

Burlington Design Advisory Board
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/DPI/DAB
Phone: (802) 865-7188

Ron Wanamaker
Emily Morse
Richard Martin
Gabriel Stadecker
Jay White
Joel Baird, Alt
Kathleen Ryan, Alt



Design Advisory Board

Tuesday, April 23, 2024, 3:00 PM

Remote and In Person (at 645 Pine Street) Meeting

Please click the link below to join the webinar:

Zoom: <https://us02web.zoom.us/j/87155655137?pwd=ZEdGaGhxeFpRNDJQcFJrNWkvb1Vudz09>

Webinar ID: 871 5565 5137

Passcode: 796731

Telephone: US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

1. Agenda

1.1.

Session I – 3:00 PM – 3:30 PM

**ZP-24-60; 58 Charlotte Street (RM, Ward 5) Stephen Hard / Eric Belliveau
Proposed renovation with addition to rear of existing structure. (Project Manager, Garret King)**

1.2.

Session II – 3:30 PM – 4:00 PM

**ZP-24-69; 23 Weston Street (RM, Ward 1) Jesse Robbins
Proposed demolition and replacement of existing wraparound porch. (Project Manager, Scott Gustin)**

2. Informational and Non-Discrimination Statements

2.1.

The programs and services of the City of Burlington are accessible to people with disabilities. Individuals who require special arrangements to participate are encouraged to contact the Department of Permitting & Inspections at least 72 hours in advance so that proper accommodations can be arranged. For information call 865-7188.

Non-Discrimination

The City of Burlington will not tolerate unlawful harassment or discrimination on the basis of political or religious affiliation, race, color, national origin, place of birth, ancestry, age, sex, sexual orientation, gender identity, marital status, veteran status, disability, HIV positive status, crime victim status or genetic information. The City is also committed to providing proper access to services, facilities, and employment opportunities. For accessibility information or alternative formats, please contact Human Resources Department at (802) 540-2505.

3. Adjournment

Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Permitting Technician
Steve Cormier, Code Compliance Officer
Ted Boylan, DPI Administrator



MEMORANDUM

To: Design Advisory Board
From: Garret King
Re: 58 Charlotte Street
Date: April 23, 2024

File: ZP-24-60

Location: 58 Charlotte Street

Zone: RM **Ward:** 5

Parking District: Neighborhood

Date application accepted: February 21, Complete February 22, 2024

Applicant/ Owner: Eric Belliveau / Stephan Hard

Request: Proposal to expand 3rd unit with a rear second story addition and add one window to the dormer on the front of the house. Create rear yard parking and turn around area.

Overview:

The applicant has made the suggested changes that were previously suggested at the last DAB meeting. The new proposal has three equal size double hung windows proposed on the front of the dormer. New stairs and a landing at the front door is also proposed.

Applicant is looking to add windows to the dormer on the front of the house as well as put a second story addition on the rear to expand the 3rd unit. In the back yard create a parking and turn around area.

The current home was built in 1924 and is included in the Historic Sites and Structures Survey of the Five Sisters neighborhood. The survey notes the subject property as a contributing resource.

Sec. 5.4.8 Historic Buildings and Sites

(a). Applicability.

The building was found to be a contributing resource in the 2007 Historic Sites and Structures survey of its neighborhood. As a result, the standards of Sec. 5.4.8 pertain to this application.

(b). Standards and Guidelines.

1. A property will be used as it was historically or be given a new use that requires a minimal change to its distinctive material, features, spaces, and spatial relationships.

The home was likely a single family home originally, but during an inspection in 1973 it was recorded that the property was a three unit building. The building is still 3 units today. The

original aluminum siding was removed in 1986 and replaced with vinyl. The existing use of the building will remain unchanged.

2. The Historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

This will not be the first change to the front of the property as the front porch was enclosed at some point and the original aluminum siding was replaced with vinyl in 1986. It is likely that the existing rear addition is not part of the original home. One additional window on the dormer on the front of the house is consistent with the recommendation from the previous DAB meeting.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Not applicable

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Not Applicable

5. Distinctive material, feature, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

While the original form of the building has been retained, the previous enclosure of the front porch was a substantial alteration to the home that altered a distinctive feature as well as the massing of the home. One additional window on the dormer on the front of the house is consistent with the recommendation from the previous DAB meeting.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.

No historic building materials or features will be replaced or restored as part of this application.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Not Applicable

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

There are no known archaeological resources identified at this parcel.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall

be differentiated from the old and will be compatible with the historic material, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. The additional window on the dormer on the front of the house is consistent with the recommendation from the previous DAB meeting. The rear addition will sit on top of the existing rear addition and fills the current void between the rear of the house and the ridgeline of the existing roof in a square massing reflecting existing building lines. The proposed materials will be similar in style to what exists on the rest of the building. Overall the rear addition will fit into the size, form and style that is compatible with the existing building.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The additional window on the dormer on the front of the house is consistent with the recommendation from the previous DAB meeting.

Sec. 5.5.1, Nuisance Regulations

The proposed project should not create any nuisance.

Sec. 5.5.2, Outdoor Lighting

Lighting is proposed for one wall mounted light at the front door. All proposed outdoor lighting conforms to the low output and full cut off standards for residential areas.

Sec. 5.5.3, Stormwater and Erosion Control

Over 400sf of land disturbance is proposed so the applicant will need to apply and submit an Erosion Prevention and Sediment Control to water resource for review.

Article 6: Development Review Standards

Part 1, Land Division Design Standards

Not applicable

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

Not applicable

(b) Topographical alterations

Significant grading is not indicated in the plans. The site is basically flat and will remain so.

(c) Protection of important public views

The property is not associated with any important public views.

(d) Protection of important cultural resources

The property is not affected by any identified archaeological site points.

(e) Supporting the use of alternative energy

There is no indication that the proposed building will utilize alternative energy. Solar energy utilization is encouraged. In any event, the building will not adversely impact the actual or potential use of alternative energies by neighboring properties.

(f) Brownfield sites

The subject property is not an identified brownfield.

(g) Provide for nature's events

The proposed plan will not alter the shedding of snow, ice, or rain in a way that will effect neighbors or entrances in a way that is different than the current building.

(h) Building Location and Orientation

Not applicable

(i) Vehicular access

The existing driveway that connects the garage to the road will remain as is. The proposed parking and turn around area will connect to the existing driveway behind the house to provide additional parking as well as a turnaround area so residents will not have to back out into the street.

(j) Pedestrian access

The building is along a road with a sidewalk where public access is granted by the main driveway and front walkway to the front door. A new set of stairs, landing and reconfigured walkway are proposed to provide access to the front of the home.

(k) Accessibility for the handicapped

No handicapped accessibility is shown and is not required.

(l) Parking and circulation

Parking and circulation will be provided by the main driveway and provides access the garage as well as the new proposed parking and turn around area. The parking area is hidden behind the building and is screened from the rest of the neighborhood by the garage and the neighbor's garage. The applicant is proposing a short stone wall and retaining wall to border the proposed parking and turn around area to prevent vehicles from encroaching into the yard.

(m) Landscaping, fences, and retaining walls

Not applicable.

(n) Public plazas and open space

Not applicable

(o) Outdoor lighting

Lighting is proposed for one wall mounted light at the front door. All proposed outdoor lighting conforms to the low output and full cut off standards for residential areas.

(p) Integrate infrastructure into the design

No changes to the infrastructure are proposed.

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The proposed building additions will increase the scale of the existing building. The proposal to the dormer of one additional window will not create any change in height, scale or massing on the street façade. The rear addition will increase to two stories while keeping the straight lines and square edges that define the building. The scale of the building with the new proposals is similar to other buildings in the neighborhood. Overall and scale of the home will be larger but from the street only the alterations to the porch will be seen.

2. Roofs and Rooflines

The rear addition will include a gable roof and will be minimally visible from the street. The front dormer will continue to have a shed roof.

3. Building Openings

The front of the building has a characteristic upper floor dormer will have one additional window. All of the other windows and doors on the building will be replaced with double hung fiberglass windows and wooden doors. Resulting fenestration will become consistent throughout the residence with this proposal.

(b) Protection of important architectural resources

See Sec. 5.4.8

(c) Protection of Important Public Views

Not applicable

(d) Provide an active and inviting street edge

Not applicable

(e) Quality of materials

The material for the new construction will mainly consist of fiber cement siding, asphalt shingles roofing, and fiberglass windows and doors. The roof, windows and doors are all materials that are commonly seen on other modern structures. The new front steps will be stone and have a metal railing. As alterations to unoriginal materials, these materials are acceptable.

(f) Reduce energy utilization

Proposed building must comply with current energy efficiency standards.

(g) Make advertising features complimentary to the site

Not applicable

(h) Integrate infrastructure into the building design

No exterior infrastructure is included in the project plans. If any is proposed, it will have to be shown on the project plans and screened to integrate into the overall design and materials of the building.

(i) Make spaces safe and secure

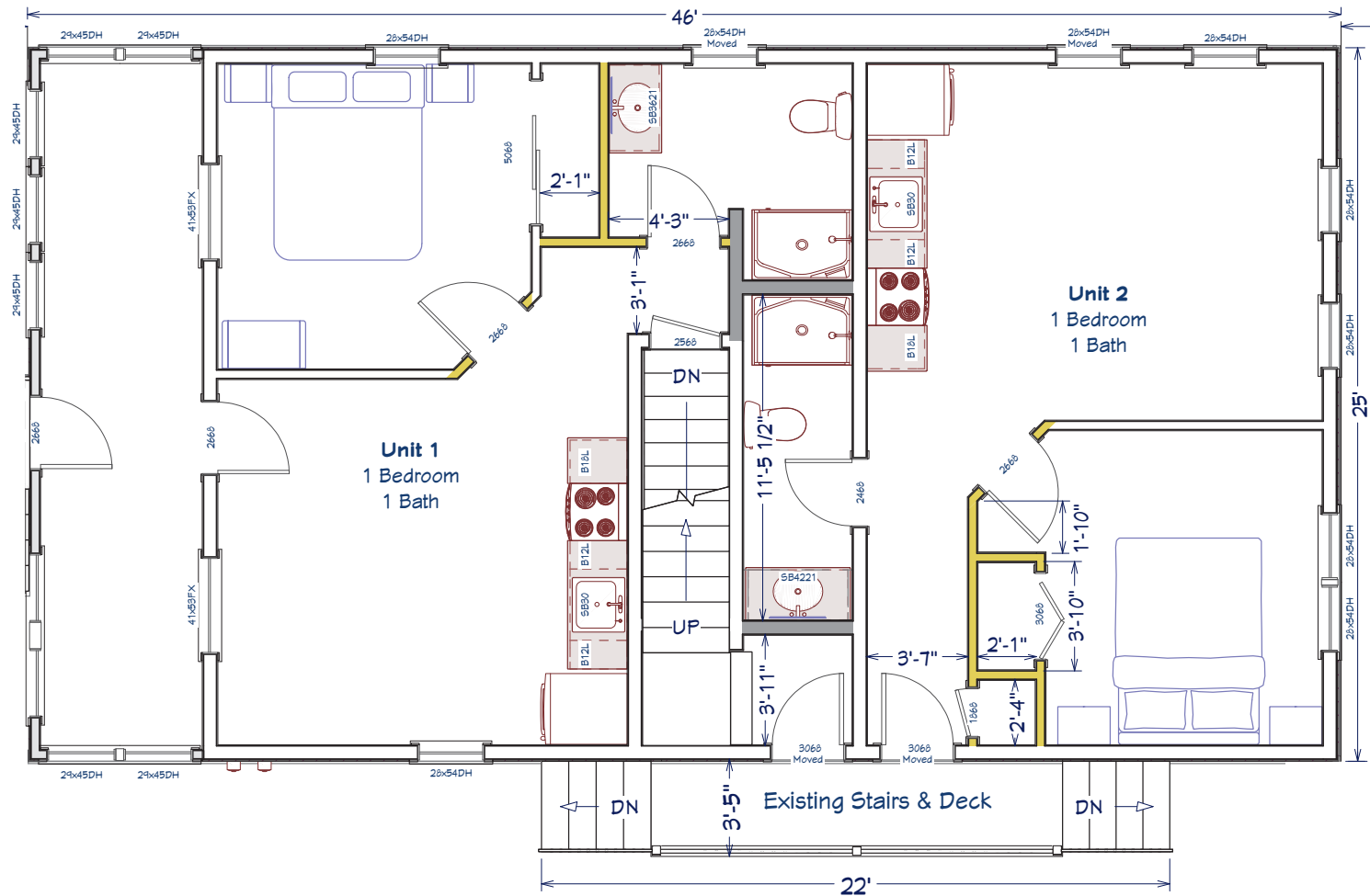
Proposed building must comply with the city's current egress requirements. Building entries will be illuminated.

RECOMMENDED MOTION:

Forward to the Development Review Board for approval.

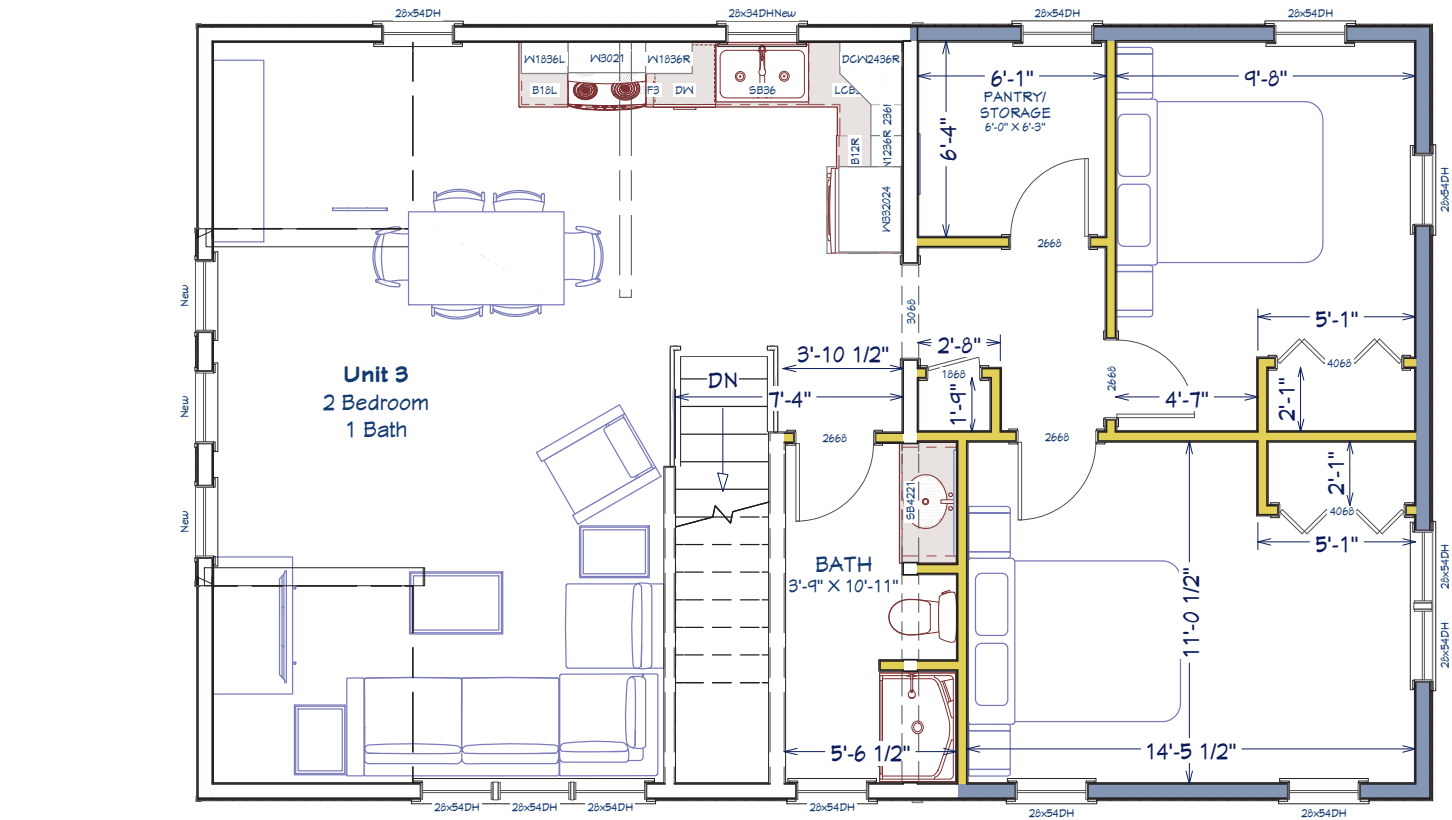


Conceptuals Only
Not For Construction



- | | | | |
|---|---------------------------|--|---|
|  | Existing Exterior Wall |  | Existing 4 1/2" Interior Wall |
|  | New Exterior Wall |  | New 4 1/2" Interior Wall |
|  | Existing 6" Interior Wall |  | Existing 4 1/2" Interior Wall To Be Removed |
|  | New 6" Interior Wall | | |

Conceptuals Only
Not For Construction



- | | | | |
|---|---------------------------|--|---|
|  | Existing Exterior Wall |  | Existing 4 1/2" Interior Wall |
|  | New Exterior Wall |  | New 4 1/2" Interior Wall |
|  | Existing 6" Interior Wall |  | Existing 4 1/2" Interior Wall To Be Removed |
|  | New 6" Interior Wall | | |

Conceptuals Only
Not For Construction

58 Charlotte St. Page: 3

DATE: 4/15/2024

SCALE: 1/4" = 1' at 11x17

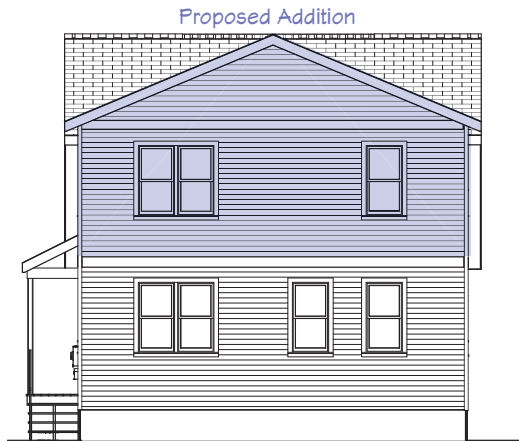
DESCRIPTION: 2nd Floor Plan



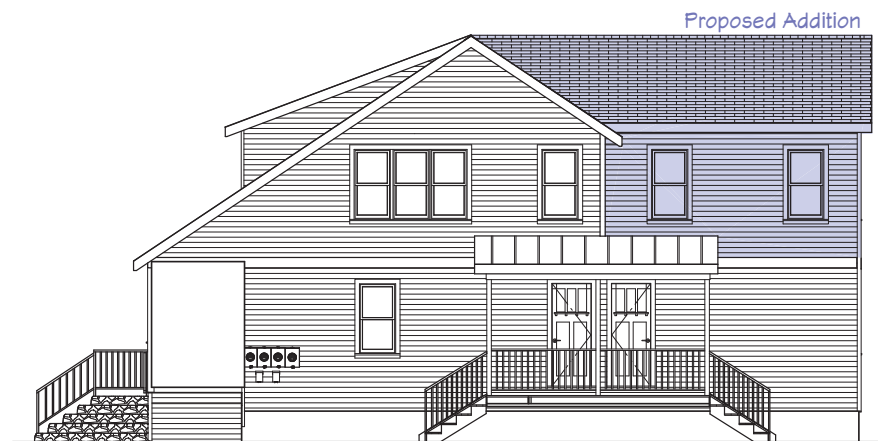
Front



Left



Back



Right

Conceptuals Only
Not For Construction

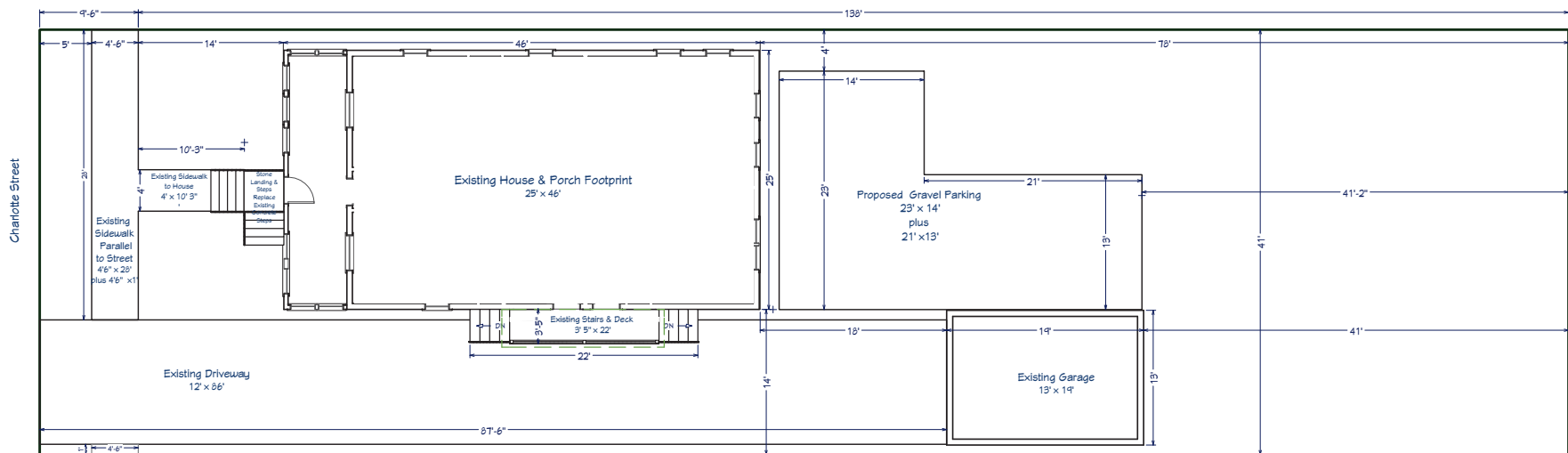
58 Charlotte St. Page: 4

DATE: 4/15/2024

SCALE: 1/8" = 1'
at 11x17

Elevations

DESCRIPTION:



