

Burlington Design Advisory Board
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DAB
Phone: (802) 865-7188

Ron Wanamaker
Emily Morse
Richard Martin
Gabriel Stadecker
Jay White
Joel Baird, Alt
Kathleen Ryan, Alt



Design Advisory Board

Tuesday, May 14, 2024, 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

Zoom: <https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137

Passcode: 796731

Telephone: US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

1. Agenda

1.1.

Session I – 3:00 PM – 3:30 PM

**ZP-24-87; 63 Lakeview Terrace (RM, Ward 2) Barbara Zucker / Louis Lionni / Joe Fisher
Proposed two-story addition with basement and elevator. (Project Manager, Scott Gustin)**

2. Minutes

2.1. Minutes of May 14, 2024.

3. Adjournment

4. Informational and Non-Discrimination Statements

4.1.

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Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Permitting Technician
Steve Cormier, Code Compliance Officer
Ted Boylan, DPI Administrator



MEMORANDUM

To: Design Advisory Board
From: Scott Gustin
Re: 63 Lakeview Terrace
Date: May 14, 2024

File: ZP-24-87

Location: 63 Lakeview Terrace

Zone: RM **Ward:** 2

Parking District: Neighborhood

Date application accepted: March 18, 2024, Complete April 15, 2024

Applicant/ Owner: Joe Fisher / Barbara Zucker & Louis Lionni

Request: Proposed 2-story rear addition to existing single family home.

Overview:

The applicants are seeking approval to construct an addition behind their existing home. There are a number of listed or surveyed historic properties along Lakeview Terrace; however, the subject property is not one of them. The size of the addition is large enough to require Board review and approval. The residence is a single family home with a detached accessory dwelling unit and sits along the western side of Lakeview Terrace. Many of the homes in this neighborhood have been expanded with additions over the years.

Article 6: Development Review Standards

Part 1, Land Division Design Standards

Not applicable

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

There are no significant natural features as identified in the natural resources overlay district within the property.

(b) Topographical alterations

The lot is essentially flat and will remain so. Beyond the rear property line to the west, the embankment slopes down steeply towards the downtown waterfront.

(c) Protection of important public views

There are no dedicated public viewpoints from, or through, the subject property.

(d) Protection of important cultural resources

The property is not listed on a state or national register of historic places, nor is it known to be an important archeological site.

(e) Supporting the use of alternative energy

The elevation plans include notation that the addition roof will be constructed to support a future solar array. The property appears to be well situated for solar energy capture, and installation of such array is encouraged.

(f) Brownfield sites

The subject property is not an identified brownfield.

(g) Provide for nature's events

The proposed addition will involve more than 400 sf of earthwork and will result in more than 2,500 sf total impervious area. Therefore, an erosion prevention and sediment control plan for construction and a residential stormwater management plan for post-construction will be required. Both are subject to review and approval by the city's stormwater management program.

(h) Building location and orientation

The existing home is oriented towards the street, set close to the sidewalk with an enclosed front porch and sheltered front entry. No change to the existing location or orientation are proposed. The addition is appropriately located behind the existing home. It is tucked in on the sides and is shorter than the existing structure with limited effect on the streetscape.

(i) Vehicular access

Vehicular access remains unchanged in the existing private driveway.

(j) Pedestrian access

The existing front entry connects to the public sidewalk by way of a private walkway that connects to the top of the driveway where the sidewalk crosses. The walkway will be reconstructed but will retain this connectivity.

(k) Accessibility for the handicapped

Handicapped accessibility is not required; however, the addition will include accessibility features such as a wheelchair route and elevator.

(l) Parking and circulation

Parking and circulation are unchanged. Two vehicles may park in tandem in the single-width driveway.

(m) Landscaping, fences, and retaining walls

Some existing vegetation proximate to construction activity will be removed and appears to consist largely of previous landscaping installations. Additional detail as to vegetation removal

and new vegetation installation would be helpful to better understand the existing and proposed landscaping plans.

A section of existing fence along the northerly property line will be removed and replaced in-kind. No changes to the existing retaining wall at the property's western edge are noted.

(n) Public plazas and open space

Not applicable.

(o) Outdoor lighting

New outdoor lighting is included in this application. Some fixture information is provided in the project details that depict a canister fixture and a step light. No illumination information is evident, nor is fixture location shown. The fixtures are likely acceptable; however, lumen information is needed to determine compliance with Sec. 5.5.2, *Outdoor Lighting*, and fixture locations need to be depicted on the project plans.

(p) Integrate infrastructure into the design

An HVAC unit is proposed along the northerly side of the addition and is screened by nearby fencing. No additional ground-mounted infrastructure is included in the project.

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

Massing and scale of the home as perceived from the street is little changed. As noted previously, the addition is located behind the existing building and is set in along the sides and is shorter than the existing structure. While joined together as one building, the original and new clearly read as separate and unique. There is no confusing what is new versus original. The addition is largely uniform as compared to the original structure. Unsurprisingly, there is ample glazing and open sitting areas on the western elevation. As expanded, the home remains within the scale of homes in the Lakeview Terrace neighborhood.

Roofs and Rooflines

The addition includes a flat roof. While unusual for a single family home, it appropriately relates to the overall design of the new addition.

2. Building Openings

As with the rest of the addition, proposed fenestration is a departure from that in the original home. Both side elevations include large windows screened behind the siding battens. As noted above, the western elevation contains ample glazing to take advantage of expansive views across the downtown waterfront and beyond. The proposed fenestration appropriately contributes to the design of the addition.

(b) Protection of important architectural resources

The existing home is not included in an historic register, nor apparently has it been surveyed for inclusion.

(c) Protection of important public views

See Sec. 6.2.2 above.

(d) Provide an active and inviting street edge

As noted above, the street edge will be little changed by the proposed rear addition.

(e) Quality of materials

High quality materials are proposed and include cedar board-and-batten siding, clad wooden triple glazed windows, fluid-applied roofing, and hardwood decking.

(f) Reduce energy utilization

The proposed addition must comply with current energy efficiency standards.

(g) Make advertising features complimentary to the site

Not applicable.

(h) Integrate infrastructure into the building design

The addition will make use of existing utilities serving the property. No roof-top equipment is evident. Two exposed downspouts are located along the northern elevation and will be painted to match the siding.

