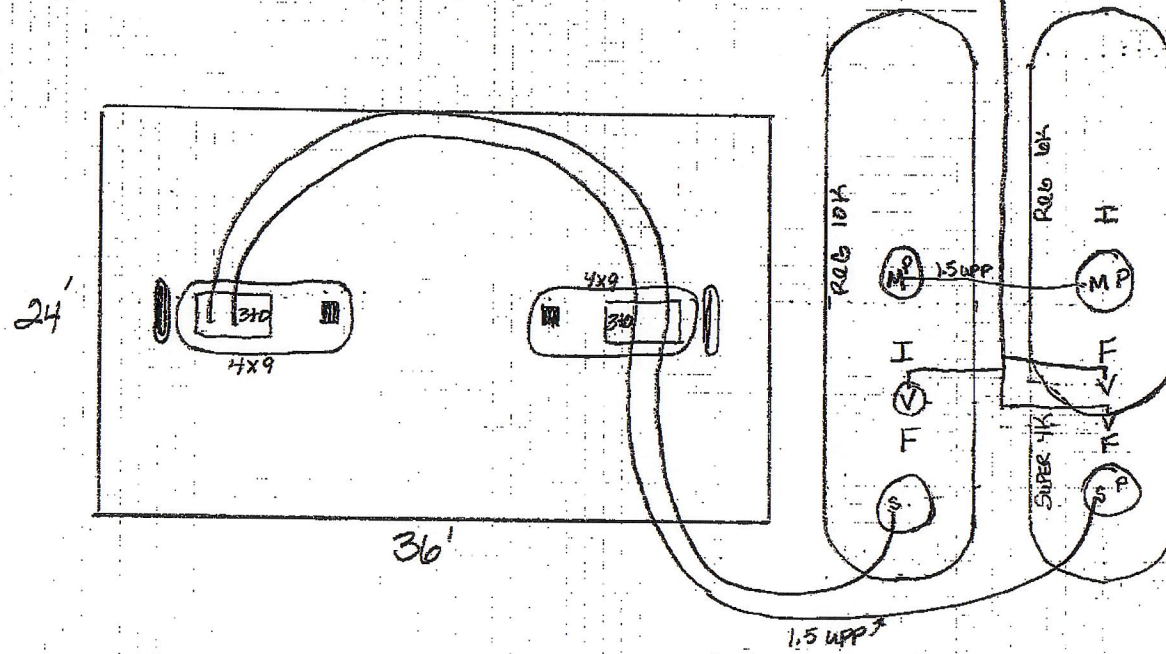
- a. The EPSC plan shall be reviewed and approved by the city's Water Resources Division; and,