Conceptuals Only
Not For Construction

DESCRIPTION:	Plot Plan	
	SCALE:	3/32" = 1' at 11x17
DATE:	4/15/2024	
	58 Charlotte St. Page: 5	

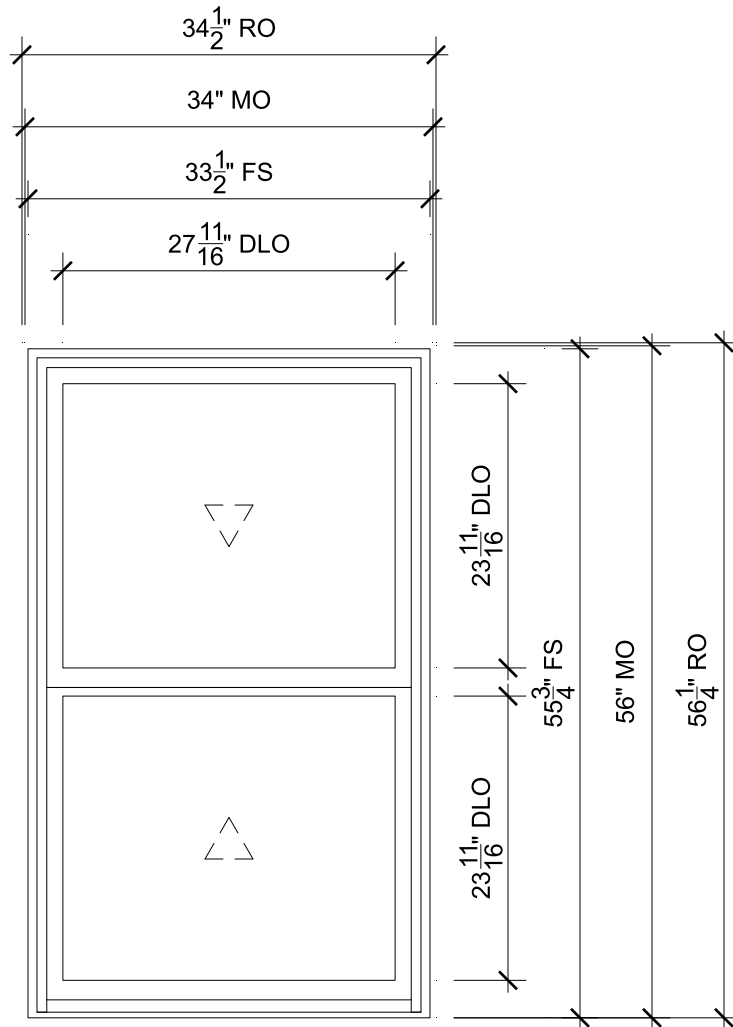












DOUBLE HUNG

SCALE: 3/4" = 1'-0"

①
3 Head

②
3 Jamb

③
3 Sill

④
3 Check Rail

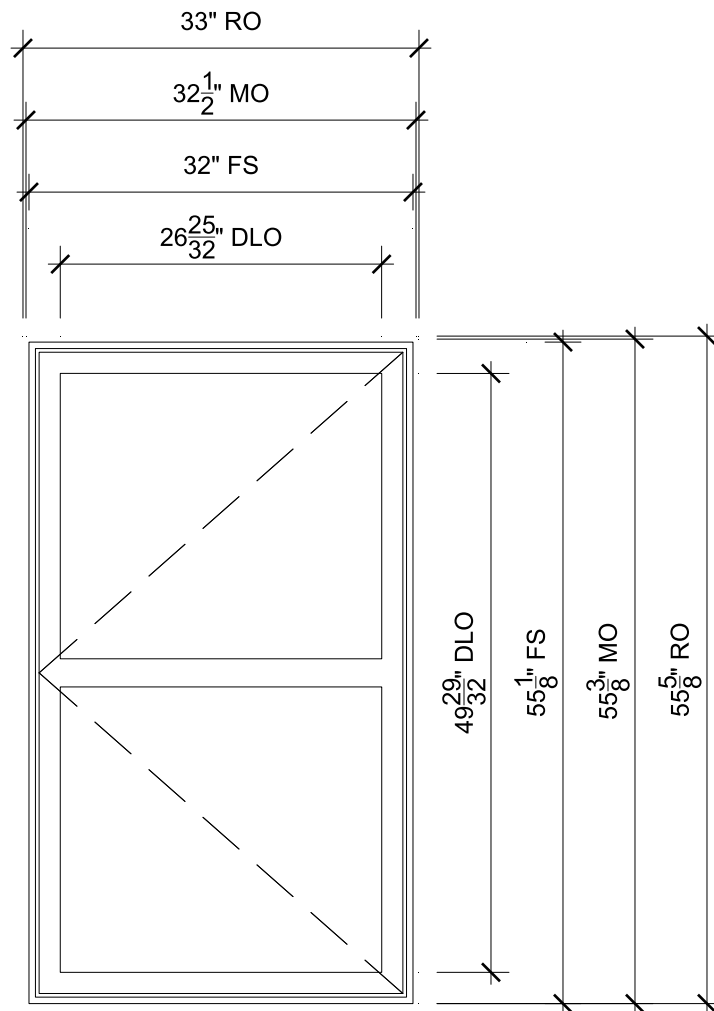


PROJ/JOB: ERIC BELLIVEAU - ELEVATE FIBERGLASS / CHARLOTTE STREET BURLINGTON
 DIST/DEALER: WINDOWS & DOORS BY BROWNELL-GO
 DRAWN: PAUL GODARD
 QUOTE#: JFETTHE PK VER: 0004.07.00 CREATED: 02/26/2024 REVISION:

SHEET

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OF 5



CASEMENTS

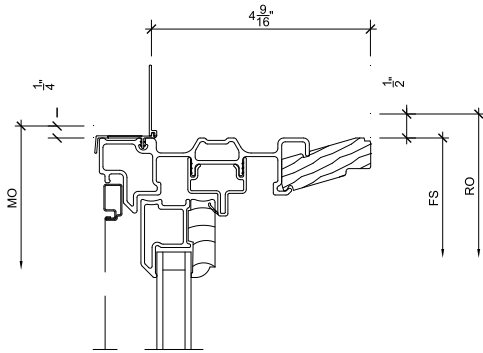
SCALE: 3/4" = 1'-0"

- | | |
|------------------------------|--------------------|
| $\frac{1}{4}$ Head | $\frac{2}{4}$ Jamb |
| $\frac{3}{4}$ Jamb | $\frac{4}{4}$ Sill |
| $\frac{1}{5}$ Simulated Rail | |



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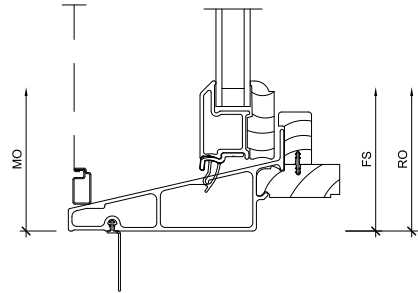
SHEET
 2
 OF 5



1
3

Head

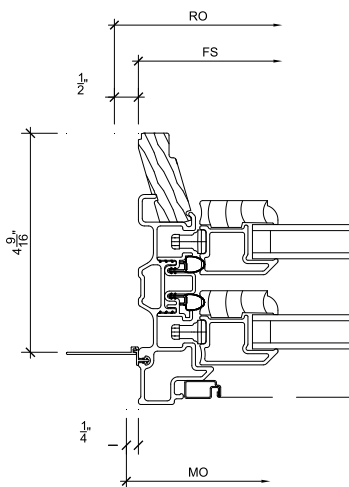
SCALE: 3" = 1'-0"



3
3

Sill

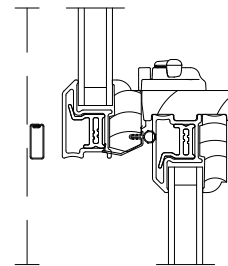
SCALE: 3" = 1'-0"



2
3

Jamb

SCALE: 3" = 1'-0"



4
3

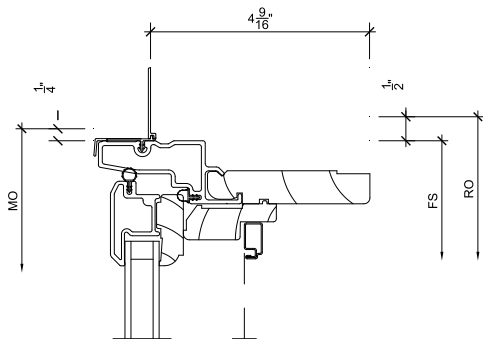
Check Rail

SCALE: 3" = 1'-0"



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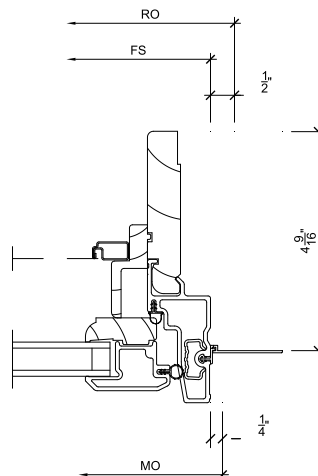
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OF 5



1
4

Head

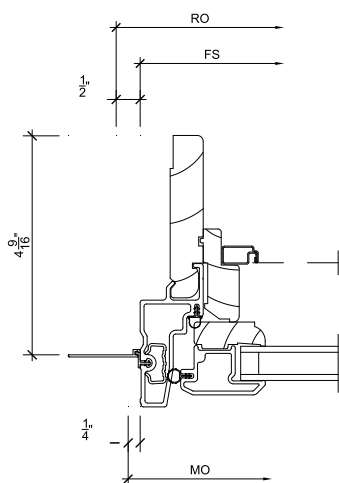
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3
4

Jamb

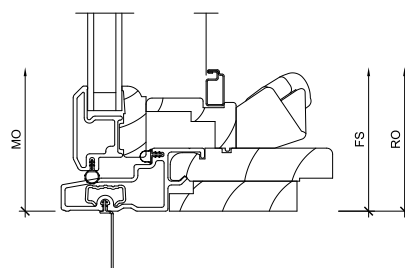
SCALE: 3" = 1'-0"



2
4

Jamb

SCALE: 3" = 1'-0"



4
4

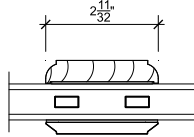
Sill

SCALE: 3" = 1'-0"



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SHEET
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OF 5



1
5

Simulated Rail

SCALE: 3" = 1'-0"

3
5

NOT USED

SCALE: 3" = 1'-0"

2
5

NOT USED

SCALE: 3" = 1'-0"

4
5

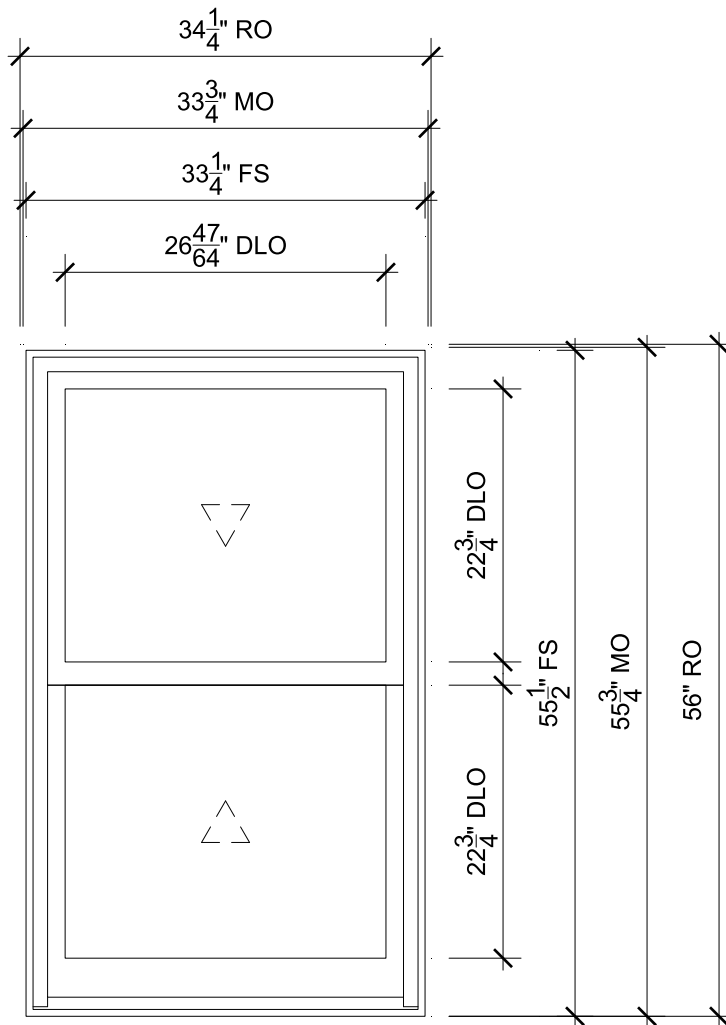
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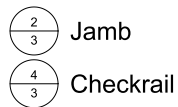
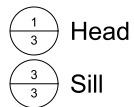
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ULTIMATE DBL HUNG

SCALE: 3/4" = 1'-0"



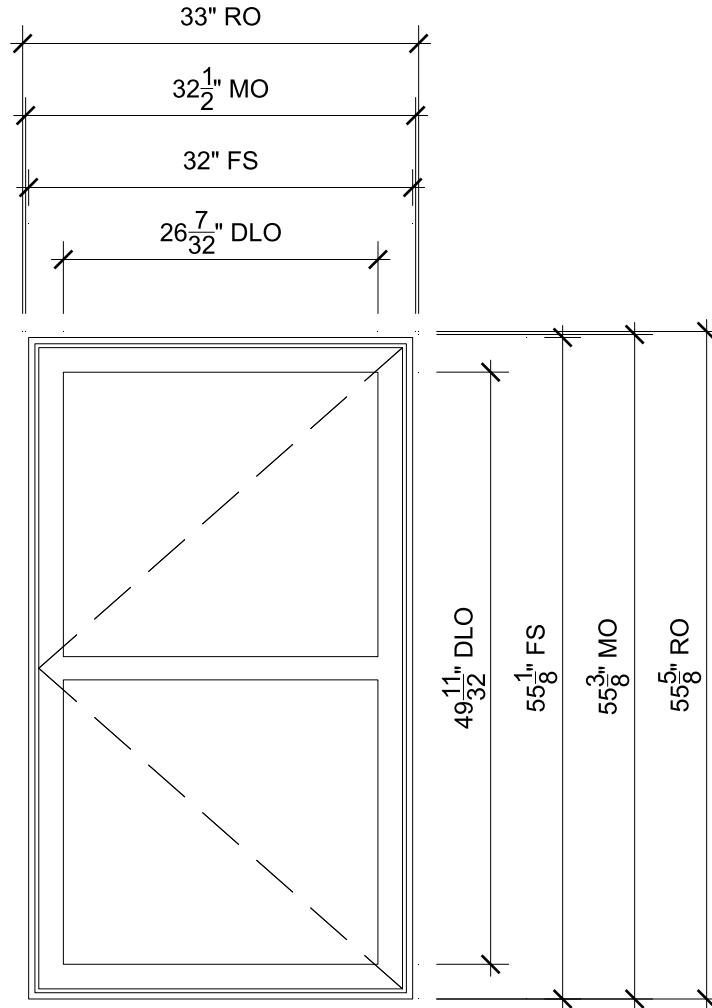
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SHEET

1

OF 4



ULTIMATE CASEMENT

SCALE: 3/4" = 1'-0"

1
4 Head

3
4 Sill

2
4 Jamb

4
4 Simulated Rail

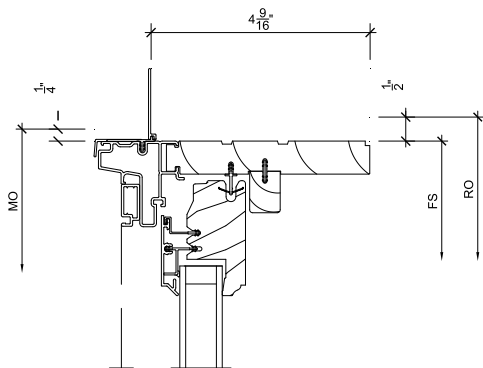


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SHEET

2

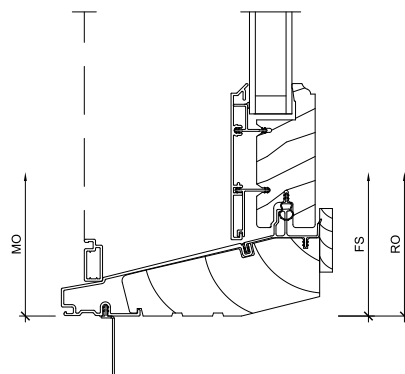
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1
3

Head

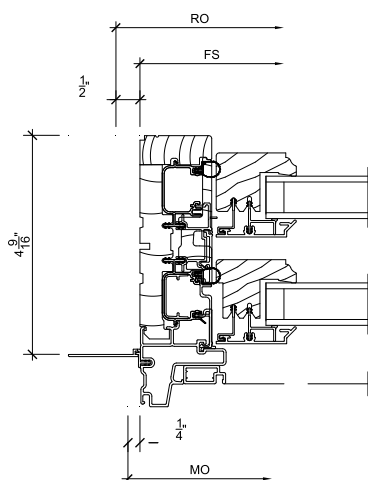
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3
3

Sill

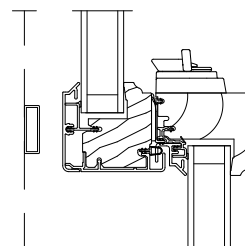
SCALE: 3" = 1'-0"



2
3

Jamb

SCALE: 3" = 1'-0"



4
3

Checkrail

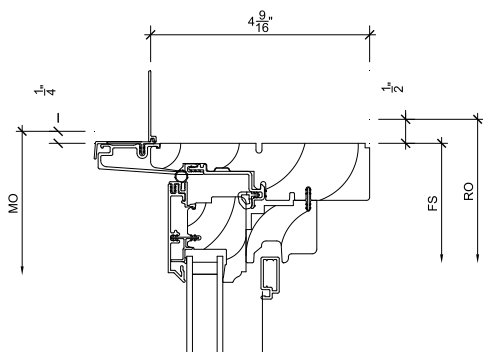
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PROJ/JOB: ERIC BELLIVEAU - CLAD ULTIMATE / CHARLOTTE STR. BURLINGTON
DIST/DEALER: WINDOWS & DOORS BY BROWNELL-GO
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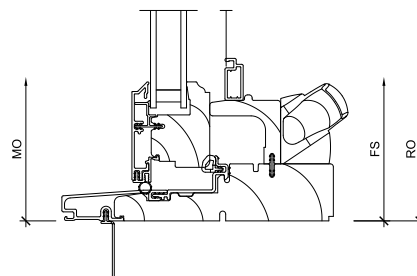
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1
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Head

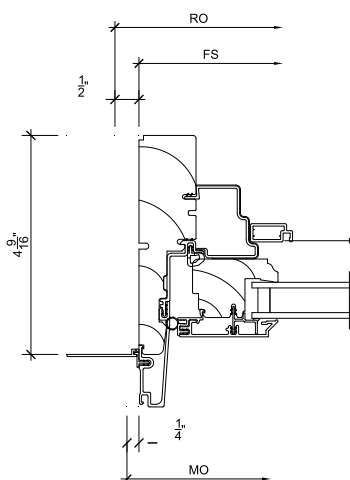
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3
4

Sill

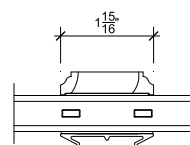
SCALE: 3" = 1'-0"



2
4

Jamb

SCALE: 3" = 1'-0"