(i) Make spaces safe and secure

The proposed building must comply with the city's current egress requirements. As noted previously, locations of outdoor lighting fixtures must be depicted on project plans.

RECOMMENDED MOTION:

Approve the project as conditioned and forward to the Development Review Board with the following conditions.

1. Provide additional detail as to vegetation removal and new vegetation installation, including the extent of vegetation to be removed and species and size of new plantings.
2. Provide outdoor lighting fixture locations and lumen levels.



3104 HUNTINGTON ROAD
RICHMOND, VERMONT
802.434.2112
WWW.BIRDSEYEV.T.COM

LIONNI-ZUCKER RESIDENCE
63 LAKEVIEW TERRACE
BURLINGTON, VT

SHEET	TITLE	05.01.2024
G-000	TITLE SHEET	X
G-005	ARCHITECTURAL SITE PLAN	X
C1.0	EXISTING CONDITIONS PLAN	X
A-200	EXTERIOR ELEVATIONS	X
A-201	EXTERIOR ELEVATIONS	X

LIONNI-ZUCKER RESIDENCE

63 LAKEVIEW TERRACE
BURLINGTON, VT 05401

ZONING PERMIT
1 MAY, 2024

ARCHITECT
BIRDSEYE
3104 HUNTINGTON RD
RICHMOND, VT 05477
802.434.2112

STRUCTURAL ENGINEER
ARTISAN ENGINEERING
120 GRAHAM WAY
SHELburne, VT 05482
802.497.3531

SURVEYOR
CIVIL ENGINEERING ASSOC. INC.
10 MANSFIELD VIEW LN
SOUTH BURLINGTON, VT 05403
802.864.2323

GENERAL CONTRACTOR
RED HOUSE BUILDING
PO BOX 296
BURLINGTON, VT
802.655.0009

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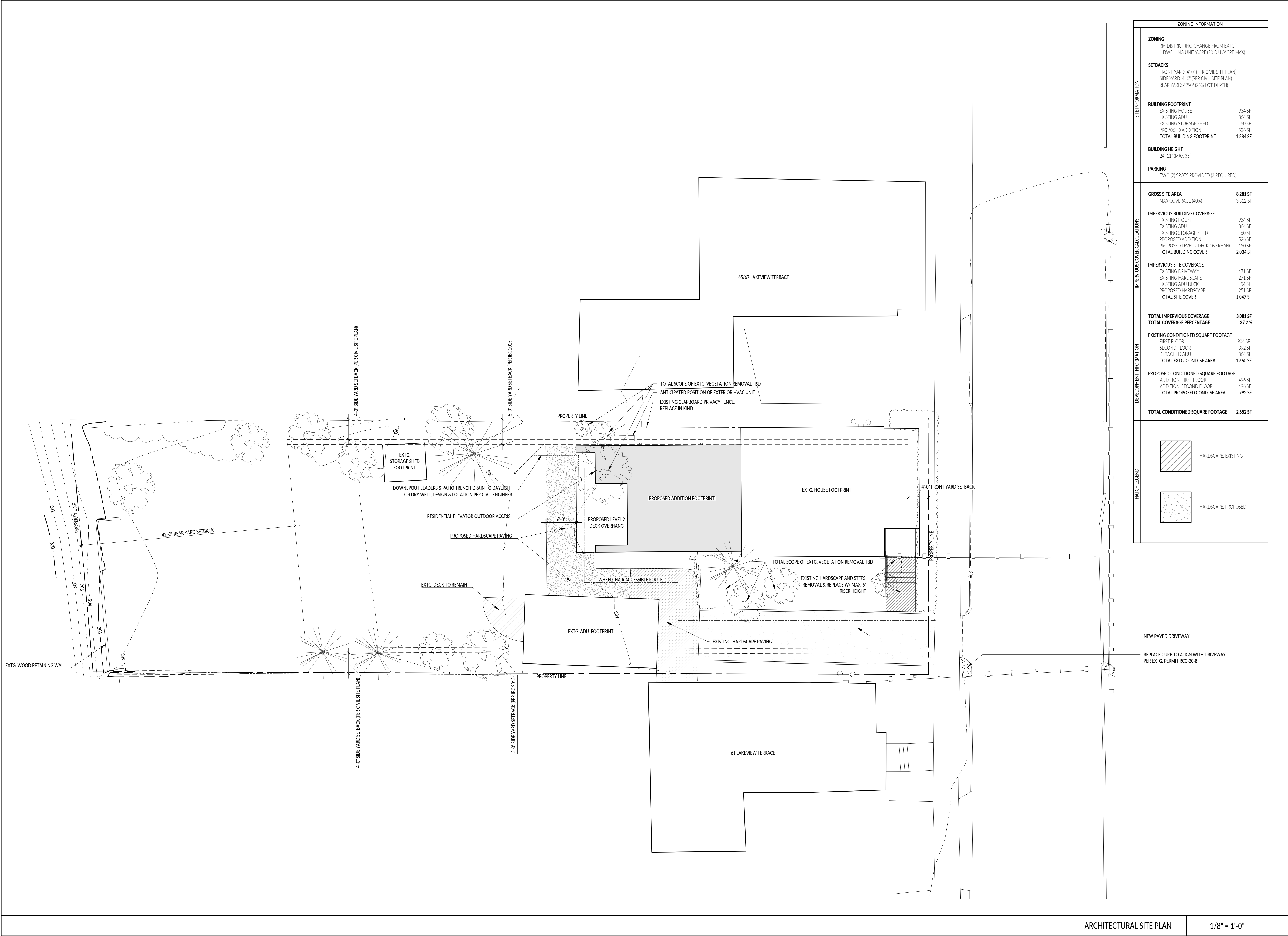
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Title
TITLE SHEET