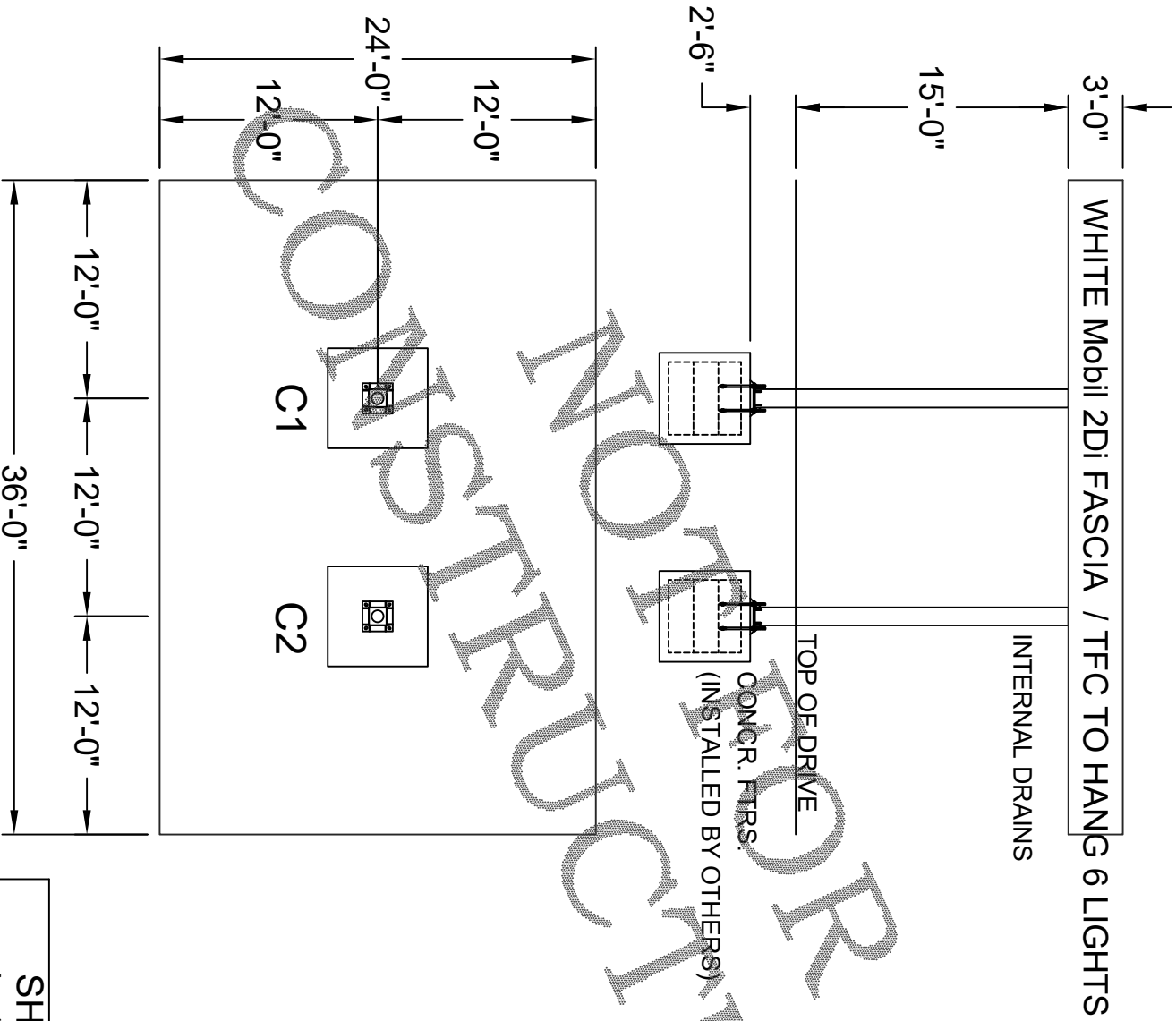
- b. Revised project plans without canopy signage shall be submitted, subject to staff review and approval
- 2. Canopy illumination levels shall be reduced by at least 50% within one hour of the close of business. The fascia of the canopy shall be opaque.
- 3. Underground storage tank removal and replacement is subject to registration and permitting with Vermont Department of Environmental Conservation.
- 4. It is the applicant's responsibility to comply with all applicable ADA requirements.
- 5. All new construction is required to meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.
- 6. Standard Conditions 1-15.