4
4

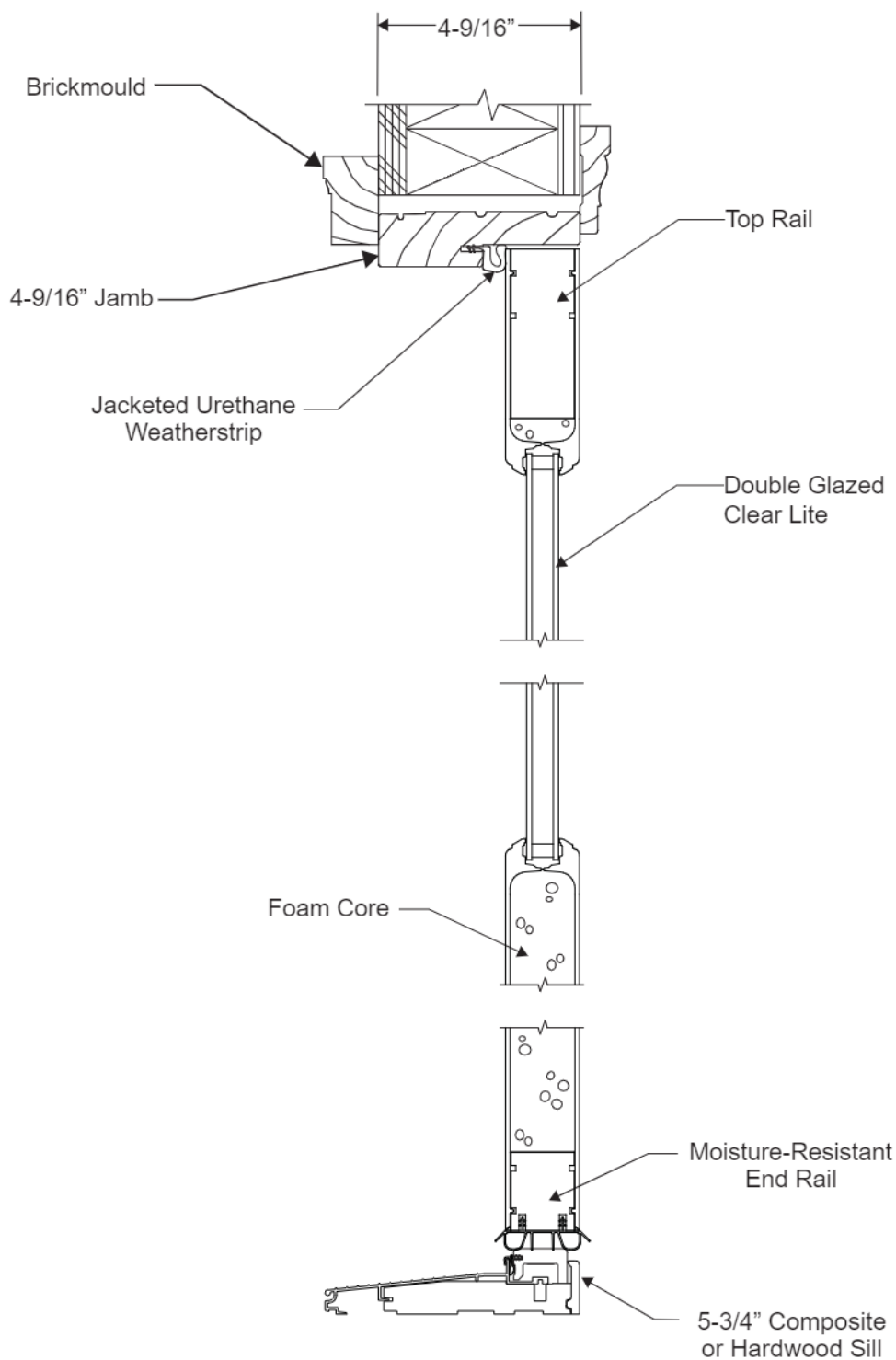
Simulated Rail

SCALE: 3" = 1'-0"



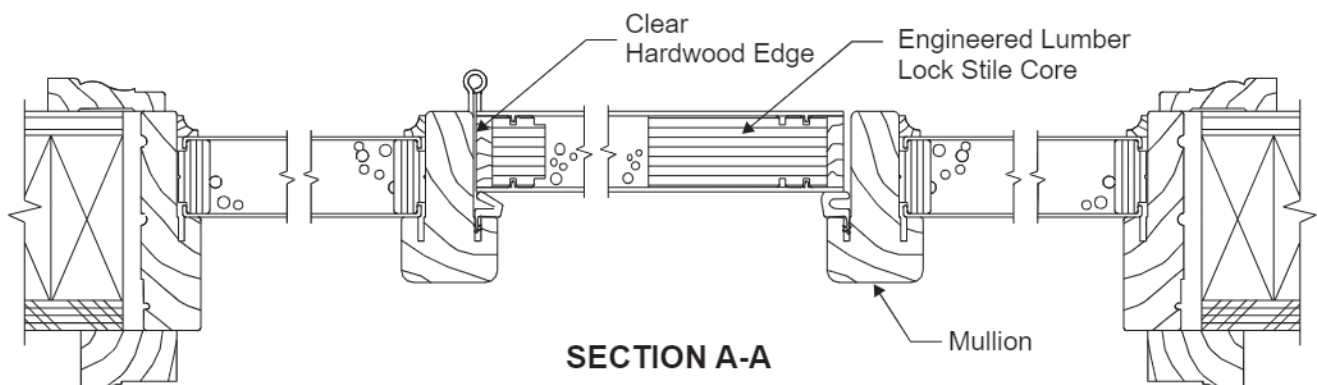
PROJ/JOB: ERIC BELLIVEAU - CLAD ULTIMATE / CHARLOTTE STR. BURLINGTON
DIST/DEALER: WINDOWS & DOORS BY BROWNELL-GO
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QUOTE#: KXC3AWE PK VER: 0004.07.00 CREATED: 02/26/2024 REVISION:

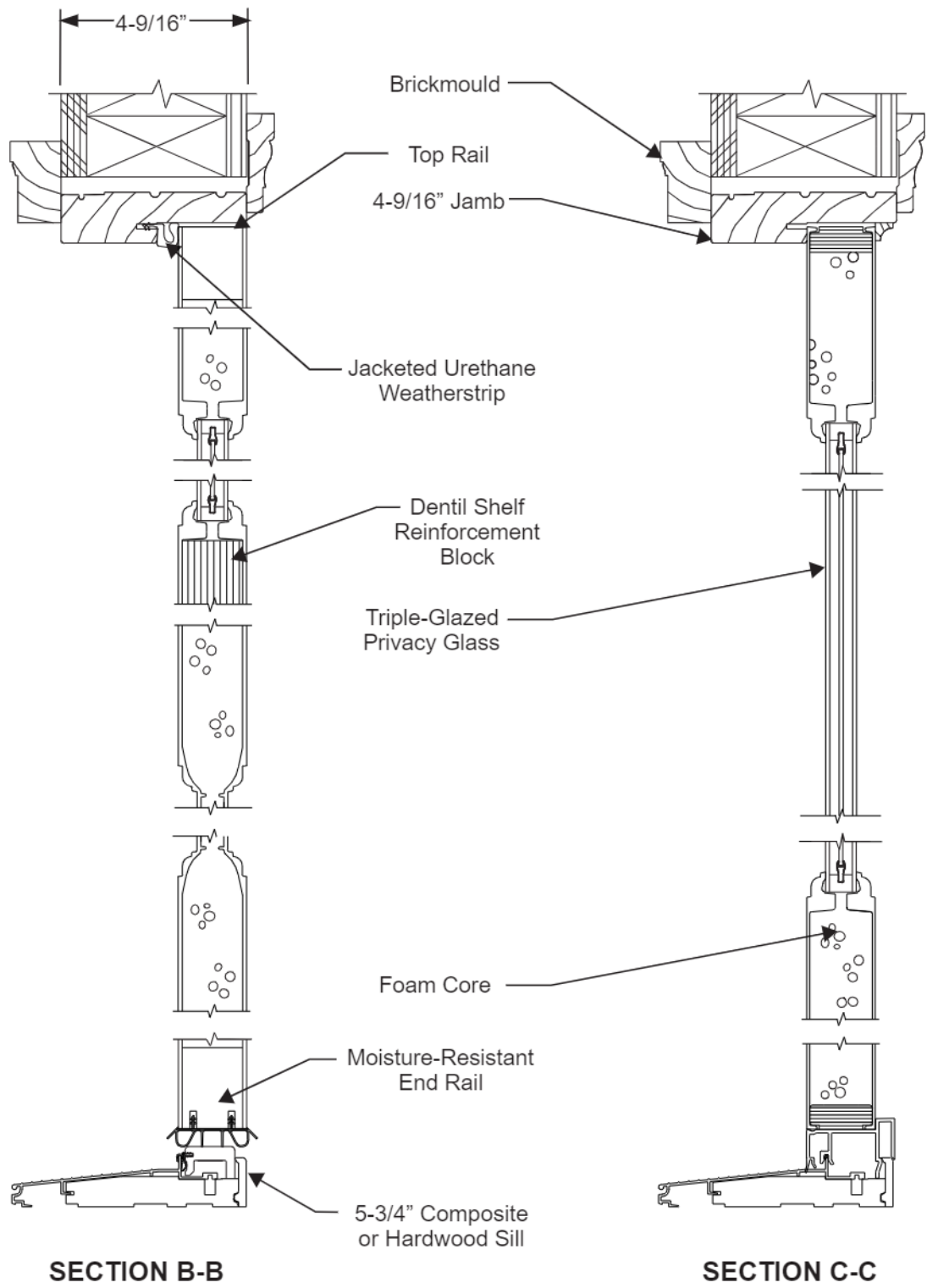
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SECTION B-B

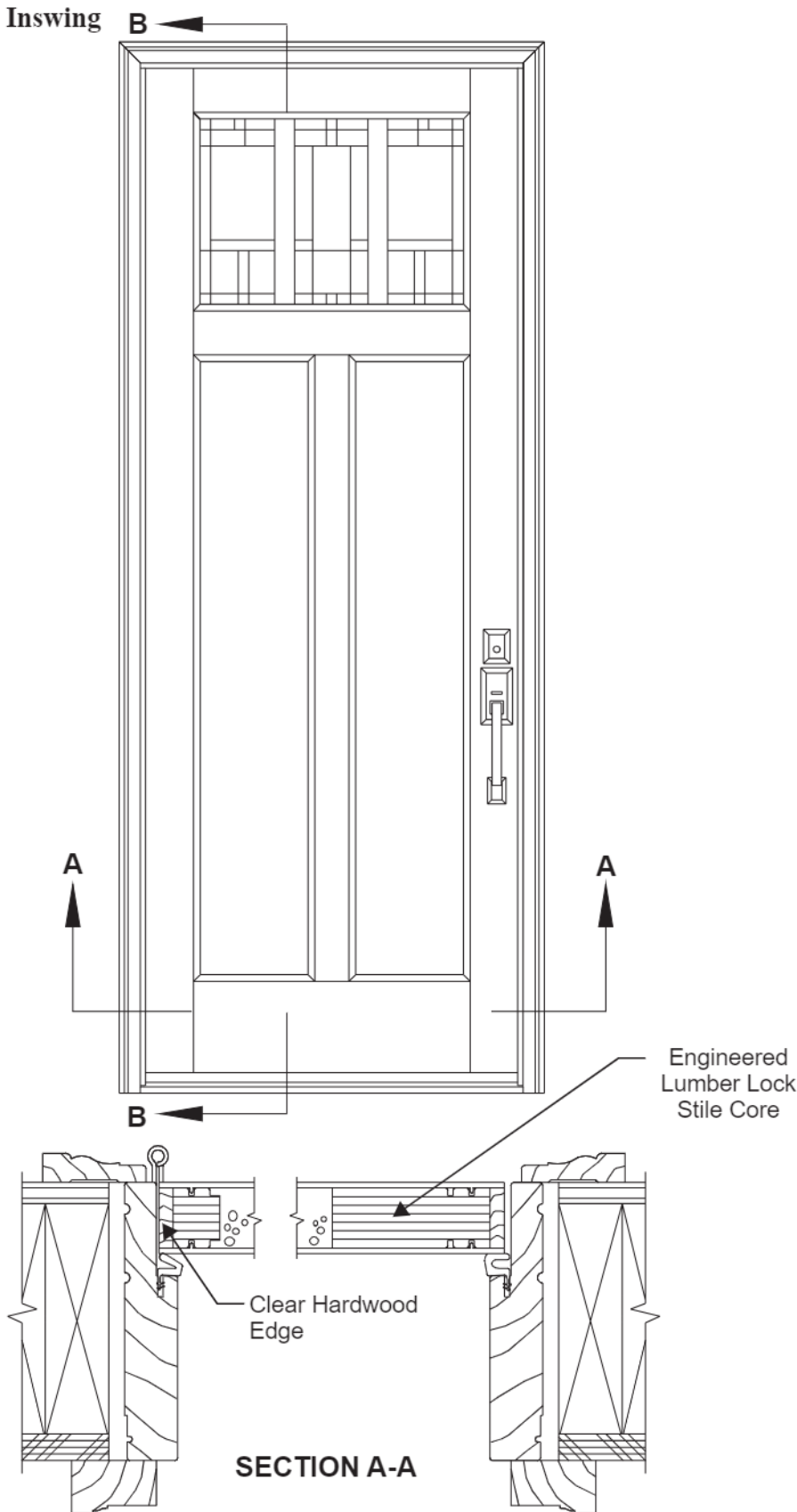
6/8 Door/Sidelites with Continuous Head/Sill Frame

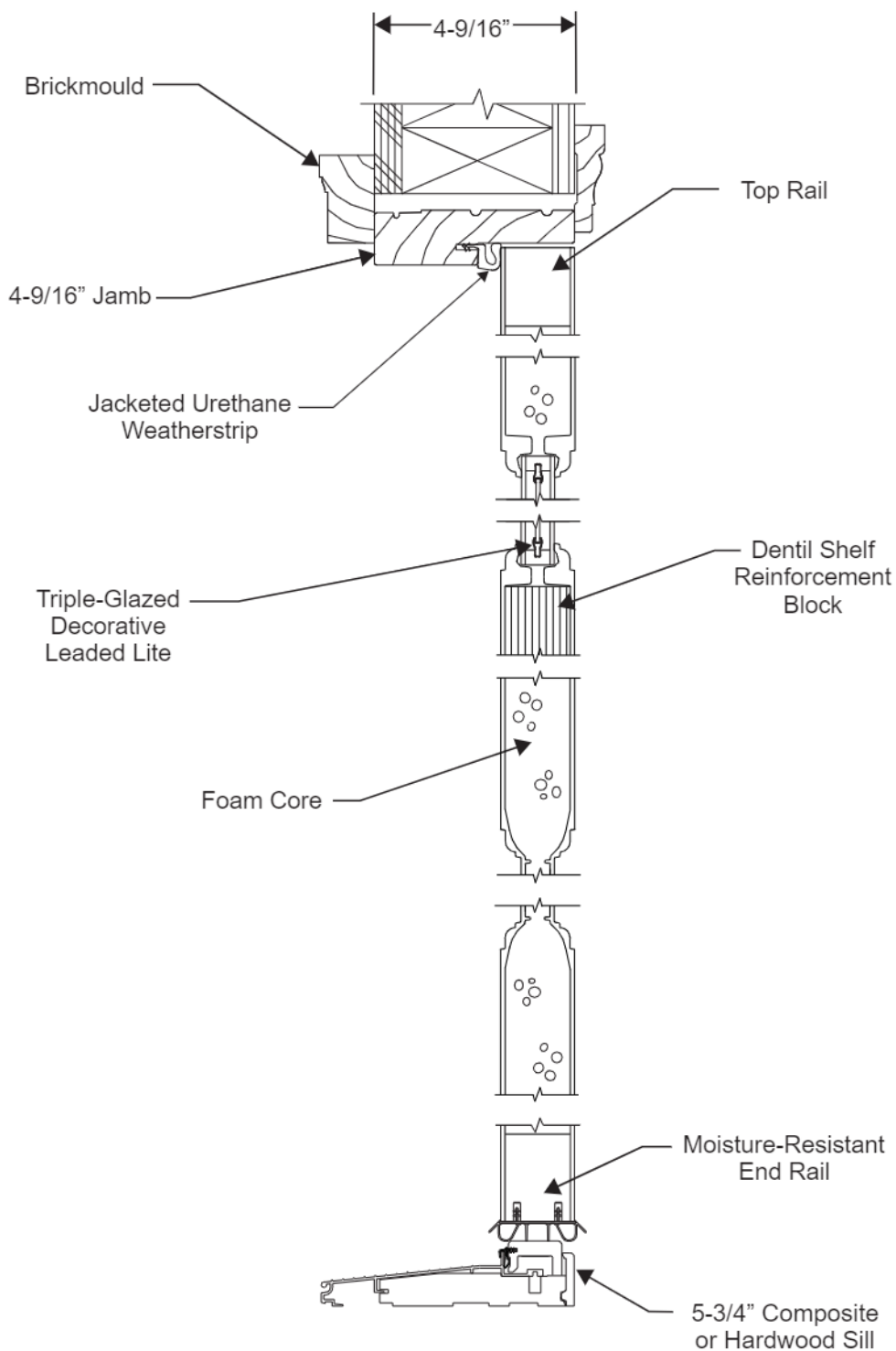




Architectural
Details

8/0 Single Door, Inswing





SECTION B-B





THE LIGHTING HOUSE
Vermont's Premier Lighting and Outdoor Furniture Store



3002
Shelburne
Road
Shelburne,
VT 05482



www.vermontlightinghouse.com



802-985-
2204
Fax: 802-
985-8931

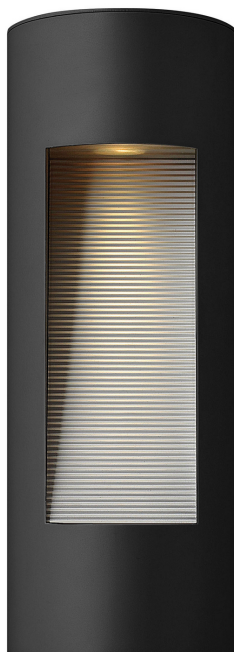


info@vermontlightinghouse.com



LED Wall Mount

\$359.00



Item ID: **581023**
MFG #: **1660SK**
Manufacturer: **Hinkley**
Finish: **Satin Black**
Collection: **Luna**
Width: **6.00"**
Height: **16.00"**
Length: **3.50"**



Bring home modern versatility with Luna, a collection of solid aluminum fixtures offered in a unique combination of contemporary styles. Ideal for indoor and outdoor applications, each fixture style has bold lines and strong architecture to complement a wide range of décors while providing just the right amount of functional light.

Bulbs

Voltage: **120 V**

Qty.	Type	Base	Watt	Incl.	Source	LM.	CCT	CRI	Avg.Life	Dim	Beam
2	Bi-Pin	GU10	7.00 W	-	LED	-	-	-	-	Yes	-

Details

Safety Listing: **C-US**

Weight: **5.00 lb**

Safety Rating: **Wet**

UPC: **640665166088**

Glass: **Etched Lens**

Canopy: **6"x16"**

Top to outlet: **10.00"**

Extension: **3.50"**

Collection



LED Wall Mount
1660BZ



LED Wall Mount
1660TT



LED Wall Mount
1664BZ



LED Wall Mount
1664TT



LED Wall Mount
1664BZ-LED



LED Wall Mount
1664TT-LED



LED Wall Mount
1660BZ-LED



LED Wall Mount
1660SK



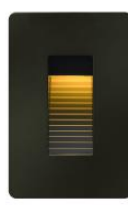
LED Wall Mount
1660SK-LED



LED Wall Mount
1664SK



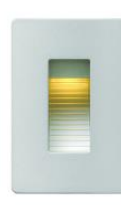
LED Wall Mount
1664SK-LED



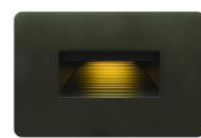
LED Landscape
Deck
58504BZ



LED Landscape
Deck
58504SW



LED Landscape
Deck
58504TT



LED Landscape
Deck
58508BZ

SECTION 06 5300

PLASTIC DECKING (WOLF SERENITY DECKING)

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Plastic decking.

1.02 RELATED REQUIREMENTS

- A. Section 03 3000 - Cast-in-Place Concrete: Bearing support.
- B. Section 06 1000 - Rough Carpentry: Bearing support.
- C. Section 06 5313 - Plastic Porch Decking

1.03 REFERENCE STANDARDS

- A. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials; 2018b.

1.04 SUBMITTALS

- A. Product Data: Manufacturer's data sheets on each product, including:
 - 1. Preparation instructions.
 - 2. Storage and handling requirements.
 - 3. Installation methods.
 - 4. Warranty Sample: Submit manufacturer's standard warranty information including limitations, exclusions, prorating table and claim procedures.
- B. Samples: Provide samples in colors specified, not less than 6 inches in length.