Sheet Number
G000

DRAWING INDEX

PROJECT TEAM



3104 HUNTINGTON ROAD
RICHMOND, VERMONT
802.434.2112
WWW.BIRDSEYEV.T.COM

LIONNI-ZUCKER RESIDENCE

63 LAKEVIEW TERRACE
BURLINGTON, VT

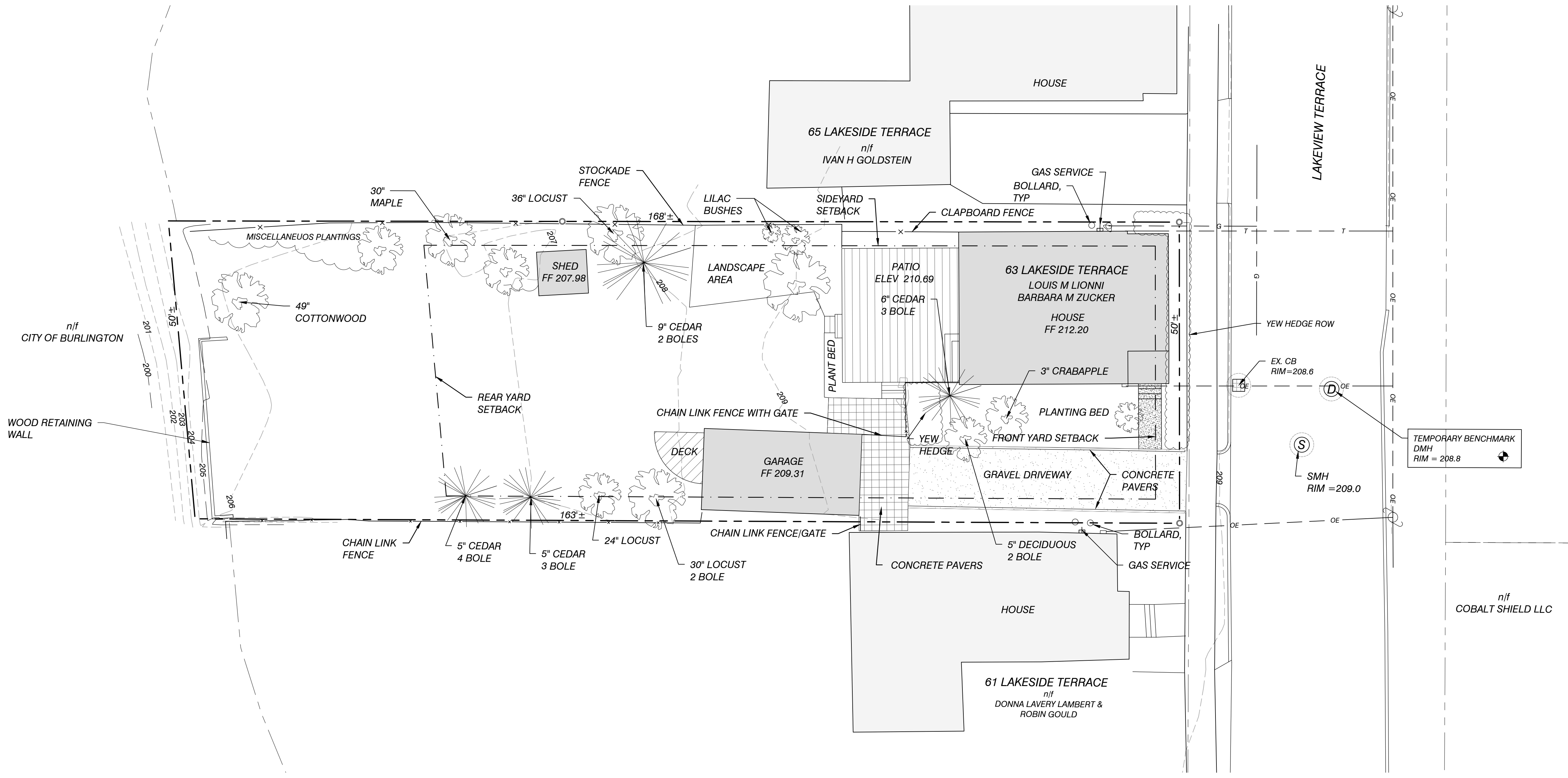
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Title
ARCHITECTURAL SITE PLAN

Sheet Number

G005



- NOTES**
- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
 - THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE.
 - PROPERTY LINE INFORMATION IS APPROXIMATE AND BASED ON EXISTING TAX MAP INFORMATION, INFORMATION ABSTRACTED FROM THE CITY OF BURLINGTON LAND RECORDS AND MONUMENTS LOCATED ON SITE. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE. MONUMENTATION RECOVERED IS CONSISTENT WITH RECORDED DOCUMENTS.
 - SITE INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY CIVIL ENGINEERING ASSOCIATES, INC JULY 2022. CIVIL ENGINEERING ASSOCIATES, INC. SURVEY ORIENTATION IS "GRID NORTH", VERMONT COORDINATE SYSTEM OF 1983 (HORIZONTAL) AND NAVD88 (VERTICAL) ESTABLISHED FROM GPS OBSERVATIONS ON SITE.

ZONING DISTRICT: RM - RESIDENTIAL MEDIUM

CATEGORY	ZONING REGULATIONS	EXISTING
LOT SIZE	20,000 S.F.	8,281 S.F. ±
COVERAGE		
BUILDING COVERAGE	40%	30.7%
SETBACK - BUILDING & PARKING		
FRONT YARD	*	4'
SIDE YARD	**	4'
REAR YARD	***	42'
BUILDING HEIGHT	35'	

* FRONT YARD - AVERAGE OF 2 ADJACENT LOTS ON BOTH SIDES ± 5'
** SIDE YARD - AVERAGE SIDE YARD SETBACK OF 2 ADJACENT LOTS ON BOTH SIDES
*** REAR YARD - 25% OF LOT DEPTH BUT IN NO EVENT LESS THAN 20'

LEGEND

- APPROXIMATE PROPERTY LINE
- APPROXIMATE SETBACK LINE
- EXISTING CONTOUR
- EXISTING CURB
- EXISTING FENCE
- EXISTING GRAVEL
- EXISTING PAVEMENT
- EXISTING OVERHEAD UTILITY/ELECTRIC
- EXISTING OVERHEAD TELEPHONE
- EXISTING GAS
- EXISTING SEWER MANHOLE
- EXISTING STORM MANHOLE
- EXISTING UTILITY POLE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EDGE OF BRUSH/WOODS
- IRON ROD/PIPE FOUND
- PROJECT BENCHMARK

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

SITE ENGINEER:

CIVIL ENGINEERING ASSOCIATES, INC.
10 MANSFIELD VIEW LANE, SOUTH BURLINGTON, VT 05403
P: 802-864-2323 FAX: 802-864-2271 web: www.cea-vt.com

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DRAWN
AN

CHECKED
JLM

APPROVED
DSM

CLIENT:

**TRUEX CULLINS
ARCHITECTURE**

209 BATTERY ST
BURLINGTON VERMONT
05401

PROJECT:

**LOUIS M LIONNI
BARBARA M ZUCKER**

63 LAKEVIEW TERRACE
BURLINGTON, VT

CITY OF BURLINGTON

PROJECT LOCATION

BURLINGTON BAY

PEARL STREET

LOCATION MAP

1" = 1000'

DATE	CHECKED	REVISION

**EXISTING
CONDITIONS
PLAN**

DATE JULY 2022	DRAWING NUMBER C1.0
SCALE 1" = 10'	PROJ. NO. 22188

P:\AutoCAD Projects\2022\22188-10m\11_CADD Files\dwg\22188-Site.dwg 12/15/2022 12:52:22 PM DWG To PDF.pc3

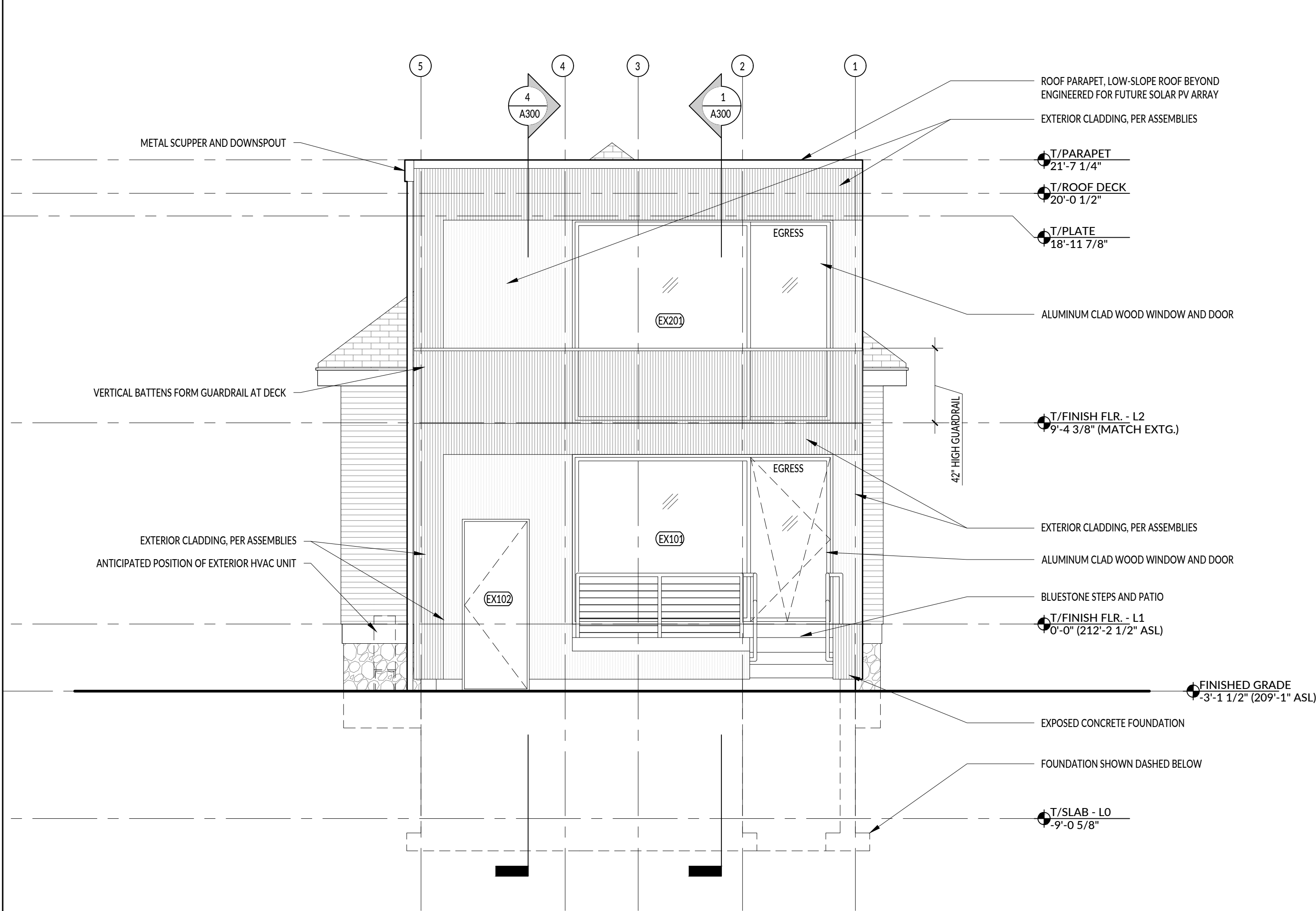
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BURLINGTON, VT

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Title
EXTERIOR ELEVATIONS
Sheet Number