WILSON & WILSON
JUL 14 1964



1555 NORTH AVE
 BURLINGTON
STORE
 SBC NORTH AVE MOBIL
 FID# 1819





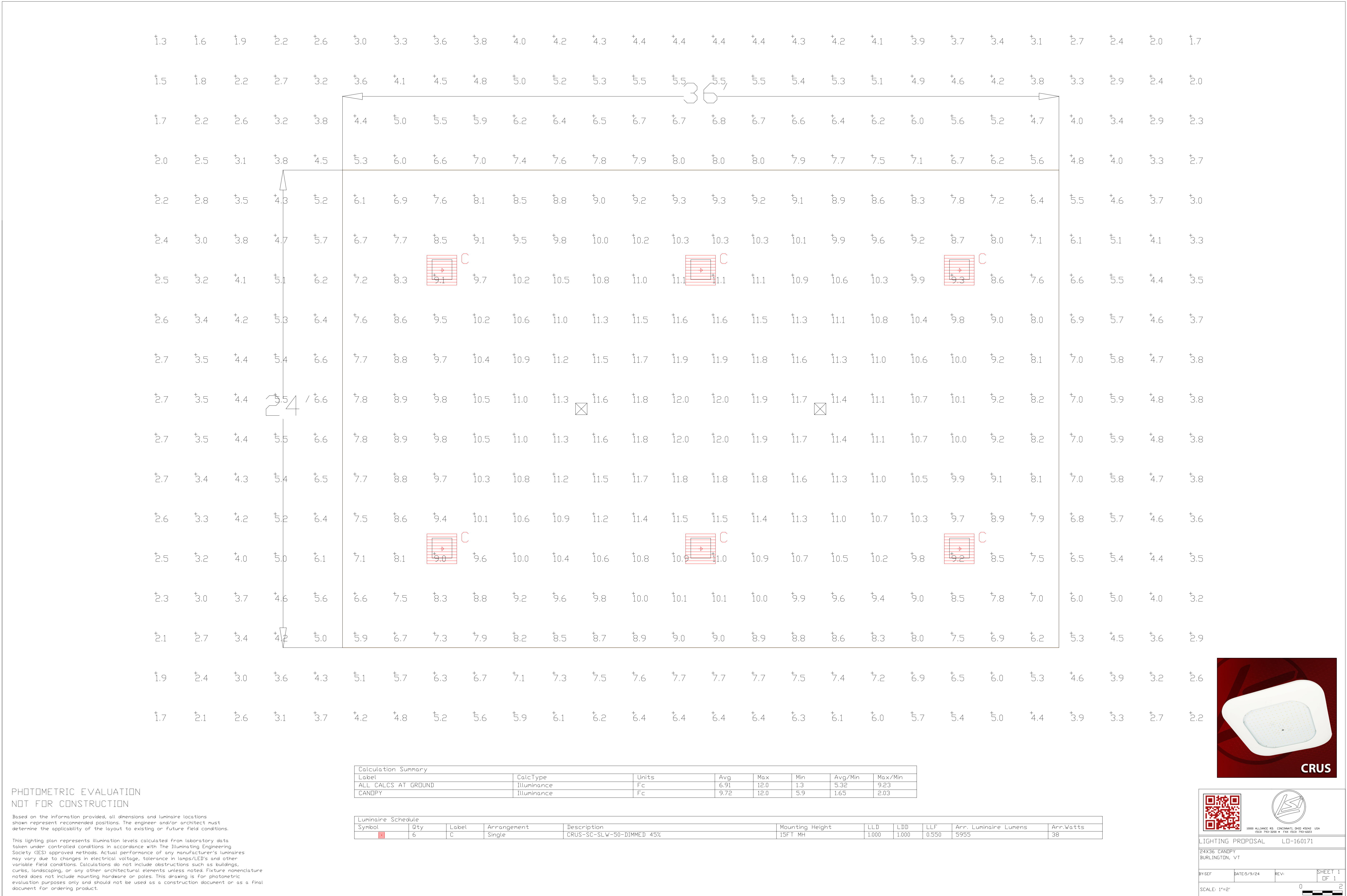
Quote Drawing
NOT TO BE USED FOR CONSTRUCTION
"SUBJECT TO CHANGE"

SHEET 1 OF 2

DATE: Apr-12-2024
JOB: Burlington, VT 24x36
JOB REF: N/A
CUST: John W. Kennedy Company
JOB LO: Burlington, VT



1107 NORTH TAYLOR RD.
GARRETT, IN 46738
FAX - (260) 357-6533
PHONE - (260) 357-6665



PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

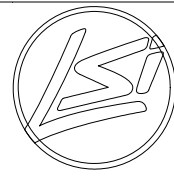
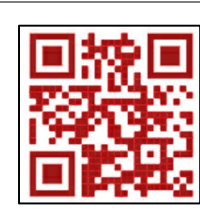
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Calculation Summary								
Label	Qty	Label	Arrangement	Description	Mounting Height	LLD	LDD	LLF
ALL CALCS AT GROUND		Illuminance				1.000	1.000	0.550
CANOPY		Illuminance				1.000	1.000	0.550

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LDD	LLF	Arr. Luminaire Lumens	Arr.Watts
	6	C	Single	CRUS-SC-SLW-50-DIMMED 45%	15FT MH	1.000	1.000	0.550	5955	38





10000 ALLIANCE RD. CINCINNATI, OHIO 45242 USA
(513) 793-3000 • FAX (513) 793-4003

LIGHTING PROPOSAL LD-160171

24X36 CANOPY
BURLINGTON, VT

BY:SEF DATE:9/9/24 REV: SHEET 1 OF 1

SCALE: 1"=2' 0 2

LED CANOPY LIGHT - LEGACY™ (CRUS)

Crossover®
LED LIGHTING TECHNOLOGY



DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

US & Int'l. patents pending.