1.05 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with at least five years of documented experience.
- B. Installer Qualifications: Company specializing in performing work of the type specified in this section, with at least three years of documented experience.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Deliver and store products in manufacturer's unopened packaging bearing the brand name and manufacturer's identification until ready for installation.
- B. Comply with manufacturer's recommendations. Handle materials to avoid damage.

1.07 WARRANTY

(Note to Writer: Paragraph A. applies to single-family home, townhome, or multifamily dwelling (up to 3 units) that are not owned by corporate entities (e.g. corporations, LLCs), governmental agencies, partnerships, trusts, religious organizations, schools, condominiums or pursuant to cooperative housing arrangements.)

- A. Residential Purchasers: Wolf Serenity
 - 1. Manufacturer's Product Warranty: Provide manufacturer's limited lifetime warranty.
 - a. Warranty Period: Lifetime (50 Years).
 - b. Warranty shall include defects in manufacturing that cause products to:
 - 1) Rot.
 - 2) Corrode.
 - 3) Delaminate.
 - 4) Splinter or split.
 - 5) Structural damage from termites or fungus.
 - 6) Excessively swell from moisture.
 - c. Manufacturer's Stain Resistant Warranty: Provide manufacturer's standard 25 years, stain resistant warranty.
 - d. Manufacturer's Fade Resistant Warranty:

WOLF Home Products

- 1) Decking shall not fade from light or weathering more than 5 Delta E units in the first 5 years and not more than 10 Delta E units during the entire warranty period. Fading between years 6 and year 25 shall not exceed the manufacturer's maximum color change table.
- 2) Total Warranty Period: 25 years.
- e. Contractor's Workmanship Warranty: Provide 5 year warranty on the workmanship of the installation if a certified Wolf PRO contractor is used.

(Note to Writer: Use Paragraph B. for all projects except those that meet the manufacturer's requirements Residential Purchaser.)

- B. Commercial or Non-Residential Applications: Wolf Serenity
1. Manufacturer's Product Warranty: Provide manufacturer's standard pro-rated warranty.
 2. Warranty Period: Twenty years (20 Years).
 3. Warranty shall include defects in manufacturing that cause products to:
 - a. Rot.
 - b. Corrode.
 - c. Delaminate.
 - d. Splinter or split.
 - e. Structural damage from termites or fungus.
 - f. Excessively swell from moisture.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Plastic Decking: Basis of Design: Products specified herein and shown on the Drawings are based on Wolf Serenity™ decking as manufactured by Inteplast Group Corporation for Wolf Home Products; other equivalent products will be acceptable.

2.02 PLASTIC DECKING

- A. Serenity Plastic Decking: Capped PVC plastic in standard deck board sizes and non-grooved profile.
1. Size: Decking: 1 by 5-1/2 inches.
 2. Lengths: 12', 16' and 20'
 3. Size: Fascia Trim Board: 1/2 by 11-3/4 inches x 12 feet.
 4. Texture: Molded, wood grain, reversible.
 5. Tropical Hardwood Colors:
 - a. Amberwood
 - b. Golden Cypress
 - c. Rosewood
 - d. Teakwood
 - e. Black Walnut
 - f. Driftwood Grey
 - g. Silver Teak
 - h. Weathered Ipe
 6. Seaside Colors:
 - a. Harbor Grey
 - b. Sand Castle
 7. Edges, Field Boards: Solid profile.
 8. Edges, Perimeter Boards: One edge square and bullnose on the other.
 9. Recycled content: 95 percent.
 10. Surface Burning Characteristics: Flame spread index of 200, maximum; smoke developed index of 285, maximum; when tested in accordance with ASTM E84.
- B. Performance: 100 psf with deflection limited to 1/360 of span.

2.03 ACCESSORIES

- A. Fasteners and Anchors:

WOLF Home Products

1. Fasteners: Stainless steel HIDfast, Cortex, or "Camo" fasteners, trim head.
2. Minimum Screw Size: #10 Screw.
3. Minimum Screw Length: 2 ¼ inches.

****NOTE TO WRITER: Delete the following item if Project is not located near the coast.****

- B. Coastal Applications: Provide Type 316 stainless steel fasteners.
- C. Adhesive: Manufacturer's recommended; waterproof, air cure type, cartridge dispensed.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that support framing is ready to receive decking.

3.02 PREPARATION

- A. Coordinate placement of bearing items.
- B. Framing Spacing: Spacing shall not exceed the following:
 1. Commercial Applications: 12 inches on center maximum.
 2. Diagonal Installations: 12 inches on center maximum.
 3. Perpendicular Applications: 16 inches on center maximum.
 4. Steps and Stairs: Stringers not more than 11 inches on center, refer to manufacturer's detail for additional 2 x 6 support.

3.03 INSTALLATION

- A. General: Install products in accordance with manufacturer's instructions.
- B. Cutting: Use saw capable of miter cuts with a fine-toothed carbide tipped finish trim blade with following minimum tooth count:
 1. 7 ¼" Diameter Blade: 50 tooth minimum.
 2. 10" Diameter Blade: 70 tooth minimum.
 3. 12" Diameter Blade: 84 tooth minimum.
- C. Decking:
 1. Install with embossed or grain side up. Install rim boards with embossed or grain side out.
 2. Fasten tight to joists. Provide shims if there are variations in framing.
 - a. Install a minimum of 2 fasteners within ½ inch of the end of each board.
 - b. Install boards together tightly at spliced joints and miters
 - c. Leave a ¼" gap between decking and any structure (wall or post).
 - d. Stagger miters or splices so they do not all break on the same joist.
 3. Countersink fasteners. Provide necessary clearance when installing the next board.
 4. Cut final boards as required.
 5. Refer to manufacturers board spacing chart based on temperature at the time of installation.
- D. Expansion and Contraction: Based on a 50 degrees F temperature change the approximate movement is as follows:
 1. 12 Foot Board: 3/16 inch.
 2. 16 Foot Board: 1/4 inch.
 3. 20 Foot Board: 5/16 inch.
- E. Install decking with ends staggered over firm bearing.

3.04 CLEANING

- A. Clean surfaces according to manufacturer's written instructions.

3.05 PROTECTION

- A. Protect installed work from subsequent construction operations. Repair damaged surfaces. Remove and replace work which cannot be repaired.

END OF SECTION

2023 RAILING ORDER GUIDE



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Pinnacle Rail™6

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RadianceRail Express®14

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Gate Kits.....24

ADA Handrail.....25

LIMITED

25

YEAR

WARRANTY

The TimberTech Railing portfolio delivers enduringly beautiful designs as well as superior performance, whether choosing from our PVC, composite, or metal railing collections. Plus, lots of customization options make it easy to create a look all your own.

WHY CHOOSE TIMBERTECH RAILING?

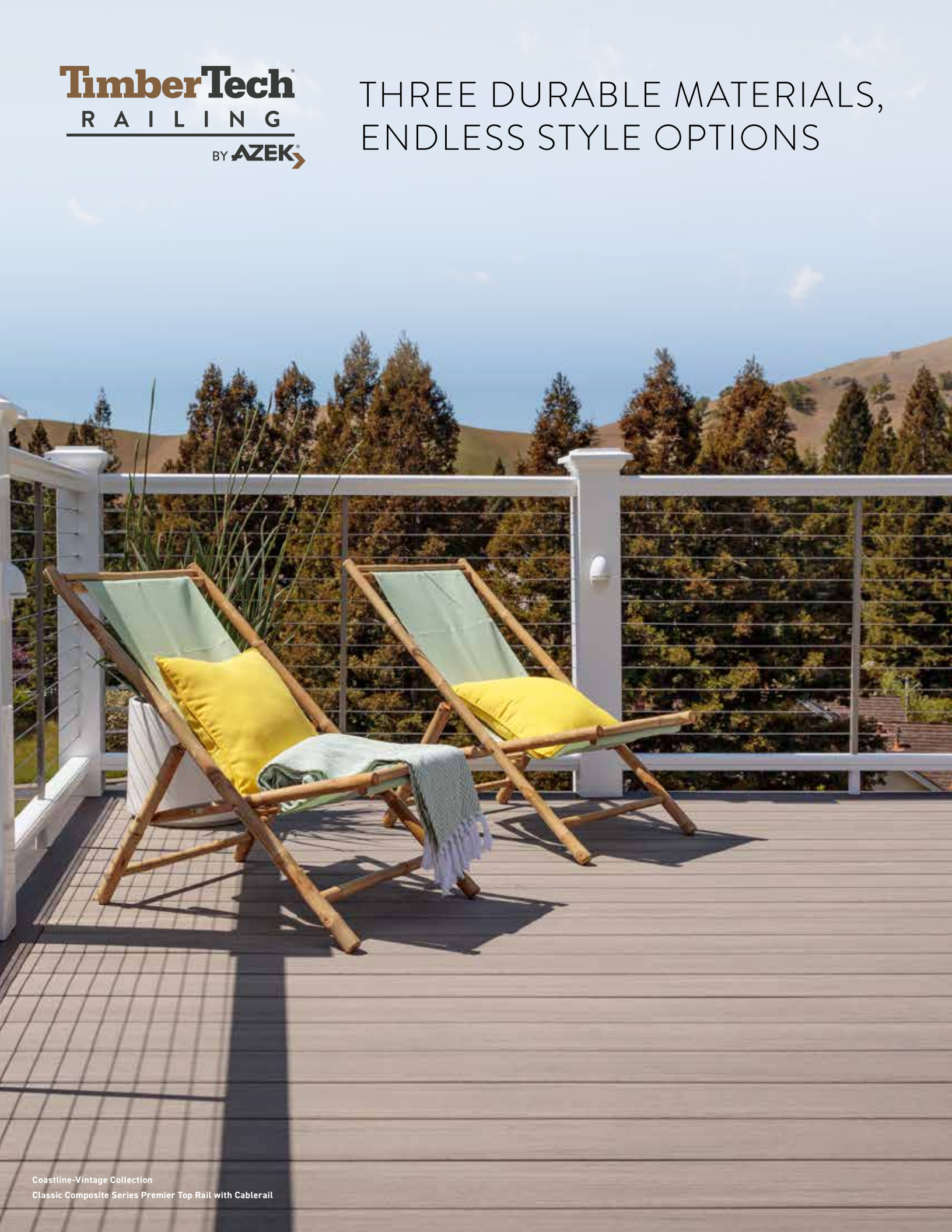
TRUSTED BRAND TimberTech is a trusted outdoor living brand and a leader in premium, wood-alternative railing and decking.	HIGH-QUALITY TimberTech Railing is made from high-quality materials for exceptional durability and minimal maintenance.	TOP WARRANTIES Get peace of mind with 25-Year Limited Product Warranty, plus 25-Year Limited Fade & Stain Warranty for Premium Matte colors.
STYLE VARIETY Get the aesthetic you want with options at every price point, from entry level to premium.	DESIGN VERSATILITY Create a look all your own with multiple customization options from top rails to infills to colors and more.	ECO-FRIENDLY Made to be strong and stable with the composite railing made from up to 50% recycled material.

Front cover: Classic Composite Series Matte White Premier Rail

English Walnut - Vintage Collection

Classic Composite Series in White with Radiance Rail in Matte Espresso

THREE DURABLE MATERIALS, ENDLESS STYLE OPTIONS



Coastline-Vintage Collection
Classic Composite Series Premier Top Rail with Cablerail



Driftwood - Reserve Collection
Pinnacle Rail

PVC

\$\$\$\$

Extruded PVC material with aluminum reinforcement for exceptional performance, this collection has elevated design.

- Best moisture resistance & durability: Won't crack, rot, or split
- UV-resistant for color protection
- Lightweight for easier handling
- Paintable for a custom look, but not required for protection
- Milled-wood-inspired design
- Elevated design: Crisp corners, tight, clean lines



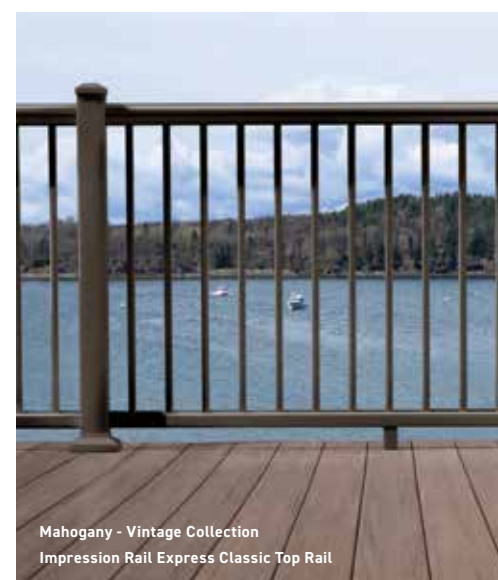
Dark Hickory - Vintage Collection
Classic Composite Series Premier Rail

COMPOSITE

\$\$-\$\$\$

A mix of high-performance polymers and recycled wood fibers for impressive durability, this collection offers the most customization and style options.

- Highly durable: Resists cracking, splitting, and splintering
- Moisture-resistant: Protected from mold, mildew & rot
- Resembles the look of painted wood
- Premium Matte colors protected by 25-year Limited Fade & Stain Warranty
- Never needs painting or staining for protection
- Made from up to 50% recycled material
- Offers the most customizations & styles from modern to traditional



Mahogany - Vintage Collection
Impression Rail Express Classic Top Rail

METAL

\$\$

Powder-coated aluminum for high performance and corrosion resistance, the panelized railing system in this collection makes it easy to install.

- Superior durability: Resists fading, staining, and scratching
- Moisture-resistant: Resists rotting and cracking
- Narrower balusters for a less obstructed view (up to 30% less than competitors)
- Panelized railing system for a quick install (no fastening of individual balusters)
- Wrought-iron-inspired aesthetics
- Sleek top rail options with no visible hardware

PVC

For clients who love the look of refined milled wood railing but want to avoid the costly upkeep, choose our PVC railing. These railing designs feature classic aesthetics with superior performance and durability to ensure a long-lasting railing that requires minimal maintenance.



PRODUCT DESCRIPTION	TimberTech Model Number
	WHITE
STATEMENT SERIES RAIL KITS - (2-3/4" Graspable Rail Kit with Reinforcements, 14 Hollow Balusters for 6', 18 Hollow Balusters for 8', Hardware and Footlocks)	
6' 36" Statement PVC Level Rail Kit	ST60275-6K36H
8' 36" Statement PVC Level Rail Kit	ST60275-8K36H
6' 36" Statement PVC Stair Rail Kit	ST60275-6K36/SH
8' 36" Statement PVC Stair Rail Kit	ST60275-8K36/SH
6' 42" Statement PVC Level Rail Kit	ST60275-6K42H
8' 42" Statement PVC Level Rail Kit	ST60275-8K42H
STATEMENT SERIES RAIL KITS - Round Aluminum Baluster (RAB) - (2-3/4" Graspable Rail Kit with Reinforcements, 16 Hollow Round Balusters for 6' Level, 22 for 8' Level, 14 for 6' Stair, and 19 for 8' Stair, Hardware and Footlocks)	
6' 36" Statement PVC Level Rail Kit - Round Aluminum Balusters	ST60275-6K36-AL
8' 36" Statement PVC Level Rail Kit - Round Aluminum Balusters	ST60275-8K36-AL
6' 36" Statement PVC Stair Rail Kit - Round Aluminum Balusters	ST60275-6K36/S-AL
8' 36" Statement PVC Stair Rail Kit - Round Aluminum Balusters	ST60275-8K36/S-AL
6' 42" Statement PVC Level Rail Kit - Round Aluminum Balusters	ST60275-6K42-AL
8' 42" Statement PVC Level Rail Kit - Round Aluminum Balusters	ST60275-8K42-AL
PINNACLE SERIES RAIL KITS - (3-1/2" Rail Kit with Reinforcements, 13 Solid Balusters for 6', 18 Solid Balusters for 8', Hardware and Footlocks)	
6' 36" Pinnacle PVC Level Rail Kit	PN40350F-6K36
8' 36" Pinnacle PVC Level Rail Kit	PN40350F-8K36
6' 36" Pinnacle PVC Stair Rail Kit	PN40350F-6K36/S
8' 36" Pinnacle PVC Stair Rail Kit	PN40350F-8K36/S
6' 42" Pinnacle PVC Level Rail Kit*	PN40350F-6K42
8' 42" Pinnacle PVC Level Rail Kit*	PN40350F-8K42
PINNACLE SERIES RAIL DECO PANELS	
Pinnacle Decorative Panel, "Chippendale Type 1" for 36" High Rails. Panel Size 1-1/4" x 29-3/4" x 29-3/4"	PN40DP36-1
Pinnacle Decorative Panel, "Square Web" for 36" High Rails. Panel Size 1-1/4" x 29-3/4" x 29-3/4"	PN40DP36-3
Pinnacle Decorative Panel, "Chippendale Type 1" for 42" High Rails. Panel Size 1-1/4" x 35-3/4" x 35-3/4"	PN40DP42-1
Pinnacle Decorative Panel, "Square Web" for 42" High Rails. Panel Size 1-1/4" x 35-3/4" x 35-3/4"	PN40DP42-3

*For 42" PVC Rail applications you will need to purchase a stair Rail Bracket kit separately to assemble stair section.

HOW TO ORDER

1. STYLES AND COLORS		2. INFILLS	3. POSTS SLEEVES	CAPS AND SKIRTS	LIGHTING	
COLOR OPTION WHITE	STATEMENT RAIL™ 2.75"W x 3"H Estimated installation time to install one rail panel 20 Minutes	HOLLOW SQUARE BALUSTERS BLACK ALUMINUM BALUSTERS	5" x 48" POST SLEEVE 5" x 108" POST SLEEVE	1" x 6 3/4" PLAIN FLAT POST CAP SKIRT RING FOR 5" EXTRUDED POST SLEEVE	LIGHTING LIMITED 5 YEAR WARRANTY ACCENT LIGHTS (AVAILABLE IN WHITE, MATTE WHITE, AND ARCHITECTURAL BRONZE)	5" x 5", 5.5" x 5.5" LIGHTED ISLAND CAP* 8.32" x 8.32" PROFILE
	PINNACLE RAIL™ 3.5"W x 1.875"H Estimated installation time to install one rail panel 45 Minutes	SOLID SQUARE BALUSTERS CHIPPENDALE TYPE 1 SQUARE WEB				5" x 5", 5.5" x 5.5" POST CAP LIGHT*

* Must be used with Classic Composite Series post sleeve



Driftwood - Reserve Collection
Pinnacle Rail with Square Web Decorative Panel

PVC SERIES POST SLEEVES, POST CAPS, AND POST SKIRTS (for use with Statement or Pinnacle Rail Kits)	
5" Sq x 48" Post Sleeve 3/8" Wall, with Adjustable Shims	TTNEWEL5-EX
5" Sq x 108" Post Sleeve 3/8" Wall, with Adjustable Shims	TTNEWEL5X108-EX
1" x 6-3/4" Plain Flat Post Cap to fit 5" Square Post Sleeve	TTNCFLAT5
Base Post Skirt Ring for 5" Extruded Post Sleeve	TTNBTR5-EX
PVC SERIES HARDWARE	
Statement Series Rail Bracket Kit, 4 Brackets & Screws, for Straight Level Rail Section	ST60BKTSET
Statement Series Stair Rail Bracket Kit, 4 Brackets & Screws, for Stair Rail Section	ST60STAIRSET
Pinnacle Rail Bracket Kit, 4 Brackets & Screws, for Straight Level Rail Section	PN40BKTSET
Pinnacle Stair Rail Bracket Kit, 2 Top Brackets, 2 Bottom Brackets & Screws, for Stair Rail Section	PN40STAIRSET
PVC SERIES GATES (actual gate size = 2" less than gate opening width)	
Statement 2-3/4" Top Reinforced Gate for 36" Wide Opening, 36" Rail Height (actual size 34" x 33-3/8"), Includes Hardware	ST60275G-3636
Statement 2-3/4" Top Reinforced Gate for 42" Wide Opening, 36" Rail Height (actual size 40" x 33-3/8"), Includes Hardware	ST60275G-4236
Pinnacle Flat Top Reinforced Gate for 36" Wide Opening, 36" Rail Height (actual size 34" x 33"), Includes Hardware	PN40350GF-3636
Pinnacle Flat Top Reinforced Gate for 42" Wide Opening, 36" Rail Height (actual size 40" x 33"), Includes Hardware	PN40350GF-4236

CLASSIC COMPOSITE SERIES

With a universal bottom rail, the Classic Composite Series boasts the most customization options, making it easy to create a unique look. With four top rail options, four infills, five colors, and other customizations like lighting, the Classic Composite Series offers homeowners the most design versatility.

25-YEAR LIMITED FADE & STAIN WARRANTY FOR MATTE COLORS

Rest assured your railing will stay richly hued for decades to come — no staining required. We’re proud to offer one of the only 25-year limited fade & stain warranties for composite railing colors in the marketplace.