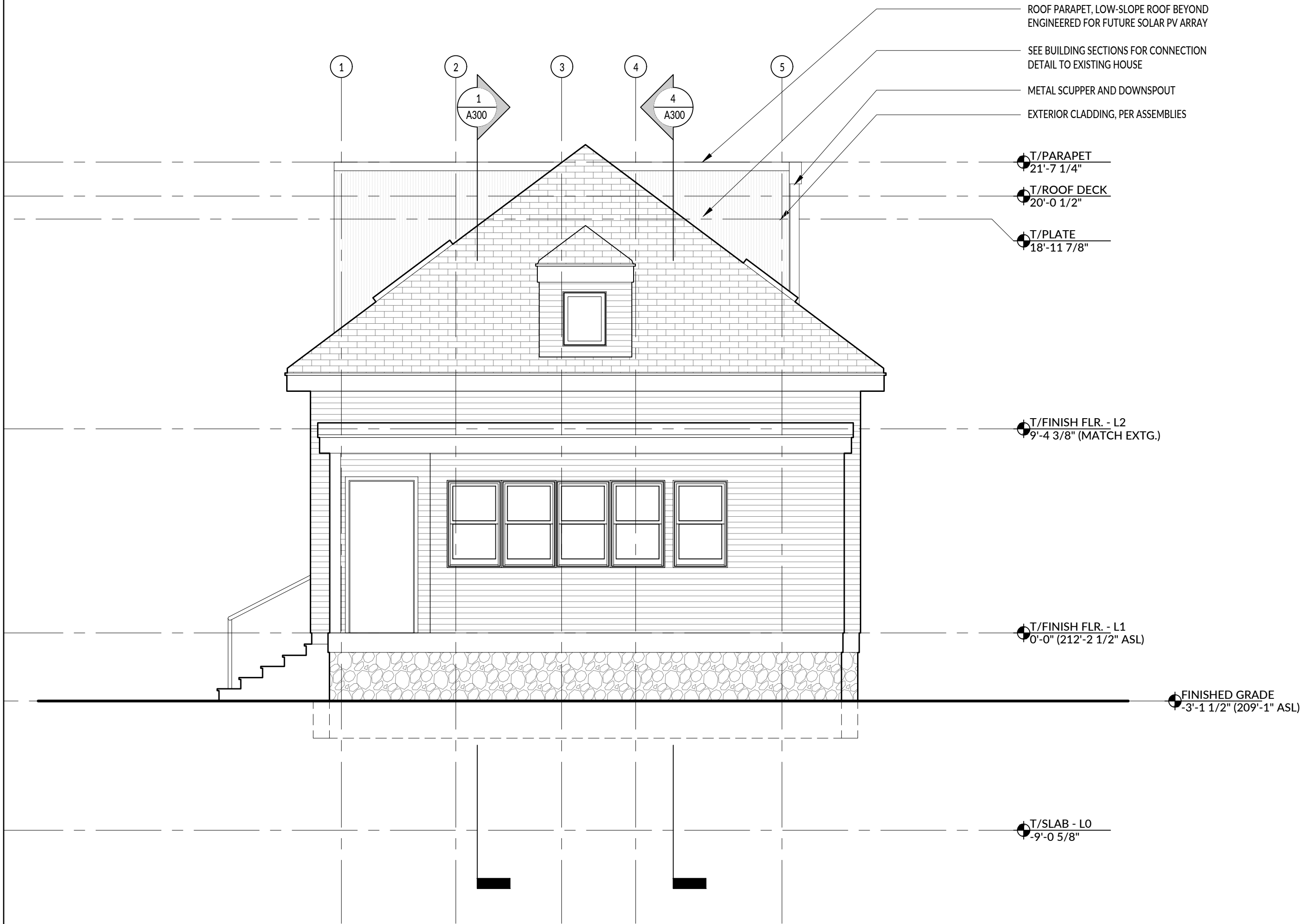
A200



WEST ELEVATION

1/4" = 1'-0"

2



EAST ELEVATION

1/4" = 1'-0"

1

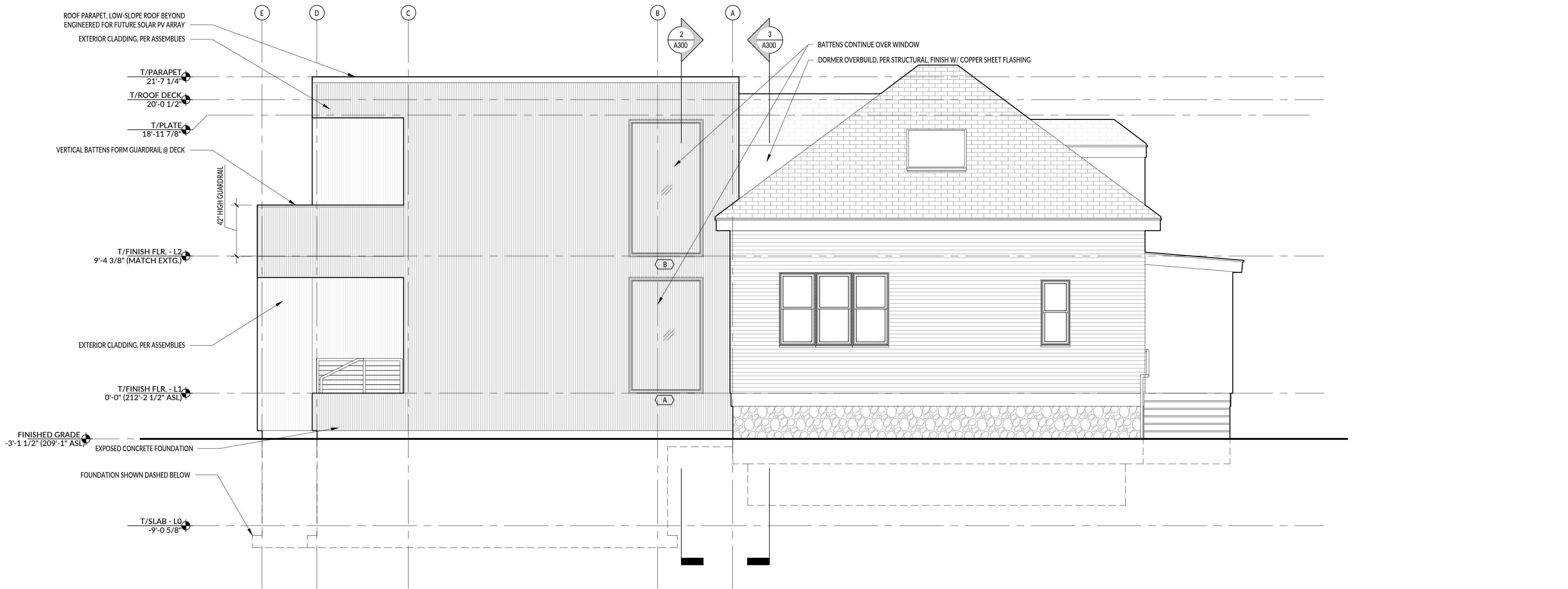
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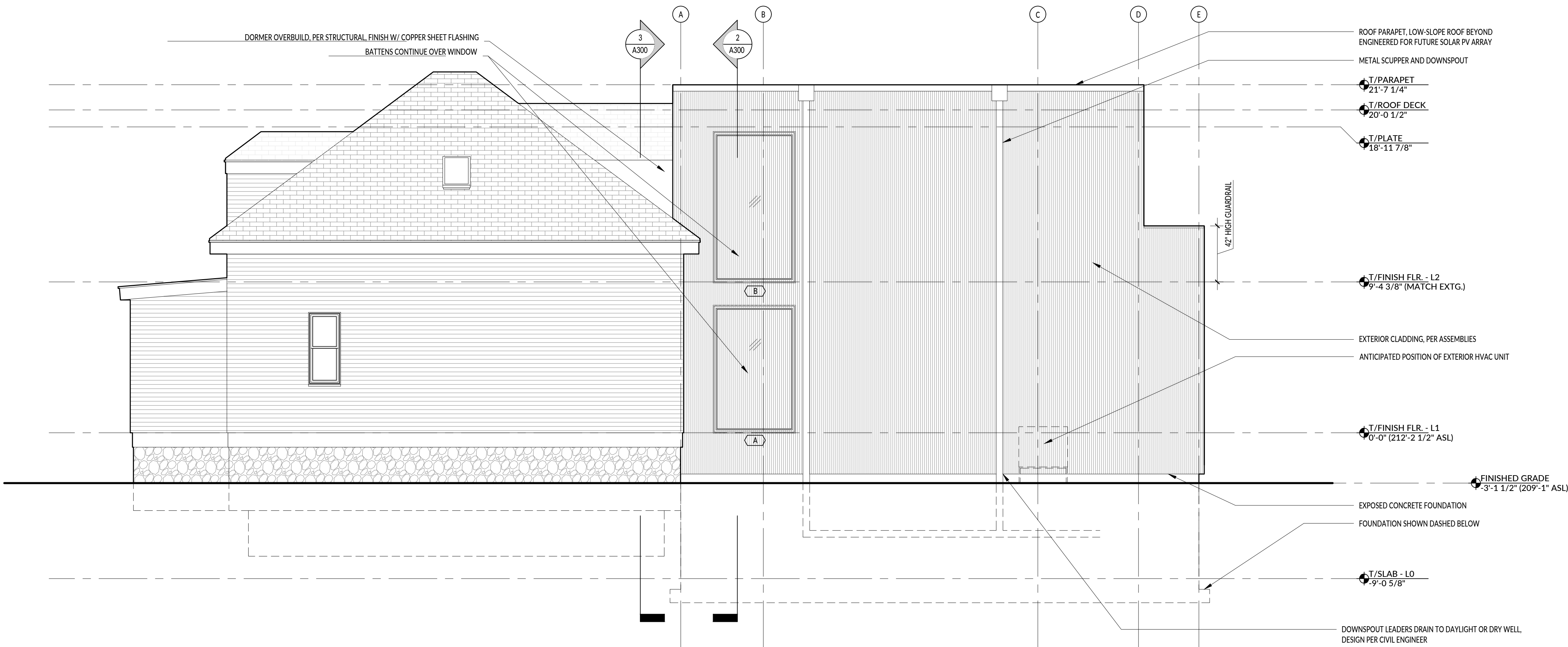
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Title
EXTERIOR ELEVATIONS
Sheet Number