HOUSING - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of Very Low Wattage (VLW), Low Wattage (LW) or Super Saver (SS).

OPTICS / DISTRIBUTION - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 7/8" profile die-cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

DRIVER - State-of-the-art driver technology superior energy efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.

DRIVER HOUSING - Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

LISTING - UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

Consult Factory

Class 1, Division 2 – Standard on SS & LW.

T5 Temperature Classification – The surface temperature of this product will not rise above 100°C., within a 40°C ambient.

Gas Groups A,B,C, and D – Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

This product, or selected versions of this product, meet the standards listed below.
Please consult factory for your specific requirements.



IP67



Project Name _____ Fixture Type _____
Catalog # _____

01/12/15
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LSI INDUSTRIES INC.

LED CANOPY LIGHT - LEGACY™ (CRUS)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRUS SC LED SS CW UE WHT**

Prefix	Distribution¹	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric AC - Aymmetric	LED	VLW - Very Low Watt LW - Low Watt SS - Super Saver	CW - Cool White	UE - Universal Voltage (120-277V) 347 - 480V	WHT - White BRZ - Bronze BLK - Black	None

FOOTNOTES:

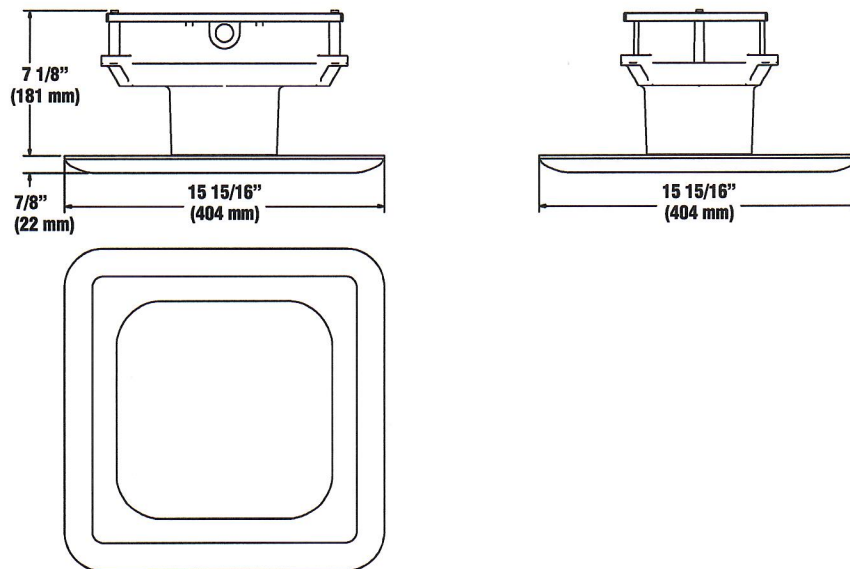
1- AC distribution utilizes a reflector which alters the look from a standard S distribution.

ACCESSORY ORDERING INFORMATION

(Accessories are field installed)

Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits) ¹	1320540
Retrofit Panels - ECTA / SCF to CRU, for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282		
Retrofit RIC Cover Panel Blank (no holes)	354702		

DIMENSIONS



LIGHT OUTPUT - CRUS

		Lumens		Watts		LPW	
		SC	AC	SC	AC	SC	AC
Cool White	VLW - Very Low Watt	8,842	—	79	—	112	—
	LW - Low Watt	10,871	8746	88	83	124	105
	SS - Super Saver	13,554	11,518	114	111	119	104

1555 NORTH AVE, BURLINGTON VT
UST GRAVE AREA



1555 NORTH AVE, BURLINGTON VT
UST GRAVE AREA



1555 NORTH AVE, BURLINGTON VT
CANOPY TO BE ERECTED DIRECTLY
ABOVE DISPENSERS



CANOPY TO BE ERECTED DIRECTLY
OVER THE FUEL DISPENSERS
1555 NORTH AVE, BURLINGTON VT