KITS, PACKS, AND TOP RAILS

Compatible with all profiles in the Classic Composite Series (Premier Railing®, RadianceRail®, Trademark Rail™, and Drink Rail).

PRODUCT DESCRIPTION	TimberTech Item Number				
	WHITE	BLACK	MATTE WHITE	MATTE ESPRESSO	MATTE BLACK
UNIVERSAL RAIL KITS - Kits include 1 Universal Rail, 2 Support Rails, Hardware, Footblocks, and 13 Balusters for 6', 18 Balusters for 8'					
6' Universal Rail Kit	TCU36KIT6W	—	TCU36KIT6MW	—	—
8' Universal Rail Kit	TCU36KIT8W	—	TCU36KIT8MW	—	—
UNIVERSAL RAIL PACKS - Packs include 1 Universal Rail, 2 Support Rails, Hardware, and Footblocks					
6' Universal Rail Pack	TCURP6W	TCURP6B	TCURP6MW	TCURP6ME	TCURP6MB
8' Universal Rail Pack	TCURP8W	TCURP8B	TCURP8MW	TCURP8ME	TCURP8MB
10' Universal Rail Pack	TCURP10W	TCURP10B	TCURP10MW	—	TCURP10MB
6' Custom Universal Rail Pack - Laser Etched	TCURPCUST6W	TCURPCUST6B	TCURPCUST6MW	TCURPCUST6ME	TCURPCUST6MB
8' Custom Universal Rail Pack - Laser Etched	TCURPCUST8W	TCURPCUST8B	TCURPCUST8MW	TCURPCUST8ME	TCURPCUST8MB
10' Custom Universal Rail Pack - Laser Etched	TCURPCUST10W	TCURPCUST10B	TCURPCUST10MW	—	TCURPCUST10MB
PREMIER TOP RAIL					
6' Premier Top Rail	APTR6W	APTR6B	APTR6MW	APTR6ME	APTR6MB
8' Premier Top Rail	APTR8W	APTR8B	APTR8MW	APTR8ME	APTR8MB
10' Premier Top Rail	APTR10W	APTR10B	APTR10MW	—	APTR10MB
RADIANCE RAIL TOP RAIL					
6' RadianceRail Top Rail	TRRTR06W	TRRTR06B	TRRTR06MW	TRRTR06ME	TRRTR06MB
8' RadianceRail Top Rail	TRRTR08W	TRRTR08B	TRRTR08MW	TRRTR08ME	TRRTR08MB
10' RadianceRail Top Rail	TRRTR10W	TRRTR10B	TRRTR10MW	—	TRRTR10MB
TRADEMARK TOP RAIL					
6' Trademark Top Rail	ATTR6W	—	ATTR6MW	—	—
8' Trademark Top Rail	ATTR8W	—	ATTR8MW	—	—
10' Trademark Top Rail	ATTR10W	—	ATTR10MW	—	—
DRINK RAIL (UNIVERSAL BOTTOM RAIL) - Includes Undrilled Rail and Hardware to attach deck board					
6' Universal Rail	UDCUSTCUBR6W	UDCUSTCUBR6B	UDCUSTCUBR6MW	UDCUSTCUBR6ME	UDCUSTCUBR6MB
8' Universal Rail	UDCUSTCUBR8W	UDCUSTCUBR8B	UDCUSTCUBR8MW	UDCUSTCUBR8ME	UDCUSTCUBR8MB
10' Universal Rail	UDCUSTCUBR10W	UDCUSTCUBR10B	UDCUSTCUBR10MW	—	UDCUSTCUBR10MB
TimberTech Item Number					
CLASSIC COMPOSITE SERIES HARDWARE KITS					
Universal Hardware Kit	AZTHWKITRT				
8' Baluster Fastener Kit	AZTFAST8				

Note: A 5.5" x 5.5" post sleeve is required for applications with 45° or other angled cuts when using Premier Rail and Trademark Rail Top Rails. Radiance Top Rail can utilize a 5" x 5" or larger post sleeve when attaching a 45 degree cut.

Drink Rail Guidelines

- Compatible with all full -profile, square-shoulder, standard-width (5.5") deck boards from the TimberTech Advanced PVC and Composite lines. NOT compatible with scalloped boards (i.e., Terrain Collection, Prime Collection & Prime+ Collection®)
 - Narrow width (3.5") boards should be used for between-the-post applications only.
 - Wide width (7.25") boards should be used for over-the-post applications only.
- Compatible with all Classic Composite Series Railing Infills except for glass.
- For over-the-post applications it is important that the deck board used be wide enough to completely cover the top of the post sleeve. For between-the-post applications, any post sleeve sizes work.

Compatible Post Sleeve Size for Over-the-Post Applications	TimberTech Composite Board Width	TimberTech Advanced PVC Board Width
4" x 4"	Standard Width	Standard Width & Wide Width
5" x 5"	N/A	Standard Width & Wide Width
5.5" x 5.5"	N/A	Wide Width



French White Oak - Landmark Collection
Matte White - Classic Composite Series Drink Rail

INFILLS

PRODUCT DESCRIPTION	TimberTech Item Number				
	WHITE	BLACK	MATTE WHITE	MATTE ESPRESSO	MATTE BLACK
COMPOSITE BALUSTERS - 18/Pack					
29" Square Composite Balusters for 36" railing height and stairs	AZT29BALW	AZT29BALB	AZT29BALMW	AZT29BALME	AZT29BALMB
31" Square Composite Balusters for stairs	AZT31BALW	AZT31BALB	AZT31BALMW	AZT31BALME	AZT31BALMB
35" Square Composite Balusters for 42" railing height and stairs	AZT35BALW	AZT35BALB	AZT35BALMW	AZT35BALME	AZT35BALMB
37" Square Composite Balusters for stairs	AZT37BALW	AZT37BALB	AZT37BALMW	AZT37BALME	AZT37BALMB
CABLERAIL KITS BY FEENEY®					
36" CableRail Hardware Kit - 9 Quick-Connect fittings, 9 Quick-Connect swivel fittings, 18 Hanger Bolts, 9 Lock Nuts					AZTCR36HWKIT
42" CableRail Hardware Kit - 11 Quick-Connect fittings, 11 Quick-Connect swivel fittings, 22 Hanger Bolts, 11 Lock Nuts					AZTCR42HWKIT
36" CableRail Intermediate Baluster - 9-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR36BAL
42" CableRail Intermediate Baluster - 11-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR42BAL
36" CableRail Stair Intermediate Baluster - Angled 9-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR36STAIRBAL
42" CableRail Stair Intermediate Baluster - Angled 11-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR42STAIRBAL
CableRail 100' Stainless Steel Cable					AZTCR100CABLE
CableRail 500' Stainless Steel Cable					AZTCR500CABLE
CableRail Accessory Kit					AZTCRACCKIT
CableRail Cutter					AZTCRCUTTER
CableRail Protector Sleeves (20/pack)					AZTCRSLEEVE
CableRail SteelRenewal™ SteelProtect™ Combo					AZTCRSRSPC
GLASS CHANNEL KITS *Glass infills are not compatible with Drink Rail top rail option.					
6' Glass Channel Kit White - Glass Panel Sourced Locally					AZTGLASS6W
6' Glass Channel Kit Black - Glass Panel Sourced Locally					AZTGLASS6B
ALUMINUM BALUSTERS - 20/Pack	BLACK ROUND	BLACK ROUND STAIR	BLACK SQUARE	BLACK SQUARE STAIR	
29" Aluminum Baluster for 36" rail height	AZT29RABALB	—	AZT29SABALB	—	
31" Aluminum Baluster for 36" rail height and stairs	AZT31RABALB	AZT31RASTAIRBALB	AZT31SABALB	AZT31SASTAIRBALB	
35" Aluminum Baluster for 42" rail height	AZT35RABALB	—	AZT35SABALB	—	
37" Aluminum Baluster for 42" rail height and stairs	AZT37RABALB	AZT37RASTAIRBALB	AZT37SABALB	AZT37SASTAIRBALB	

Required number of Balusters for Composite: 23 per 10' section, 18 per 8' section, 13 per 6' section.
Required number of Balusters for Aluminum: 25 per 10' section, 20 per 8' section, 15 per 6' section.

POST SLEEVES, CAPS, SKIRTS

PRODUCT DESCRIPTION	TimberTech Item Number				
	WHITE	BLACK	MATTE WHITE	MATTE ESPRESSO	MATTE BLACK
POST SLEEVES					
4" x 4" x 39" Post Sleeve	AZT4X4PCV39W	AZT4X4PCV39B	AZT4X4PCV39MW	AZT4X4PCV39ME	AZT4X4PCV39MB
4" x 4" x 96" Post Sleeve	AZT4X4PCV96W	AZT4X4PCV96B	AZT4X4PCV96MW	AZT4X4PCV96ME	AZT4X4PCV96MB
5" x 5" x 42" Post Sleeve	T5X5PCV42W	T5X5PCV42B	T5X5PCV42MW	T5X5PCV42ME	T5X5PCV42MB
5" x 5" x 144" Post Sleeve	T5X5PCV144W	T5X5PCV144B	T5X5PCV144MW	T5X5PCV144ME	T5X5PCV144MB
5.5" x 5.5" x 39" Post Sleeve	A55X55PCV39W	A55X55PCV39B	A55X55PCV39MW	A55X55PCV39ME	A55X55PCV39MB
5.5" x 5.5" x 54" Post Sleeve	A55X55PCV54W	A55X55PCV54B	A55X55PCV54MW	A55X55PCV54ME	A55X55PCV54MB
5.5" x 5.5" x 144" Post Sleeve	A55X55PCV144W	A55X55PCV144B	A55X55PCV144MW	A55X55PCV144ME	A55X55PCV144MB
POST CAPS AND SKIRTS					
4" x 4" Post Cap	TX4X4PCAPW	TX4X4PCAPB	TX4X4PCAPMW	TX4X4PCAPME	TX4X4PCAPMB
4" x 4" Island Cap	TX4X4ICAPW	TX4X4ICAPB	TX4X4ICAPMW	TX4X4ICAPME	TX4X4ICAPMB
4" x 4" Post Skirt	AZT4X4PSKIRTW	AZT4X4PSKIRTB	AZT4X4PSKIRTMW	AZT4X4PSKIRTME	AZT4X4PSKIRTMB
5" x 5" Post Cap	T5X5PCAPW	T5X5PCAPB	T5X5PCAPMW	T5X5PCAPME	T5X5PCAPMB
5" x 5" Post Skirt	T5X5PSKIRTW	T5X5PSKIRTB	T5X5PSKIRTMW	T5X5PSKIRTME	T5X5PSKIRTMB
5.5" x 5.5" Pyramid Cap	A55X55PCAPW	A55X55PCAPB	A55X55PCAPMW	A55X55PCAPME	A55X55PCAPMB
5.5" x 5.5" Island Cap	A55X55ICAPW	A55X55ICAPB	A55X55ICAPMW	A55X55ICAPME	A55X55ICAPMB
5.5" x 5.5" Post Skirt	A55X55PSKIRTW	A55X55PSKIRTB	A55X55PSKIRTMW	A55X55PSKIRTME	A55X55PSKIRTMB

A 5.5" x 5.5" post sleeve is required for applications with 45° or other angled cuts.

SUPPORT RAILS

PRODUCT DESCRIPTION	TimberTech Item Number			
	WHITE	BLACK	MATTE ESPRESSO	MATTE BLACK
CUSTOM SUPPORT RAILS - Laser-Etched for Aluminum Balusters				
8' Custom Support Rails	AZTBULKSR8W	AZTBULKSR8B	AZTBULKSR8ME	—
CUSTOM SUPPORT RAILS - Blank for 10' Bottom Support Rails				
10' Custom Support Rails	AZTBULKUDSR10W	AZTBULKUDSR10B	—	—
ALUMINUM SUPPORT RAILS - Drilled for Composite Balusters				
10' Aluminum Support Rails	AZTBULKSR10W	AZTBULKSR10B	—	—
CUSTOM ALUMINUM SUPPORT RAILS - Marked for Aluminum Balusters				
10' Custom Aluminum Support Rails	AZTBULKCUSTSR10W	AZTBULKCUSTSR10B	—	—



Whitewash Cedar - Legacy Collection
Classic Composite Series Drink Rail



Dark Hickory - Vintage Collection
Classic Composite Series Premier Rail

HOW TO ORDER
CLASSIC COMPOSITE SERIES

1. STYLES AND COLORS



PREMIER RAILING®
3.5"W x 2.7"H



RADIANCERAIL®
2.9"W x 2.9"H



TRADEMARK RAIL™
3.5"W x 2.7"H
ONLY AVAILABLE IN WHITE
AND MATTE WHITE

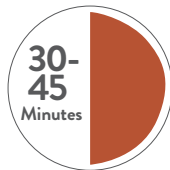
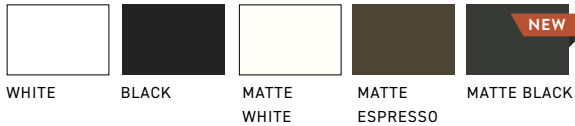


DRINK RAIL
COMPATIBLE WITH
NARROW, STANDARD,
AND WIDE WIDTH
BOARDS

- TIMBERTECH PVC
BOARDS
5.5"W x 1"H
- TIMBERTECH
COMPOSITE BOARDS
5.36"W x .94"H

COLOR OPTIONS

Matte colors also include a 25-Year
Fade & Stain Limited Warranty



Estimated installation time to install one rail panel

2. INFILLS

1.25" x 1.25" COMPOSITE



.75" x .75" ALUMINUM
ROUND AND SQUARE (BLACK ONLY)



*GLASS CHANNEL
TO FIT 1/4" TEMPERED GLASS



*CABLERAIL



* GLASS SOLD SEPARATELY.

3. POSTS SLEEVES

AVAILABLE IN
4" x 4"
5" x 5"
5.5" x 5.5"
6" x 6" (WHITE
ONLY)



CAPS AND SKIRTS

4" x 4" CAP
5.63" x 5.63" PROFILE



4" x 4" ISLAND CAP
7.1" x 7.1" PROFILE



5" x 5" CAP
7.11" x 7.11" PROFILE



5.5" x 5.5" ISLAND CAP
8.32" x 8.32" PROFILE



5.5" x 5.5" PYRAMID CAP
8.32" x 8.32" PROFILE



6" x 6" ISLAND CAP (WHITE ONLY)



4" x 4" SKIRT
5.42" x 5.42" PROFILE



5" x 5" SKIRT
6.36" x 6.36" PROFILE



5.5" x 5.5" SKIRT
8.0" x 8.0" PROFILE



6" x 6" SKIRT (WHITE ONLY)



LIGHTING

5.5" x 5.5" LIGHTED ISLAND CAP
8.32" x 8.32" PROFILE



4" x 4", 5" x 5", 5.5" x 5.5"
POST CAP LIGHT



ACCENT LIGHTS
(AVAILABLE IN WHITE, MATTE WHITE,
OR ARCHITECTURAL BRONZE)



UNDER RAIL LIGHTS



RADIANCERAIL EXPRESS®

Made from a mix of recycled wood and plastic fibers, TimberTech composite railing boasts superior durability to wood, while being extremely low maintenance. Enjoy easy ordering and installation with the Smart Set Kit — it has everything you need to build the railing in one kit.



PRODUCT DESCRIPTION	TimberTech Model Number		
	WHITE	BLACK	KONA
RADIANCERAIL EXPRESS SMART SETS - Includes Top & Bottom Rail, 4" x 4" Post Sleeve, 4" Post Cap, 4" Post Skirt, Hardware, Footblocks, Gaskets, 13 Balusters for 6', 18 Balusters for 8'			
6' RadianceRail Express Smart Set	TXSS6W	—	—
6' RadianceRail Express Stair Smart Set	TXSS6W	—	—
8' RadianceRail Express Smart Set	TXSS8W	—	—
8' RadianceRail Express Stair Smart Set	TXSS8W	—	—
RADIANCERAIL EXPRESS PACKS Packs include Top and Bottom Rail, Hardware, Gaskets, and Footblocks			
6' RadianceRail Express Pack	TXRP6W	TXRP6B	TXRP6K
8' RadianceRail Express Pack	TXRP8W	TXRP8B	TXRP8K
RADIANCERAIL EXPRESS STAIR PACKS Packs include Top and Bottom Rail, Hardware, and Footblocks			
8' RadianceRail Express Stair Pack	TXSRP8W	TXSRP8B	TXSRP8K
RADIANCERAIL EXPRESS ROUND ALUMINUM BALUSTER (RAB) RAIL PACKS Packs include Top and Bottom Rail, Hardware, Gaskets, and Footblocks			
6' RadianceRail Express RAB Pack	TXRPAB6W	TXRPAB6B	TXRPAB6K
8' RadianceRail Express RAB Pack	TXRPAB8W	TXRPAB8B	TXRPAB8K
RADIANCERAIL EXPRESS ROUND ALUMINUM BALUSTER (RAB) STAIR PACKS Packs include Top and Bottom Rail, Hardware, and Footblocks			
8' RadianceRail Express RAB Stair Pack	TXSRPAB8W	TXSRPAB8B	TXSRPAB8K



The Smart Set makes ordering and installation easier by bundling all the railing components together in a single kit. Only available in White with composite balusters in 36" finished rail height.

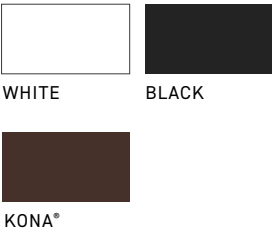
Rail Packs are available in different lengths for level and stair applications with baluster options to accommodate a 36" or 42" railing height. RadianceRail Express pairs well with 4" x 4" Post Sleeve.

RadianceRail Express gaskets are included with the level Rail Packs, and RadianceRail Express hardware is included in all Rail Packs. Hardware and gaskets are also offered separately for installing two shorter sections while using one Rail Pack and for replacements.

HOW TO ORDER

1. STYLES AND COLORS

COLOR OPTIONS

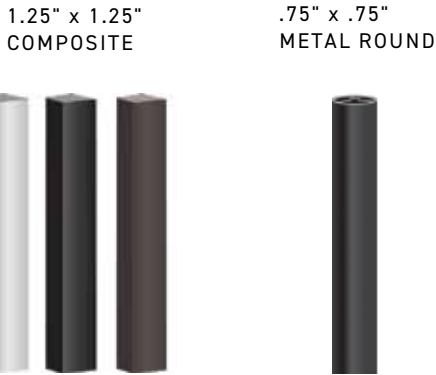


2.7"W x 2.4"H



Estimated installation time to install one rail panel

2. INFILLS



3. POSTS SLEEVES

AVAILABLE IN 4" x 4"



CAPS AND SKIRTS

4" x 4" CAP
5.63" x 5.63" PROFILE



4" x 4" ISLAND CAP
7.1" x 7.1" PROFILE



4" x 4" SKIRT
5.42" x 5.42" PROFILE



LIGHTING

ACCENT LIGHTS
(AVAILABLE IN WHITE, MATTE WHITE, AND ARCHITECTURAL BRONZE)



4" x 4" POST CAP LIGHT



- Required number of composite balusters for level applications: 18 per 8' section, 13 per 6' section.
 - Required number of composite balusters for stairs: 14 per 8' section, 11 per 6' section.
 - Required number of round aluminum balusters for level applications: 20 per 8' section, 15 per 6' section.
 - Required number of round aluminum balusters for stairs: 20 per 8' section, 15 per 6' section.
- Additional Post Sleeves, Post Caps, and Post Skirts may be purchased separately if needed.

IMPRESSION RAIL EXPRESS®

Lean into a minimalist railing profile with this pre-assembled aluminum panel that keeps sightlines clear and install time short. Sleek, strong, and minimalist, this railing profile features hidden fasteners and fades into the background to keep the stunning view as the star of any outdoor living space.