A201



SOUTH ELEVATION 1/4" = 1'-0" 2



NORTH ELEVATION 1/4" = 1'-0" 1

63 LAKEVIEW TERRACE – PROJECT SPECIFICATIONS & PHOTOS

1 MAY, 2024

EXTERIOR WINDOWS AND DOORS

- M-Sora aluminum-clad wood windows and lift-slide doors, triple-glazed.
- Window A: 5'-1 ½" Wide x 8'-0" Tall – (2) total.
- Window B: 5'-1 ½" Wide x 9'-6" Tall – (2) total.
- Door EX101: 12'-3" Wide x 8'-0" Tall – (1) total.
- Door EX201: 12'-3" Wide x 9'-6" Tall – (1) total.





HARDSCAPE PAVERS

- Bluestone paving stones.



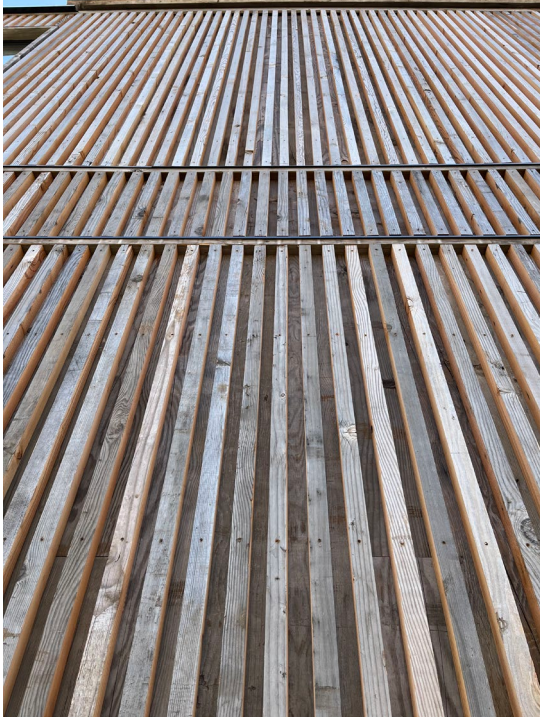
WOOD DECKING

- Hardwood decking.



EXTERIOR SIDING

- Material: Western red cedar board and batten siding.



- Finish: Dark stain with clear seal.





ROOFING

- Flat Roof: Acrylabs fluid-applied roofing (not visible due to parapet).
- Sloped Roof: Slate shingles (matching existing roof of house).



- Drainage Crickets: Copper sheet flashing.





EXTERIOR LIGHT FIXTURES

- Recessed Lights: Alphabet Lighting NU3RD Pro.
- Note: Installed units will be specified with black trim.



- Step Lights: Lucifer Lighting ISL1 Impact Steplight.