LEVEL AND STAIR PANEL KITS

PRODUCT DESCRIPTION	TimberTech Item Number		
	WHITE	BLACK	DARK BRONZE
IMPRESSION RAIL EXPRESS UNIVERSAL BALUSTER PANEL KITS Kits include Baluster Panel, Bottom Rail Cover, Hardware, Brackets, and Footblock			
36" 6' Level Universal Baluster Panel - 15 Balusters (actual length 69.4")	AZTIX36UNLP6W	AZTIX36UNLP6B	AZTIX36UNLP6BR
42" 6' Level Universal Baluster Panel - 15 Balusters (actual length 69.4")	AZTIX42UNLP6W	AZTIX42UNLP6B	AZTIX42UNLP6BR
36" 8' Level Universal Baluster Panel - 20 Balusters (actual length 91.3")	AZTIX36UNLP8W	AZTIX36UNLP8B	AZTIX36UNLP8BR
42" 8' Level Universal Baluster Panel - 20 Balusters (actual length 91.3")	AZTIX42UNLP8W	AZTIX42UNLP8B	AZTIX42UNLP8BR
IMPRESSION RAIL EXPRESS UNIVERSAL BALUSTER PANEL STAIR KITS Kits include Baluster Panel, Bottom Rail Cover, Hardware, and Brackets			
36" 6' Stair Rail Panel - 15 Baluster Panel	AZTIX36UNSP6W	AZTIX36UNSP6B	AZTIX36UNSP6BR
42" 6' Stair Rail Panel - 15 Baluster Panel	AZTIX42UNSP6W	AZTIX42UNSP6B	AZTIX42UNSP6BR
36" 8' Stair Rail Panel - 20 Baluster Panel	AZTIX36UNSP8W	AZTIX36UNSP8B	AZTIX36UNSP8BR
42" 8' Stair Rail Panel - 20 Baluster Panel	AZTIX42UNSP8W	AZTIX42UNSP8B	AZTIX42UNSP8BR
IMPRESSION RAIL EXPRESS VERTICAL CABLE RAILING KITS* Kits include Vertical Cable Railing Section, Universal Panel Cover, Hardware, and Footblock (TOP RAIL NOT INCLUDED)			
36" 6' Level Vertical Cable Railing Section-19 Cables (actual length 69.4")	AZTIX36VCLP6W	AZTIX36VCLP6B	AZTIX36VCLP6BR
42" 6' Level Vertical Cable Railing Section-19 Cables (actual length 69.4")	AZTIX42VCLP6W	AZTIX42VCLP6B	AZTIX42VCLP6BR
36" 8' Level Vertical Cable Railing Section-25 Cables (actual length 91.3")	AZTIX36VCLP8W	AZTIX36VCLP8B	AZTIX36VCLP8BR
42" 8' Level Vertical Cable Railing Section-25 Cables (actual length 91.3")	AZTIX42VCLP8W	AZTIX42VCLP8B	AZTIX42VCLP8BR
IMPRESSION RAIL EXPRESS VERTICAL CABLE RAILING STAIR KITS* Kits include Vertical Cable Railing Section, Universal Panel Cover, Hardware, and Footblock (TOP RAIL NOT INCLUDED)			
36" 6' Stair Vertical Cable Railing Section-19 Cables	AZTIX36VCSP6W	AZTIX36VCSP6B	AZTIX36VCSP6BR
42" 6' Stair Vertical Cable Railing Section-19 Cables	AZTIX42VCSP6W	AZTIX42VCSP6B	AZTIX42VCSP6BR

*System designed for use with residential applications only

Universal Rail Panels include baluster panel, bottom rail, and hardware to fasten railing to posts.

3" post kits include cap and skirt. 2" posts kits include bracket to run rail over the post and skirt.

Comes with level and stair crossover bracket.

TOP RAIL

PRODUCT DESCRIPTION	TimberTech Item Number		
	WHITE	BLACK	DARK BRONZE
IMPRESSION RAIL EXPRESS CLASSIC TOP RAIL			
6' Impression Rail Express Classic Top Rail	AZTIXCSTR6W	AZTIXCSTR6B	AZTIXCSTR6BR
8' Impression Rail Express Classic Top Rail	AZTIXCSTR8W	AZTIXCSTR8B	AZTIXCSTR8BR
18' Impression Rail Express Classic Top Rail (For use with 2" over-the-post post kits between panels)	AZTBULKIXTR18W	AZTBULKIXTR18B	AZTBULKIXTR18BR
IMPRESSION RAIL EXPRESS MODERN TOP RAIL			
6' Impression Rail Express Modern Top Rail	AZTIXMDTR6W	AZTIXMDTR6B	AZTIXMDTR6BR
8' Impression Rail Express Modern Top Rail	AZTIXMDTR8W	AZTIXMDTR8B	AZTIXMDTR8BR
18' Impression Rail Express Modern Top Rail (For use with 2" over-the-post post kits between panels)	AZTIXBMDTR18W	AZTIXBMDTR18B	AZTIXBMDTR18BR
IMPRESSION RAIL EXPRESS DRINK RAIL (Not compatible with Glass Infill panels)			
6' Impression Rail Express Universal Panel Cover for Drink Rail, Open Mid-Rail, or replacement Bottom Snap	AZTBULKIXBR6W	AZTBULKIXBR6B	AZTIXMDTR6BR
8' Impression Rail Express Universal Panel Cover for Drink Rail, Open Mid-Rail, or replacement Bottom Snap	AZTBULKIXBR8W	AZTBULKIXBR8B	AZTBULKIXBR8BR
Impression Rail Express Drink Rail Kit, including 12 clips with screws (4 clips needed per 6' section, 6 clips needed per 8' section)	AZTIXDRCKITW	AZTIXDRCKITB	AZTIXDRCKITBR
Impression Rail Express Drink Rail 3" Post Insert - 8 pack	AZTIX3X3PPLG		



Impression Rail Express Modern Top Rail

ACCESSORIES, TOOLS, AND BRACKETS

PRODUCT DESCRIPTION	TimberTech Item Number		
	WHITE	BLACK	DARK BRONZE
Touch-Up Paint and Bracket Jig - ORDER AT LEAST 1 PER JOB	AZTIXACCKITW	AZTIXACCKITB	AZTIXACCKITBR
Wall Mount Kit (Classic)	AZTIXWBKTKITW	AZTIXWBKTKITB	AZTIXWBKTKITBR
Wall Mount Kit (Modern)	AZTIXMWBKTKITW	AZTIXMWBKTKITB	AZTIXMWBKTKITBR
3" Post Skirt Set	AZTIX3X3PSKIRTW	AZTIX3X3PSKIRTB	AZTIX3X3PSKIRTBR
Post Cap for 3" Post	AZTIX3X3PCAPW	AZTIX3X3PCAPB	AZTIX3X3PCAPZ
2" Post Skirt Set	AZTIX2X2PSKIRTW	AZTIX2X2PSKIRTB	AZTIX2X2PSKIRTZ
Footblock Kit	AZTIXFBKITW	AZTIXFBKITB	AZTIXFBKITZ
Extra Bracket Kit Level and Stair	AZTIXBKTKIT		
Level 22.5° Angle Bracket Kit	AZTIXBKT22KIT		
Level 45° Angle Wall Bracket Kit	AZTIXWBKT45KIT		

POST KITS, GLASS KITS, AND MID-RAIL ITEMS

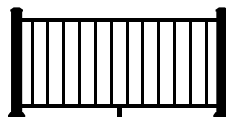
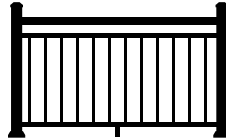
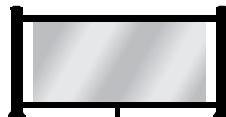
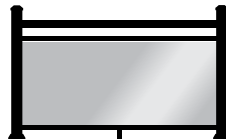
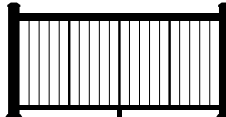
PRODUCT DESCRIPTION	TimberTech Item Number		
	WHITE	BLACK	DARK BRONZE
IMPRESSION RAIL EXPRESS STANDARD 3" POST KIT - Includes Post, Cap, and Skirt			
38" x 3" x 3" Post Kit	AZTIX3X3PK38W	AZTIX3X3PK38B	AZTIX3X3PK38BR
43" x 3" x 3" Post Kit	AZTIX3X3PK43W	AZTIX3X3PK43B	AZTIX3X3PK43BR
48" x 3" x 3" Post Kit	AZTIX3X3PK48W	AZTIX3X3PK48B	AZTIX3X3PK48BR
IMPRESSION RAIL EXPRESS OVER-THE-POST 2" POST KIT			
36" x 2" x 2" Over-the-Post Bracket & Skirt	AZTIX2X2PK36W	AZTIX2X2PK36B	AZTIX2X2PK36BR
42" x 2" x 2" Over-the-Post Bracket & Skirt	AZTIX2X2PK42W	AZTIX2X2PK42B	AZTIX2X2PK42BR
IMPRESSION RAIL EXPRESS 4" POST COMPONENTS			
4" x 39" Post Sleeve	AZTIX4X4PS39W	AZTIX4X4PS39B	AZTIX4X4PS39BR
4" x 48" Post Sleeve	AZTIX4X4PS48W	AZTIX4X4PS48B	AZTIX4X4PS48BR
4" x 108" Post Sleeve	AZTIX4X4PS108W	AZTIX4X4PS108B	AZTIX4X4PS108BR
4" Post Cap	AZTIX4X4PCW	AZTIX4X4PCB	AZTIX4X4PCBR
4" Post Skirt (2-piece polymer-based skirt)	AZTIX4X4PSKW	AZTIX4X4PSKB	AZTIX4X4PSKBR
IMPRESSION RAIL EXPRESS FASCIA MOUNT POST AND BRACKET KIT			
Fascia Mount 52" Post Kit - Post, Cap & Base Insert	AZTIX3X3FP52W	AZTIX3X3FP52B	AZTIX3X3FP52B
Fascia Mount Bracket Kit Straight	AZTIX3X3FBSW	AZTIX3X3FBSB	AZTIX3X3FBSBR
Fascia Mount Bracket Outside	AZTIX3X3FBOCW	AZTIX3X3FBOCB	AZTIX3X3FBOCBR
Fascia Mount Bracket Inside Corner	AZTIX3X3FBICW	AZTIX3X3FBICB	AZTIX3X3FBICBR
IMPRESSION RAIL EXPRESS GLASS KITS - Includes Top and Bottom Support Rails, Glass Channels, Mounting Hardware & Footblock (1/4" Tempered Glass sold separately)			
6' Level Rail Glass Panel Channel Kit (can be 36" or 42")	AZTIXGLASSPLK6W	AZTIXGLASSPLK6B	AZTIXGLASSPLK6BR
IRX Glass Panel Bracket Kit	AZTIXGBTKITW	AZTIXGBTKITB	AZTIXGBTKITBR
IRX Glass Glass Level 22½" Bracket Kit	AZTIXGBT22KITW	AZTIXGBT22KITB	AZTIXGBT22KITBR
IMPRESSION RAIL EXPRESS OPEN MID-RAIL ITEMS - For 42" Open Mid-Rail use a 36" Panel, select a top rail. One extra hardware pack for every two sections of open Mid-Rail.			
6' Universal Rail Cover	AZTBULKIXBR6W	AZTBULKIXBR6B	AZTBULKIXBR6BR
6' Unpunched H-Channel	AZTBULKIXCHN6W	AZTBULKIXCHN6B	AZTBULKIXCHN6BR
8' Universal Rail Cover	AZTBULKIXBR8W	AZTBULKIXBR8B	AZTBULKIXBR8BR
8' Unpunched H-Channel	AZTBULKIXCHN8W	AZTBULKIXCHN8B	AZTBULKIXCHN8BR

DECORATIVE COLLARS

PRODUCT DESCRIPTION	TimberTech Model Number		
	WHITE	BLACK	DARK BRONZE
DECORATIVE COLLARS			
Level Decorative Collar Kit - Classic (2 Top Rail & 2 Bottom Rail Collars)	AZTIXLCVRKITW	AZTIXLCVRKITB	AZTIXLCVRKITBR
35° Stair Decorative Collar Kit - Classic (2 Top Rail & 2 Bottom Rail Collars)	AZTIXSCVRKITW	AZTIXSCVRKITB	AZTIXSCVRKITBR
Level Classic Top Rail Decorative Collar Bulk (30 Classic Top Rail Collars)	AZTIXLTCVR30W	AZTIXLTCVR30B	AZTIXLTCVR30BR
35° Stair Classic Top Rail Decorative Collar Bulk (30 Classic Top Rail Collars)	AZTIXSTCVR30W	AZTIXSTCVR30B	AZTIXSTCVR30BR
Level Decorative Collar Kit - Modern (2 Top Rail & 2 Bottom Rail Collars)	AZTIXLMDCKITW	AZTIXLMDCKITB	AZTIXLMDCKITBR
35° Stair Decorative Collar Kit - Modern (2 Top Rail & 2 Bottom Rail Collars)	AZTIXSMDCKITW	AZTIXSMDCKITB	AZTIXSMDCKITBR
Level Modern Top Rail Decorative Collar Bulk (30 Modern Top Rail Collars)	AZTIXLTMDDC30W	AZTIXLTMDDC30B	AZTIXLTMDDC30BR
35° Stair Modern Top Rail Decorative Collar Bulk (30 Modern Top Rail Collars)	AZTIXSTMDDC30W	AZTIXSTMDDC30B	AZTIXSTMDDC30BR
Level Bottom Rail Decorative Collar Bulk (30 Bottom Rail Collars)	AZTIXLBCVR30W	AZTIXLBCVR30B	AZTIXLBCVR30BR
35° Stair Bottom Rail Decorative Collar Bulk (30 Bottom Rail Collars)	AZTIXSBCVR30W	AZTIXSBCVR30B	AZTIXSBCVR30BR



HOW TO ORDER
IMPRESSION RAIL EXPRESS® SERIES

1. STYLES AND COLORS		2. INFILLS	3. POSTS SLEEVES	CAPS AND SKIRTS	LIGHTING
COLOR OPTIONS WHITE BLACK DARK BRONZE 10 Minutes Estimated installation time to install one rail panel The Drink Rail system works with all full-profile standard or narrow square-shouldered deck boards, but NOT with wide width decking or scalloped boards (i.e., Terrain, Prime, Prime+, or ReliaBoard). Drink Rail cannot be used with glass infill. Only use 3" posts with the Drink Rail System including in over-the-post applications.	CLASSIC 2.5" x 2.3"  MODERN 2.25" x 1.8"  DRINK RAIL 2.7" x 5.5" 	ALUMINUM BALUSTERS RECTANGULAR ONLY  ALUMINUM BALUSTERS WITH OPEN MID-RAIL  GLASS CHANNEL KIT GLASS NOT INCLUDED  GLASS CHANNEL KIT WITH OPEN MID-RAIL  VERTICAL CABLE RAIL 	FOR 3" POST APPLICATIONS 3" x 3" POST  FOR OVER-THE-POST APPLICATIONS WITH 18' CLASSIC OR MODERN TOP RAIL  FOR 4" POST APPLICATIONS 4" x 4" POST SLEEVE  Requires a 4 x 4 wood post	3" x 3" CAP 3.39" x 3.39" PROFILE  3" x 3" SKIRT 5.38" x 5.38" PROFILE  2" x 2" SKIRT 3.88" x 3.88" PROFILE  4" x 4" CAP 4.4" x 4.4" PROFILE  4" x 4" SKIRT 5.38" x 5.38" PROFILE 	LIGHTING LIMITED 5 YEAR WARRANTY 3" x 3" INDIRECT LIGHT POST CAP  3" x 3" PERIMETER LIGHT POST CAP 



LIGHTING & ACCESSORIES

Help set the mood and improve functionality with in-deck and rail lighting from TimberTech. These durable, stylish designs can be incorporated into nearly any part of the deck layout for curated lighting.



LIGHTING OPTIONS

PRODUCT DESCRIPTION	TimberTech Item Number
IMPRESSION RAIL EXPRESS® LIGHTING	
3" x 3" Perimeter Light Post Cap - Black	AZTIXLIGPCB
3" x 3" Perimeter Light Post Cap - White	AZTIXLIGPCW
3" x 3" Perimeter Light Post Cap - Dark Bronze	AZTIXLIGPCBR
3" x 3" Indirect Light Post Cap - Black	AZTIXLIGDCB
3" x 3" Indirect Light Post Cap - White	AZTIXLIGDCW
3" x 3" Indirect Light Post Cap - Dark Bronze	AZTIXLIGDCBR
CLASSIC COMPOSITE SERIES RAIL LIGHTING	
4" x 4" LED Post Cap Light	TDL4X4CAPMOD
5" x 5" LED Post Cap Light	TDL5X5CAPMOD
5½" x 5½" LED Post Cap Light	ADL5X5S5CAPMOD
5½" x 5½" LED Lighted Island Cap - Black	ADL5X5S5ICAPMODB
5½" x 5½" LED Lighted Island Cap - White	ADL5X5S5ICAPMODW
5½" x 5½" LED Lighted Island Cap - Matte White	ADL5X5S5ICAPMODMW
5½" x 5½" LED Lighted Island Cap - Matte Espresso	ADL5X5S5ICAPMODME
5½" x 5½" LED Lighted Island Cap - Matte Black	ADL5X5S5ICAPMODMB
LED Accent Light - Architectural Bronze	AZTDLLEDACCB
LED Accent Light - White	AZTDLLEDACCW
LED Accent Light - Matte White	AZTDLLEDACCMW
LED Under Rail Light - 4/pack	AZTDLLEDURAIL
DECK LIGHTING	
LED In-Deck Light - Architectural Bronze - 4/pack	AZTDLLEDINDECK
LED Riser Light - Architectural Bronze	AZTDLLEDRISERB
LED Riser Light - White	AZTDLLEDRISERW
150W PowerPack/Dimmer	AZTDLI50PP
100W Transformer for LED Lighting (12 volt)	AZTDLI00TRAN
16/2 100' wire for LED Lighting	AZTDLLEDWIRE



INDIRECT LIGHT POST CAP
FOR IMPRESSION RAIL EXPRESS ONLY
3 COLORS AVAILABLE



PERIMETER POST CAP
FOR IMPRESSION RAIL EXPRESS ONLY
3 COLORS AVAILABLE



5.5" x 5.5" LED POST CAP LIGHT
3 SIZES AVAILABLE



5.5" x 5.5" LED LIGHTED ISLAND CAP
5 COLORS AVAILABLE



LED ACCENT LIGHT WHITE
3 COLORS AVAILABLE



LED UNDER RAIL LIGHT 4/PACK
AZTDLLEDURAIL



LED RISER LIGHT
2 COLORS AVAILABLE



LED IN-DECK LIGHT BRONZE 4/PACK
AZTDLLEDINDECKG2

CABLERAIL ACCESSORIES for Classic Composite Series

Bring industrial-chic style to any deck with stainless steel cable infills, compatible with Classic Composite Series. With their barely-there design, cable rail creates clear sightlines for a nearly unobstructed view.

ACCESSORIES

PRODUCT DESCRIPTION	TimberTech Item Number
CABLERAIL ACCESSORIES	
CableRail Accessory Kit Includes Hanger Bolt, Install Tool, Quick-Connect® Release Tool, and Lacing Needle	AZTCRACCKIT
CableRail Cable Cutter	AZTCRCUTTER
CableRail Protector Sleeves - 20 per pack	AZTCRSLEEVE
CableRail Steelrenewal™ Steelprotect™ combo	AZTCRSRSPC

TOOLS ARE NECESSARY FOR A QUICK, EASY INSTALL OF CABLERAIL. PROTECTOR SLEEVES PROVIDE EXTRA DETAIL TO THE CABLERAIL SYSTEM.



CABLERAIL ACCESSORY KIT
AZTCRACCKIT
Includes Hanger Bolt
Install tool, Quick-Connect®
Release tool, and lacing needle.



CABLERAIL CABLE CUTTER*
AZTCRCUTTER
Cable Rail Cutter:
To cut 1/8" Stainless Steel Cable.
* Can be used for Impression Rail Express
Vertical Cable Rail.



CABLERAIL PROTECTOR SLEEVES
AZTCRSLEEVE
20 per pack.



CABLERAIL STEELRENEWAL™
STEELPROTECT™ COMBO*
AZTCRSRSPC
*Can be used for Impression Rail Express
Vertical Cable Rail.

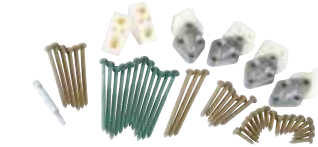
HARDWARE KITS & SECURE MOUNT POST

For secure fastening and installation, choose the TimberTech Composite Hardware Kits and Secure Mount Post.

HARDWARE KITS

PRODUCT DESCRIPTION	TimberTech Item Number
HARDWARE KITS	
Universal Hardware Kit Additional hardware compatible with Radiance Rail, Premier, Trademark, and Reserve.	AZTHWKITRT
8' Baluster Fastener Kit	AZTFAST8

FOR RADIANCE RAIL EXPRESS HARDWARE SEE PAGE 14. FOR IMPRESSION RAIL EXPRESS HARDWARE, SEE PAGE 16.



UNIVERSAL HARDWARE KIT
AZTHWKITRT
Additional hardware compatible with
RadianceRail, Premier, Trademark,
and Reserve.



8' BALUSTER FASTENER KIT
AZTFAST8



4" SECURE MOUNT POST AND 6" ADAPTER
AZTSMP3642
Residential compliant only when used
with wood substructure.



DECK MOUNT KIT
AZTSMPDMK
For use under deck with
secure mount post.