EXTERIOR PHOTO: WEST ELEVATION - EXISTING CONDITIONS



RENDERING: WEST ELEVATION

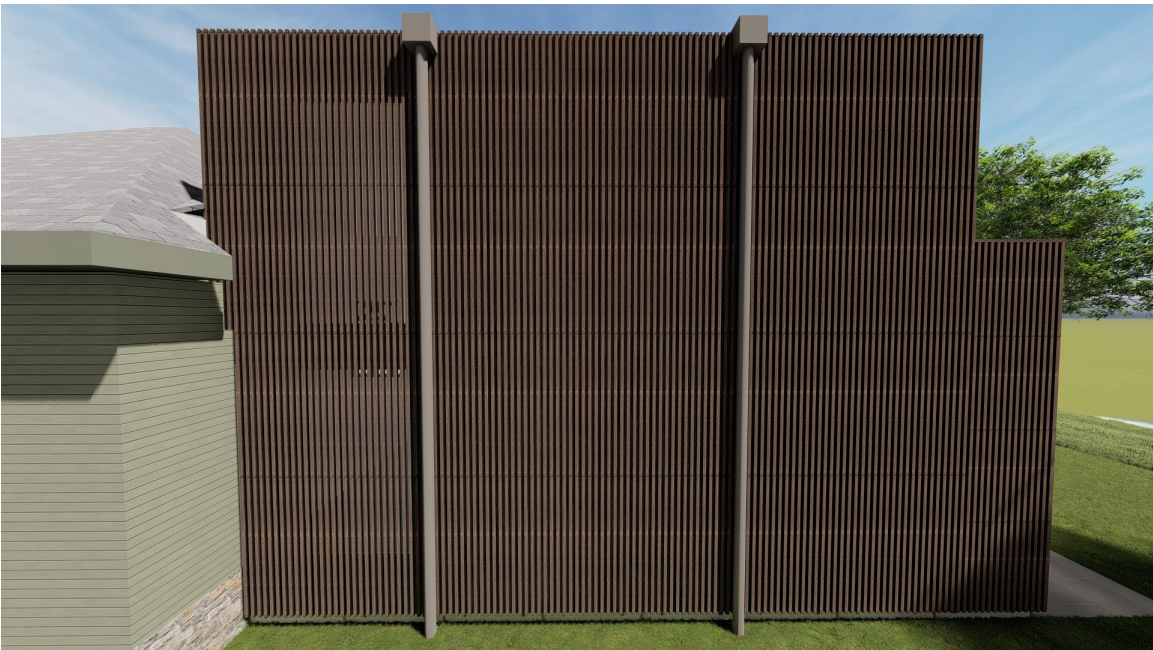




RENDERING: SOUTH ELEVATION



RENDERING: NORTH ELEVATION



Raiffeisen Kärnten,
IBAN: AT 5939 0000 0001 028208
BLZ: 39000
BIC: RZKTAT2K

Custom Fenestration Limited
65 Birkirkara Hill
STJ 1143 St. Julians, Malta

Identification No. for VAT: MT 26318612

Project: SL-ŽI-2024-00423 **Offer: P2402357**
Date: 26.4.2024

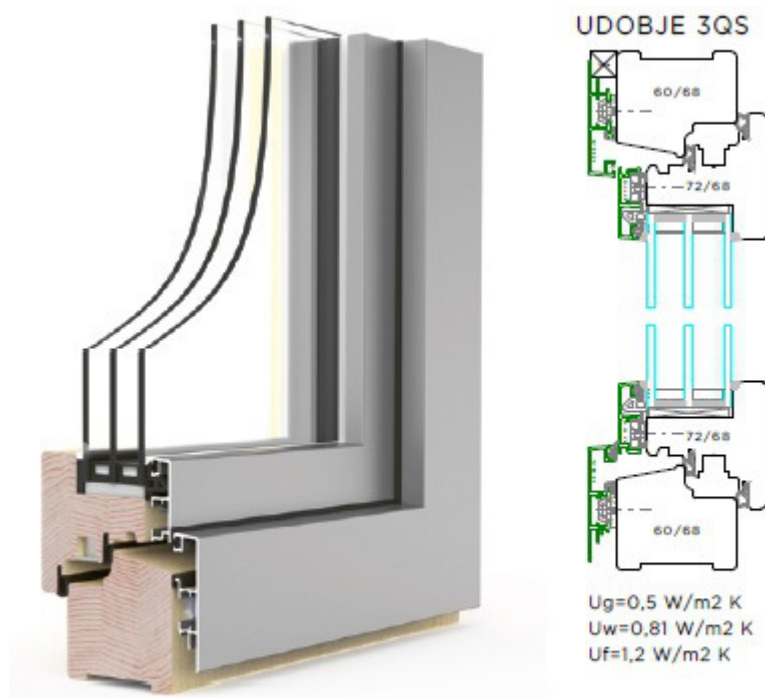
Dear Sirs!

Thank you for your inquiry of our products. Enclosed we send you offer for windows, **P2402357.**

Prices are based on the description of your project positions. **Lionni-Zucker Residence**

Any deviations from the estimated quote are charged separately.

Made by our details;



type: m sora "**COMFORT_3QS**" - alu/wood window

glass: termopan by the description of the position in the offer

Up to 850m of sea level - without preasure valves in the glass; with safety glass (tempered); TGI black spacer and SKN154 (g=0,26, LT=0,47)

surface treatment of the wood: final water glaze by M SORA scale, no.: **M Sora spruce RAL__**

=====

colour of alu-coating: from price group 1, by our proposal RAL no.:

(RAL 1013, 5014, 6005, 7001, 7015, 7016, 7035, 7040, 7047, 8001, 8003, 8007, 8014, 8017, 8019, 9004, 9005, 9006, 9007, 9016)

(BIANCA 03; SILVA 01, 03, 05; NERA 03; AZZURA 01, 05; ROSSA 01; TERRA 01, 02, 03, 05, 07; VERDA 05)

(GS Epsilon, GS Zeta, GS Gamma, RAL 7016 Feinstruktur, DB 703 Feinstruktur, RAL 8017 Feinstruktur)

-with welded corners on alu

silicon: transparent- colourless

hinges: ROTO NT

rubber gasket: by detail (grey/brown)

handle: by the offer, not in the price of the window

Your consultant: **John Thompson**

For any further information, please contact us: , cell-phone
or our e-mail

The view of the informative sketches of the windows on the offer are viewed from the inside! Doors are viewed from outside. All dimensions are production dimensions.

Advisory notice to all our valued customers.