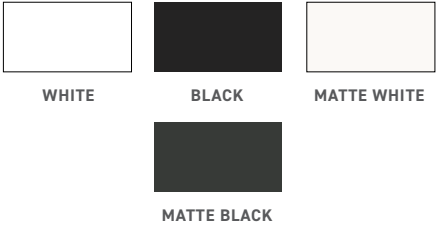
GATE KITS

Keep kids and furry friends safely on the deck by blocking off stairs with gate kits designed for composite and metal railings.



UNIVERSAL GATE KIT

- For use with the Classic Composite Series
- Does not include top rail, bottom rail, or balusters
- Maximum width opening: 48"



PRODUCT DESCRIPTION	TimberTech Item Number			
	WHITE	BLACK	MATTE WHITE	MATTE BLACK
UNIVERSAL GATE KIT - For use with Classic Composite Series				
36" Universal Gate Kit	AZTGATEW	AZTGATEW	AZTGATEMW	AZTGATEMB



IMPRESSION RAIL EXPRESS® GATE KIT

- For 36" or 42" railing heights
- Available in White, Black, or Dark Bronze
- Maximum width opening: 50"

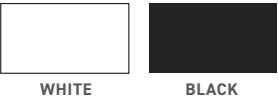


PRODUCT DESCRIPTION	TimberTech Item Number		
	WHITE	BLACK	DARK BRONZE
IMPRESSION RAIL EXPRESS GATE KIT - Kit includes Panel, Top and Bottom Channel Covers, Latch and Hinge Kit (for up to 50" openings)			
36" IRX Gate Kit	AZTIXGATE36W	AZTIXGATE36B	AZTIXGATE36BR
42" IRX Gate Kit	AZTIXGATE42W	AZTIXGATE42B	AZTIXGATE42BR

ADA HANDRAIL

Ensure greater safety and accessibility with an ADA-compliant handrail.

- ADA-compliant handrail system with aluminum reinforcement to reduce bowing and provide enduring strength
- Adjustable joiners to accommodate any transition
- Installs easily with no special tools required



COMPOSITE ADA HANDRAIL

PRODUCT DESCRIPTION	TimberTech Item Number	
	WHITE	BLACK
COMPOSITE ADA HANDRAIL		
ADA 104" Grab Rail	AZTADA104RSAW	AZTADA104RSAB
ADA 90° Corner with Joiners	AZTADA90DCWJW	AZTADA90DCWJB
ADA 90° Inside Corner Bracket	AZTADA90DICBW	AZTADA90DICBB
ADA Grab Rail End Cap - 4/pack	AZTADARECW	AZTADARECB
ADA Hand Rail Bracket Kit	AZTADAHRBKW	AZTADAHRBKB
ADA Handicap Loop	AZTADAHLW	AZTADAHLB
ADA Joint Ring - 4/pack	AZTADAJRW	AZTADAJRB
ADA Post Return	AZTADAPRW	AZTADAPRB
ADA Rail End Cap - 4/pack	AZTADARECW	AZTADARECB
ADA Straight Wall Return Kit	AZTADASWRKW	AZTADASWRKB
ADA Wall Return Cover Plate - 4/pack	AZTADAWRCPW	AZTADAWRCPB
ADA Wall Return with Joiner, Cover, and Plate	AZTADAWRCPWJW	AZTADAWRCPWJB
ADA External Adjustable Joiner	AZTADAEAJW	AZTADAEAJB
TimberTech Item Number		
ADA Straight Joiner - 4/pack	AZTADASJ	
ADA Adjustable Joiner - 4/pack	AZTADAAJ	

METAL ADA HANDRAIL

PRODUCT DESCRIPTION	TimberTech Item Number		
	WHITE	BLACK	DARK BRONZE
ADA HANDRAIL FOR IMPRESSION RAIL EXPRESS® - Kits include all the components for the most common ADA Handrail applications. Combine kits for a custom application.			
Aluminum ADA Pipe Rail and 90° Return Kit Black (2 Wall Return Brackets, 1.5" x 94" Aluminum Railing; 2 Backer Plates, Hardware, Rings, and Covers)	AZTIXADAPR90DRKW	AZTIXADAPR90DRKB	AZTIXADAPR90DRKBR
Aluminum ADA Pipe Rail Extension Kit (2 Support Brackets, 1.5" x 94" Aluminum Railing; 2 Backer Plates, Hardware, Connectors, and Covers)	AZTIXADAPREKW	AZTIXADAPREKB	AZTIXADAPREKBR
Aluminum ADA Handicap Loop Kit (2 "D" Loops, 1 Support Brackets; 2 Adjustable Joiners, 2 Backer Plates, Hardware, Connectors, and Covers)	AZTIXADAHLKW	AZTIXADAHLKB	AZTIXADAHLKBR
Aluminum ADA 90° Wall Return Kit (2 Wall Return Brackets, Hardware, Rings, Covers, and Backer Plates)	AZTIXADA90DRKW	AZTIXADA90DRKB	AZTIXADA90DRKBR
Aluminum ADA Support Bracket - 1 Support Bracket & Hardware	AZTIXADAMSBW	AZTIXADAMSBB	AZTIXADAMSBBR
Aluminum ADA Adjustable Elbow	AZTIXADAADJW	AZTIXADAADJB	AZTIXADAADJBR
Aluminum ADA 90 Degree Wall Return, Hardware, and Ring Cover	AZTIXADA90WRW	AZTIXADA90WRB	AZTIXADA90WRBR
Aluminum ADA Handrail Pipes 1.5" x 94"	AZTIXADA94RW	AZTIXADA94RB	AZTIXADA94RBR

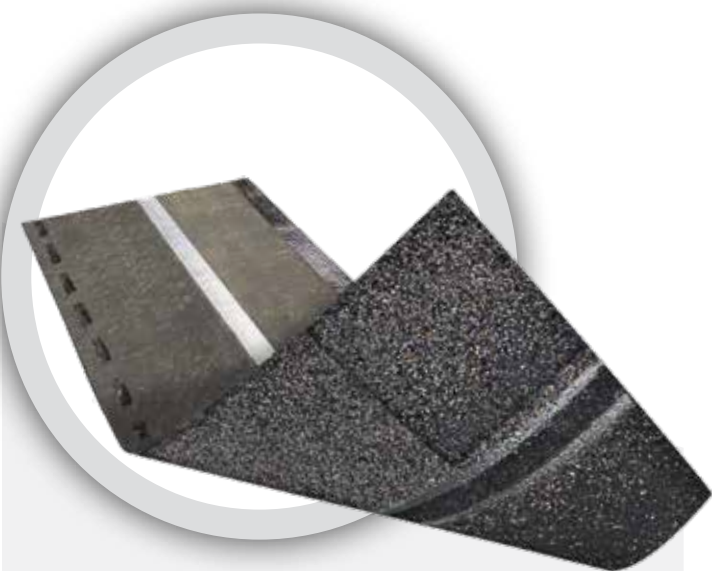


Coastline Porch Collection
Classic Composite Series Premier Rail

TIMBERTECH.COM
877-275-2935

TimberTech
RAILING
BY **AZEK**

LIT-RAILORDER
REV 03/23
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FIBERGLASS-REINFORCED ASPHALT SHINGLES

Dynasty's durable fiberglass mat and thick asphalt coating not only make it one of the heaviest shingles in its class, but also enable Dynasty to achieve a Class 3 Impact Resistance rating.¹ IKO's proprietary FastLock® sealant along the shingle's bottom edge, once activated by the radiant heat of the sun, creates a super-strong bond to help the shingles seal down. Unlike many other laminated shingle brands, three bundles of Dynasty cover a full square (100 square feet) of roof area.

Dynasty laminated two-piece, asphalt shingles feature IKO's Armourzone, a 1 1/4-inch-wide nailing area, made with a tough reinforcing band for incredible nail-holding power.

FEATURES AND BENEFITS

- ✓ ARMOURZONE REINFORCEMENT
- ✓ FULL SQUARE COVERAGE
- ✓ CLASS 3 IMPACT RESISTANCE RATING¹
- ✓ PROPRIETARY FASTLOCK SEALANT
- ✓ BLUE-GREEN ALGAE RESISTANT

GENERAL INFORMATION

SHINGLES/BUNDLE	20
COVERAGE/BUNDLE	33.3 ft. ² (3.1 m ²)
COVERAGE/THREE BUNDLES	100 ft. ² (9.29 m ²)
BUNDLES/PALLET	56
PALLET SIZE	40 x 53 1/2 in. (102 x 136 cm)
PRODUCT STOCK NO. (U.S.)	4973XXX
PRODUCT STOCK NO. (CANADA)	4974XXX

NOTE: XXX refers to numerical product color code. Product color availability varies by region.

PRODUCT DIMENSIONS

LENGTH	40 7/8 in. (1,038 mm)
WIDTH	13 3/4 in. (349 mm)
EXPOSURE	5 7/8 in. (149 mm)

Product dimensions shown are subject to normal manufacturing tolerances of +/- 1/4 in. (6 mm) on the shingle's length and +/- 1/8 in. (3 mm) width.

Click [here](#) or scan this QR code for product literature, color swatches and color availability.





APPLICABLE STANDARDS²

ASTM D3462 Product Standard

ASTM D3018 Product Standard

ASTM D3161 Class F Wind Test

ASTM D7158 Class H Wind Test

ASTM E108 Class A Fire Test³

UL 790 Class A Fire Test³

CAN/ULC S107 Class A Fire Test (Canada)³

FM 4473 Class 3 Impact Resistance Test¹

CSA A123.5 Product Standard (Canada)

Miami-Dade Product Approval⁴ [here](#)

Florida Building Code High-Velocity Hurricane Zone (HVHZ) Approval⁴ [here](#)

Texas Department of Insurance Details [here](#)

NOTE: IKO Dynasty shingles meet or exceed the requirements in the product standards referenced at the time of manufacture, including minimum total product weight, minimum tear-strength resistance, maximum granule loss and minimum asphalt mass.

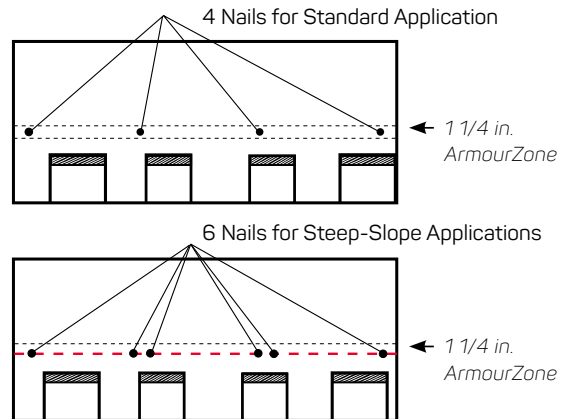
SAFETY INFORMATION

CAUTION: Working at heights on sloped-roof surfaces can be dangerous. Do not install until all appropriate safety precautions are followed. Always wear appropriate personal protective equipment (PPE), including appropriate fall protection equipment.

This product's Safety Data Sheet (SDS) is available [here](#).



SHINGLE INSTALLATION



Shingles must be installed according to all of IKO's application instructions. Some select installation requirements are highlighted here.

1. The space beneath the roof deck (e.g., attic) should be thoroughly ventilated to minimum local building code requirements.
2. Shingles should be installed with 5 7/8-inch shingle exposure to the weather.
3. Offsets between courses are recommended to be 10 inches.
4. It is critical to use the nail lines as a guide and position nails in either nail line or in the zone between the nail lines.
5. On steep slopes (21:12 or steeper) and mansard roofs, six nails must be placed in the lower nail line.
6. Open metal valleys are recommended for best roof system performance.
7. Never apply asphalt shingles to roof slopes less than 2:12. For slopes 2:12 to less than 4:12 (low slope), see special underlayment requirements outlined in the IKO application instructions.

Complete product installation details can be found [here](#).



The information on this Technical Data Sheet is based upon data considered to be true and accurate at time of issue, based on laboratory tests and production measurements, and is offered solely for the user's consideration, investigation and verification. Nothing contained herein is representative of a warranty or guarantee for which the manufacturer can be held legally responsible. The manufacturer does not assume any responsibility for any misrepresentation or assumptions the reader may formulate. To confirm the most current product technical information and compliances, please contact IKO directly at: **United States 1-888-IKO-ROOF (1-888-456-7663); Canada 1-855-IKO-ROOF (1-855-456-7663).**

¹The Impact Resistance rating is solely for the purpose of enabling residential property owners to obtain a reduction in their residential insurance premium, if available. It is not to be construed as any type of express or implied warranty or guarantee of the impact performance of this shingle by the manufacturer, supplier or installer, and damage from hail is not covered under the Limited Warranty. For further details concerning the FM 4473 standards, visit the FM Approvals website. ²Compliance with listed products standards is based on sampling and testing of products as manufactured. ³When shingles are installed with an approved underlayment. ⁴M-D and FBC HVHZ approvals apply only to shingles available in the southeast U.S. market. For more information, please contact IKO at: **1-888-IKO-ROOF (1-888-456-7663).**

HardiePlank® Lap Siding Product Description

HardiePlank lap siding is factory-primed fiber-cement lap siding available in a variety of styles and textures. Please see your local James Hardie® product dealer for product availability. HardiePlank® lap siding comes in 12 ft. lengths. Nominal widths from 5 1/4 in. to 12 in. create a range of exposures from 4 in. to 10 3/4 in.

HardiePlank lap siding is also available with ColorPlus® Technology as one of James Hardie's prefinished products. ColorPlus Technology is a factory applied, oven-baked finish available on a variety of James Hardie siding and trim products. See your local dealer for details and availability of products, colors and accessories.



Select Cedarmill®



Smooth



Beaded Cedarmill®



Beaded Smooth



Custom Colonial Roughsawn®



Custom Colonial Smooth®

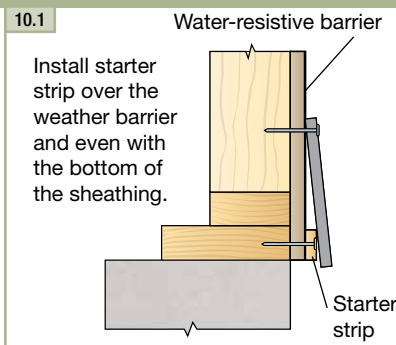


Installation of HardiePlank® Lap Siding

INSTALL A STARTER STRIP

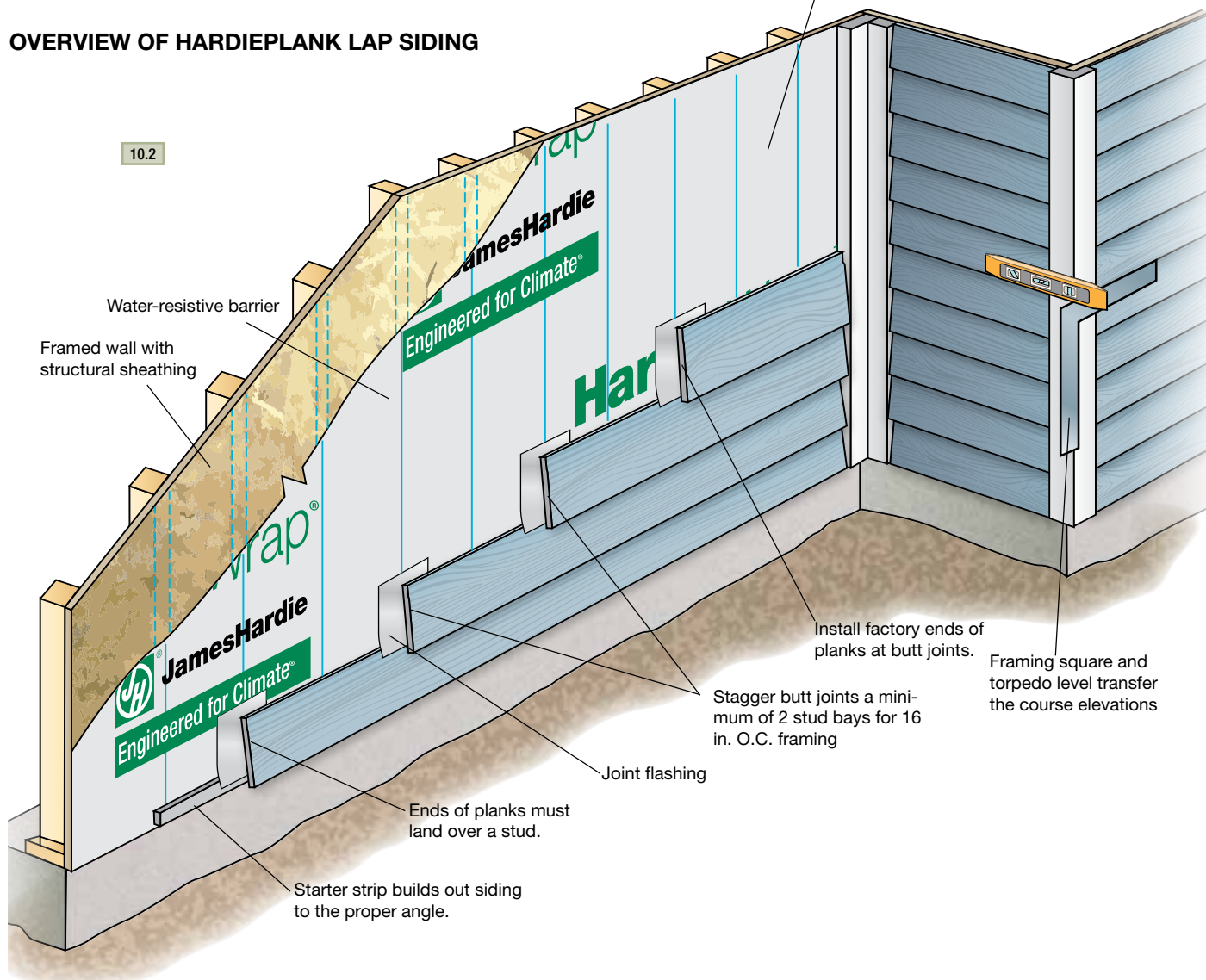
HardiePlank® lap siding requires a starter strip beneath the first course to set it on the proper angle and to create a proper drip edge at the bottom of the siding. Starter strips are easily made by ripping 1 ¼ in. pieces of HardiePlank siding from full or partial planks.

The bottom of the starter strip should be installed even with the bottom of the mudsill or the bottom edge of the sheathing. The strip must be installed over the water-resistive barrier, but occasional gaps should be left in the starter strip to allow any accumulated moisture behind the siding to drain away safely.



TIP: For accurate fastening, snap vertical chalk lines on the water-resistive barrier at the center of every stud location.

OVERVIEW OF HARDIEPLANK LAP SIDING



INSTALLING THE PLANKS

The first course of HardiePlank® siding is critical to the proper installation of the plank on the rest of the building. The first course should start at the lowest point of the house and within required clearances. Special attention should be made to ensure that it's straight and level. Attention should also be paid to staggering any butt joints in the planks so that the installation is attractive while making efficient use of material.

1. Use a level (4 ft. or longer) or chalked level line to be sure that the first course is level. As installation proceeds up the wall, periodically check the level and straightness of the courses. When correcting for flatness over products such as exterior insulation, use drywall shims. It is good practice to snap a chalk line every 3 to 5 courses to keep the planks straight and level.
2. Position the bottom edge of the first course of siding a minimum $\frac{1}{4}$ in. below the edge of the starter strip (maintain required clearances) and secure.
3. Run the siding to the HardieTrim® board leaving a $\frac{1}{8}$ in. gap between the siding and trim.

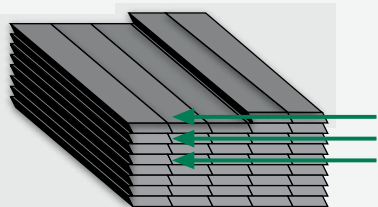
The bottom of the siding should be kept even with the bottom of the trim, or if desired, the trim may extend below the bottom of the siding. But the siding should never hang below the trim. ***When installing the first course make sure ground clearances are in accordance with James Hardie requirements and those of local codes.**

PLANK ALIGNMENT AT CORNERS

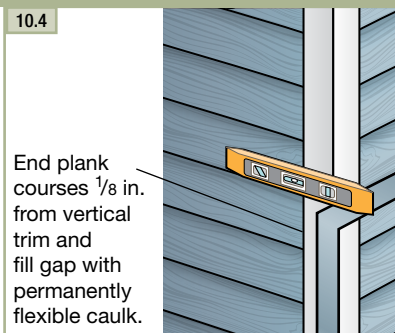
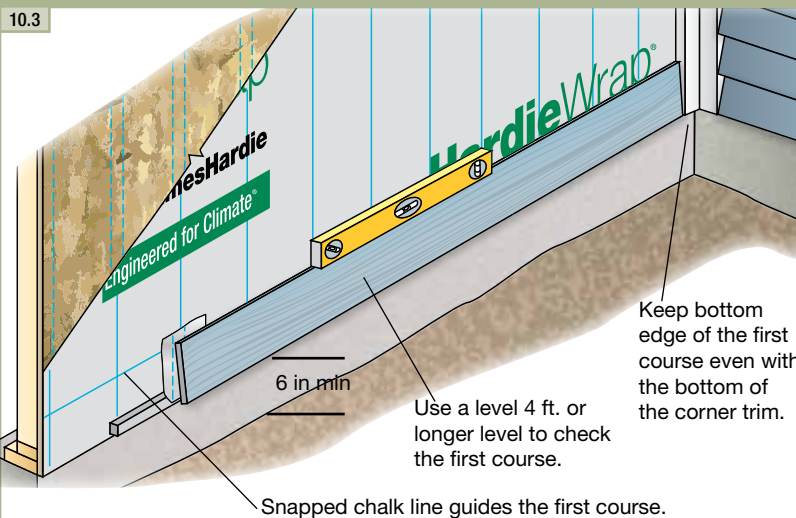
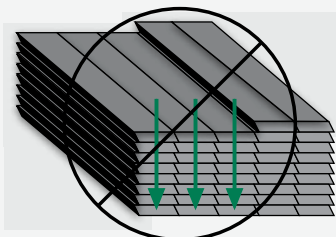
For the best looking installation, make sure that the heights of the plank courses match on both sides of a corner. Use a framing square, speed square or a level to match up the plank heights. Check every few courses to make sure proper heights are being maintained.