Given the erratic product price rises that are happening globally, driven by increasing energy costs, material costs and availability, we must advise all of our customers, current and future, that we have no choice but to publish the following directive given to us by our supplying production facilities.

Until further notice:

All quotes are subject to revision after 10 days.

While we will make every effort hold production schedule space on receipt of a deposit, this deposit, in itself, is not adequate to guarantee pricing provided at time of deposit.

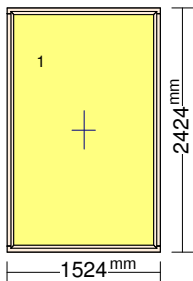
Pricing can only be confirmed with the receipt of fully signed and agreed set of shop drawings. Receipt of shop revisions titled "Approved as Noted" or "Approved as redlined" or similar will not suffice.

Final factory provided shops must have been reviewed, confirmed, signed & dated. Only then can they be considered a fully approved order.

If these approvals are received within 10 days of the latest price quotation, then we will honour that price, with appropriate allowances for changes made

Position of plan: A

Position: 1 2 piece



COMFORT 3QS fix window FIB

Measure: 1524 / 2424

Wood: spruce

Surface treatment: * f. RAL

Colour of alu parts: RAL ____ premium matt

Fittings / opening: F fixed

Glazing / filling:

1.1 6/18/6/18/6 Ug=0.50 W/m2K Outside: ESG SKN=

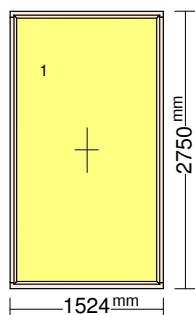
6mm Middle: ESG=6mm Inside: ESG Low-e=6mm

wrapping element and placement of paper brackets

welded aluminum frame corners

Position of plan: B

Position: 2 2 piece



COMFORT 3QS fix window FIB

Measure: 1524 / 2750

Wood: spruce

Surface treatment: * f. RAL

Colour of alu parts: RAL ____ premium matt

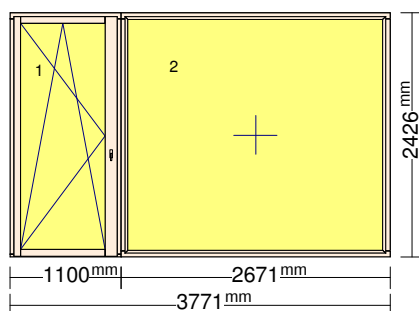
Fittings / opening: F fixed

Glazing / filling:

1.1 6/18/6/18/6 Ug=0.50 W/m2K Outside: ESG SKN=6mm Middle: ESG=6mm Inside: ESG Low-e=6mm wrapping element and placement of paper brackets welded aluminum frame corners

Position of plan: EX 101

Position: 3 1 piece



COMFORT 3QS assembly of separate types

Measure: 3771 / 2426

enokriken balkon DK, fiksno okno FIB

Wood: spruce / fir

Surface treatment: * f. RAL

Colour of alu parts: RAL ____ premium matt

Fittings / opening: DK left, F fixed

Glazing / filling:

1.1 6/18/4/18/4 Ug=0.50 W/m2K Outside: ESG Low-e=6mm Middle: ESG=4mm Inside: ESG Low-e=4mm

2.1 6/18/6/18/6 Ug=0.50 W/m2K Outside: ESG Low-e=6mm Middle: ESG=6mm Inside: ESG Low-e=6mm

Low threshold (alu, pvc) up to 35mm

Height to the final floor elevation: 2428mm

wrapping element and placement of paper brackets

welded aluminum frame corners

hardware for transitional handle and locking on ALU/WOOD

transitional handle Toulon F9

cylindric safety inserted piece PZ3K-thumb/key

system on the same key PZ

total 5 keys

in 2 pieces

special packing

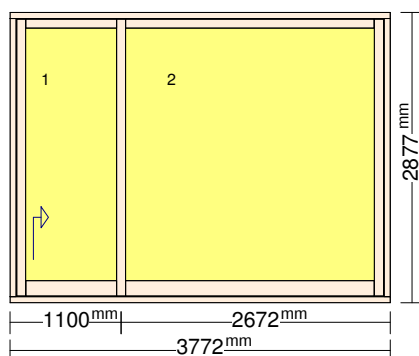
Swing insect screen

- Angle of cutting 45°

- coloring by RAL scale

Position of plan: EX 201

Position: 4 1 piece



COMFORT 3Q sliding wall HS Schema A

Measure: 3772 / 2877

Wood: spruce / fir

Surface treatment: * f. RAL

Colour of alu parts: RAL ____ premium matt

Fittings / opening: Sliding left, FF fixed

Glazing / filling:

1.1 6/16/6/16/6 Ug=0.60 W/m2K Outside: ESG SKN=6mm Middle: ESG=6mm Inside: ESG Low-e=6mm

2.1 6/16/6/16/6 Ug=0.60 W/m2K Outside: ESG SKN=6mm Middle: ESG=6mm Inside: ESG Low-e=6mm

Height to the final floor elevation: 2877mm + 65mm in the flooring

wrapping element and placement of paper brackets

handle of GU wall Toulon F9

welded aluminum frame corners on wings

Sliding door insect screen

Burlington Design Advisory Board

Department of Permitting and Inspections

645 Pine Street

Burlington, VT 05401

<http://www.burlingtonvt.gov/DPI/Boards/Design-Advisory-Board/>

Telephone: (802) 865-7188

Ron Wanamaker
Emily Morse
Ricky Martin
Gabriel Stadecker
Jay White
Kathleen Ryan, Alternate
Vacant, Alternate



DESIGN ADVISORY BOARD Tuesday May 14, 2024 3:00 PM

Minutes

Present: Ricky Martin, Ron Wanamaker, Jay White, Gabe Stadecker

Staff present: Scott Gustin, Mary O'Neil

Guests: Sharron Bushor

Agenda

Session I – 3:00 PM – 3:30 PM

ZP-24-87; 63 Lakeview Tr (RM, Ward 2) Barbara Zucker, Louis Lionni, Joe Fisher
Proposed 2-story addition with basement and elevator. (Project Manager, Scott Gustin)

Motion by Jay White to recommend approval of the application as proposed.

2nd Ricky Martin

Vote: 4-0

Motion Carries

Adjournment 3:30 PM