TIP: When taking planks from the pallet installation, avoid repeating the texture pattern by working across the pallet. Two to four planks can be removed from a stack at one time. But then material should be taken from adjacent stacks, again working across the pallet. Texture repeat is typically a concern on large walls with few breaks such as windows or doors.

Pull from across the stack



Do not go down the stack



Installation of HardiePlank® Lap Siding (cont.)

BLIND NAILING (nailing through top of plank)

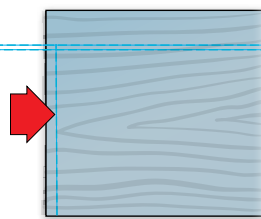
Blind nailing is recommended for installing any type of HardiePlank® lap siding including ColorPlus® siding. With blind nailing, each course covers the fasteners on the course below, which provides a better looking installation.

For blind nailing HardiePlank lap siding, James Hardie recommends driving fasteners 1 in. from the top edge of the plank. Additionally fasteners should be placed no closer than 3/8 in. from the ends of the plank.

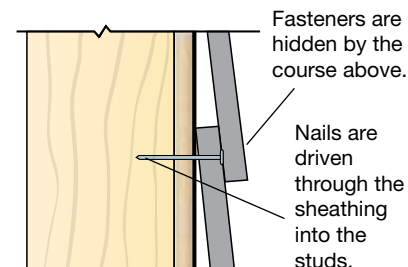
10.5 Blind nailing measurements

Nails for blind nailing shall be between 3/4 in and 1 in. from the top of the board.

Keep nails 3/8 in from ends of boards.



10.6 Blind nailing

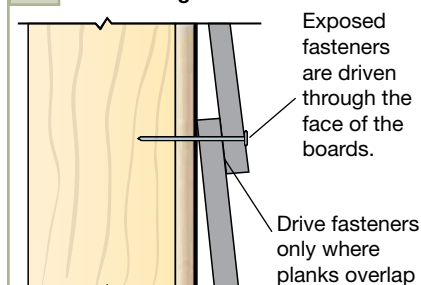


Avoid placing fasteners near the top edge of the plank. This practice, called “high nailing”, may lead to loose planks, unwanted gaps or rattling. **Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing**

FACE NAILING (nailing through the overlap at the bottom of the plank)

Although blind nailing is recommended by James Hardie, face nailing may be required for certain installations including: installations in high wind areas, fastening into OSB or equivalent sheathing without penetrating a stud, or when dictated by specific building codes. Refer to Appendix D for related code matters.

10.7 Face nailing



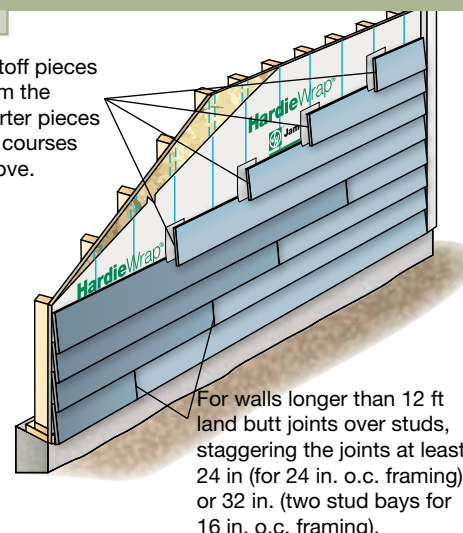
STAGGERING THE BUTT JOINTS

For walls longer than 12 ft, it is necessary to butt joint additional lengths of HardiePlank siding. These butt joints should be staggered to avoid noticeable patterns, which is determined by the placement of the first course. Butt joints between consecutive courses should be spaced apart by at least two stud bays for 16 in., o.c. framing or one bay for 24 in. o.c. framing.

While random placement of the planks is usually the most aesthetically pleasing, a progressive stagger pattern can make the job easier and faster without the pattern becoming too noticeable. With this strategy, the cut off piece for one course becomes the starter piece for a course above, making efficient use of materials and ensuring that all butt joints land on studs. The pattern can be modified for different stud placement.

10.8

Cutoff pieces form the starter pieces for courses above.



JOINT FLASHING

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- A. Joint Flashing (James Hardie recommended)
- B. Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- C. "H" jointer cover

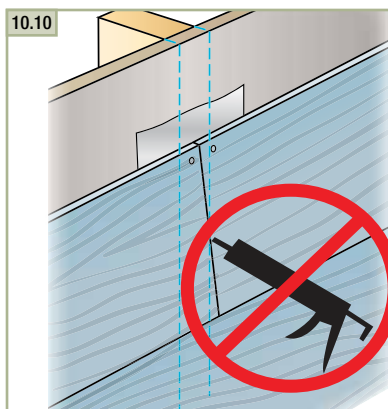
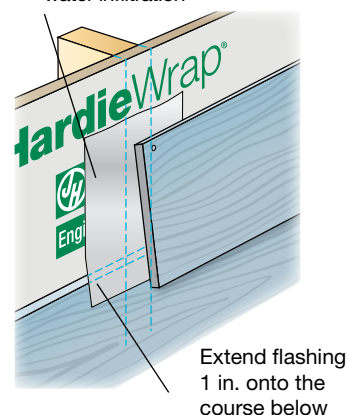
Flashing behind butt joints provides an extra level of protection against the entry of water at the joint. James Hardie recommends 6 in. wide flashing that overlaps the course below by 1 in. Some local building codes may require different size flashing.

Joint-flashing material must be durable, waterproof materials that do not react with cement products. Examples of suitable material include finished coil stock and code compliant water-resistive barriers. Other products may also be suitable.

TIP: Joint flashing can be quickly and easily made by cutting a 6 in. wide section off a roll of housewrap. Tape the roll tightly at the cut mark and cut the section off using a miter saw with a carbide blade. Individual sheets then can be cut to length with a utility knife.

TIP: Use light-colored joint flashing when using light-colored ColorPlus lap siding or other siding with a light-colored finish. Dark-color joint flashings should be used on siding with dark finishes.

10.9 Flashing behind to add an additional layer of protection from water infiltration

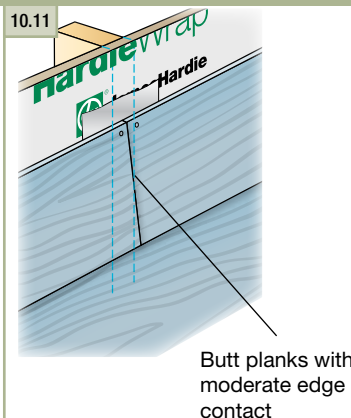


Caulking at HardiePlank lap siding butt joints is not recommended for ColorPlus for aesthetic reasons as the caulking and ColorPlus will weather differently. For the same reason, do not caulk exposed nail heads. Refer to the ColorPlus touch-up section for details

JOINT PLACEMENT AND TREATMENT

Butt joints in HardiePlank lap siding should always land on a stud. Butt joints between studs are not recommended and should be avoided. Whenever possible, factory-finished ends should be used at butt joints.

Place cut ends where the siding meets a corner, door, window trim, or other break in the wall where the joint is to be caulked. If cut ends are used in a butt joint between planks, James Hardie requires sealing cut ends for all products. For ColorPlus products, use the color-matched edge coater to seal the cut end.



COLORPLUS® TIP: When installing HardiePlank lap siding with ColorPlus Technology, position the plank in the immediate area where the plank is to be fastened. Do not place the plank on the course below and slide into position. Doing so may scuff or scratch the ColorPlus finish on the installed piece.

Installation of HardiePlank® Lap Siding (cont.)

CONTINUING THE INSTALLATION

Once the initial course of HardiePlank® siding is fastened to the wall, continue installing successive courses with full 12 ft. pieces (follow the stagger pattern for longer walls), or until a window, door or other opening interrupts the course (fig 10.12). Notch planks as needed to fit around windows and doors. Again, be sure to seal all cut edges. Avoid placing butt joints directly above or below windows or above doors. Separate the joint from the opening by at least one course of siding.

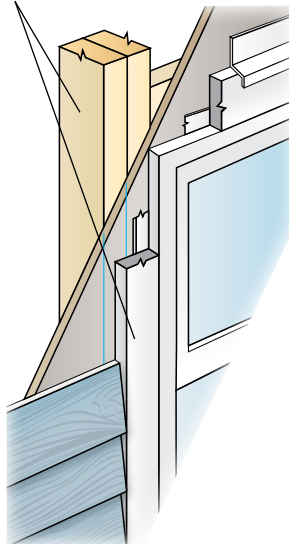
Where butt joints land on a stud, make sure there is enough stud space for plank on both sides of the joint to land properly. Optimally both sides of a butt joint should land in the middle of a stud with $\frac{3}{4}$ in landing space for each side. The minimum stud space for a plank to land is $\frac{3}{8}$ in.

Pay special attention to window, doors, and corners that have been trimmed before the siding goes on. Vertical trim boards may cover the king studs beside windows or doors, or they may cover up corner studs leaving no room for nailing the siding. In these places add extra studs as needed.

If corners are trimmed with **HardieTrim® 5/4, 4/4 boards**, it may be necessary to measure and cut the first pieces of siding to make sure the butt joints land on studs.

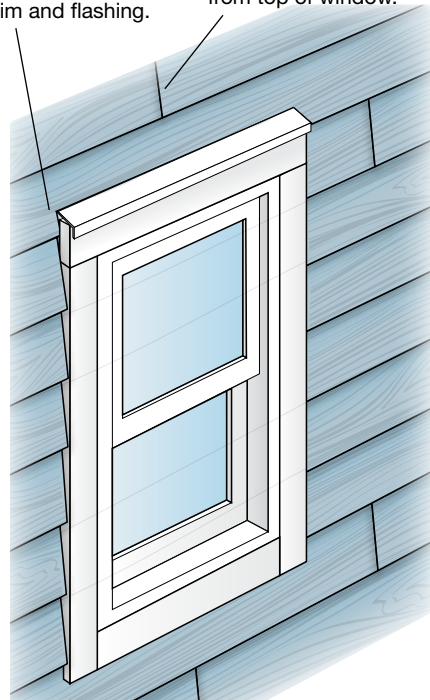
10.12 Planking around windows

Add an extra stud if necessary for nailing the ends of the planks.



Notch plank around window trim and flashing.

Keep butt joints more than one course away from top of window.



COLORPLUS TIP: HardiePlank lap siding with ColorPlus Technology is shipped with a protective laminate slip sheet, which should be left in place during cutting and fastening to reduce marring and scratching. The sheet should be removed immediately after each plank is installed.



INSTALLING HARDIEPLANK® SIDING ON GABLE WALLS

Siding gable walls can be challenging, and some of the keys to siding gable walls efficiently are determining the angle or pitch of the roof, properly staging materials, and ensuring that the plank lengths are measured accurately.

To estimate the amount of siding needed to complete a gable end, use the estimating tools located in Appendix C.

Stage enough material on the pump jacks or scaffolding to complete the gable end, but take care not to overload the staging. When possible, a cut table should be located on the pump jacks or scaffolding, which frees up crew members to work on other walls.

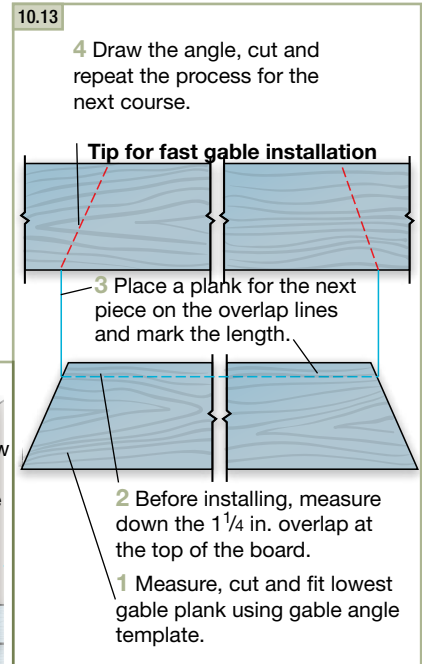
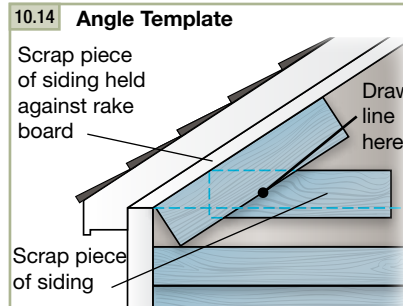
To cut planks for the gable:

1. Tack up a small scrap piece of siding where the first gable course is going.
2. Hold a second small piece of siding against the eave or rake board.
3. Trace the angle onto the scrap.
4. Cut that line and label the scrap as the template for the gable angle. The template can then be used to transfer the angle onto the larger pieces for cutting and installation.
5. Periodically check the angle as you progress up the wall.

The quickest way to measure and cut consecutive courses of siding for a gable is to work off the previous piece.

1. Cut and fit the lowest course of siding.
2. Before installing, lay it flat and measure down 1 1/4 in. from the top edge of the plank for the course overlap. Make a mark on both ends.
3. Set a piece of uncut siding on top of the first piece, aligning the bottom edge with the overlap marks. Transfer the length directly to the uncut piece.
4. Draw the gable angle with the template, cut the angle and then repeat the process for the next course.

TIP: Stainless steel fasteners are recommended when installing James Hardie® products.



HARDIEPLANK® SIDING FASTENER SPECIFICATIONS

The Fastener Specifications table shows fastener options for a variety of different nailing substrates. Please refer to the applicable ESR report online (see back page) to determine which fastener meets your wind load design criteria.

Fastener Substrate			Approved Fastener	Fastener Type
wood studs	blind nail	16 in o.c.	③ ⑨	② .113 in. x .267 in x 2 in. — 6D common
		24 in o.c.	③ ⑩	③ .093 in. x .222 in. x 2 in. — 6D siding nail
	face nail	16 in o.c.	② ⑤	⑨ No 11ga 1.25 in long — roofing nail
		24 in o.c.	② ⑤	⑦ Ribbed Bugle-Head No. 8 .323 in. x 1.625 in — screws
steel studs*	blind nail	16 in o.c.	⑧ ⑬	⑧ Ribbed Wafer-Head No. 8 (.375 in x 1.25 in)
		24 in o.c.	⑧ ⑬	⑫ [AKN-100] .100 in x .25 in x 1.5 in — ET&F
	face nail	16 in o.c.	⑦ ⑫	⑬ [AGS-100] .100 in x .313 in. x 1.5 in
		24 in o.c.	⑦ ⑫	⑭ [ASTM C-90] ASM-144-125 (P/C) .30 in x .14 in x 1.25 in — masonry nail
Direct to Masonry			⑭	⑤ .113 in. x .260 in x 2.375 in — 8D common
7/16 in OSB or equivalent (face nailed)			④	⑯ No 11ga 1.75 in long — roofing nail
				④ .091 in. x .221 in. x 1.5 in — 4D siding nail

* When blind fastening 9.5 in or wider product onto steel studs, use screws.

● indicates recommended fasteners



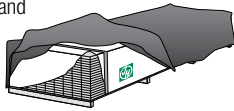
HardiePlank® Lap Siding

EFFECTIVE DECEMBER 2019

IMPORTANT: FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTIONS AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE AND MAY AFFECT WARRANTY COVERAGE. FAILURE TO COMPLY WITH ALL HEALTH AND SAFETY REGULATIONS WHEN CUTTING AND INSTALLING THIS PRODUCT MAY RESULT IN PERSONAL INJURY. BEFORE INSTALLATION, CONFIRM YOU ARE USING THE CORRECT HARDIEZONE® PRODUCT INSTRUCTIONS BY VISITING HARDIEZONE.COM OR CALL 1-866-942-7343 (866-9-HARDIE)

STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



CUTTING INSTRUCTIONS

OUTDOORS

1. Position cutting station so that airflow blows dust away from the user and others near the cutting area.
2. Cut using one of the following methods:
 - a. Best: Circular saw equipped with a HardieBlade® saw blade and attached vacuum dust collection system. Shears (manual, pneumatic or electric) may also be used, not recommended for products thicker than 7/16 in.
 - b. Better: Circular saw equipped with a dust collection feature (e.g. Roan® saw) and a HardieBlade saw blade.
 - c. Good: Circular saw equipped with a HardieBlade saw blade.

INDOORS

DO NOT grind or cut with a power saw indoors. Cut using shears (manual, pneumatic or electric) or the score and snap method, not recommended for products thicker than 7/16 in.

- DO NOT dry sweep dust; use wet dust suppression or vacuum to collect dust.
- For maximum dust reduction, James Hardie recommends using the "Best" cutting practices. Always follow the equipment manufacturer's instructions for proper operation.
- For best performance when cutting with a circular saw, James Hardie recommends using HardieBlade® saw blades.
- Go to jameshardiepros.com for additional cutting and dust control recommendations.

IMPORTANT: The Occupational Safety and Health Administration (OSHA) regulates workplace exposure to silica dust. For construction sites, OSHA has deemed that cutting fiber cement with a circular saw having a blade diameter less than 8 inches and connected to a commercially available dust collection system per manufacturer's instructions results in exposures below the OSHA Permissible Exposure Limit (PEL) for respirable crystalline silica, without the need for additional respiratory protection.

If you are unsure about how to comply with OSHA silica dust regulations, consult a qualified industrial hygienist or safety professional, or contact your James Hardie technical sales representative for assistance. James Hardie makes no representation or warranty that adopting a particular cutting practice will assure your compliance with OSHA rules or other applicable laws and safety requirements.

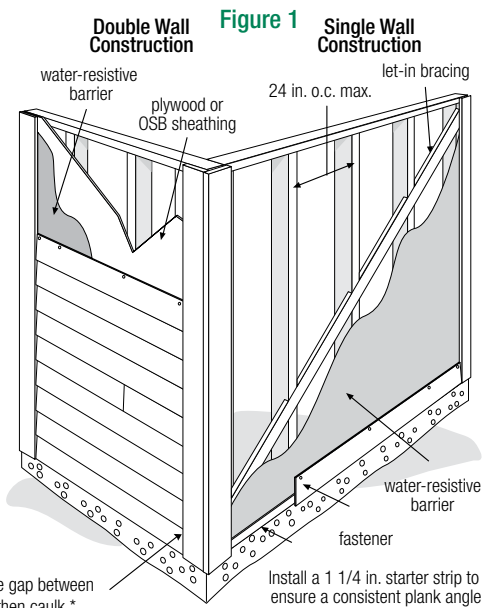
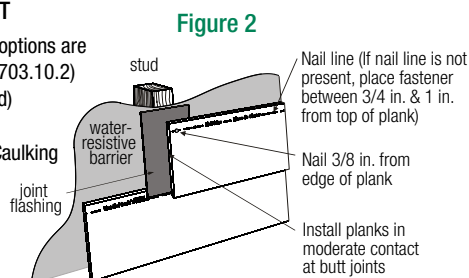
GENERAL REQUIREMENTS:

- HardiePlank® lap siding can be installed over braced wood or steel studs, 20 gauge (33 mils) minimum to 16 gauge (54 mils) maximum, spaced a maximum of 24 in o.c. or directly to minimum 7/16 in thick OSB sheathing. See General Fastening Requirements. Irregularities in framing and sheathing can mirror through the finished application. Correct irregularities before installing siding.
- Information on installing James Hardie products over non-nailable substrates (ex: gypsum, foam, etc.) can be located in JH Tech Bulletin 19 at www.jamehardie.com
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap¹, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 3-14 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6 in. in the first 10 ft..
- Do not use HardiePlank lap siding in Fascia or Trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion Characteristics of James Hardie® Siding Products" at www.jameshardie.com.
- James Hardie Building Products provides installation/wind load information for buildings with a maximum mean roof height of 85 feet. For information on installations above 60 feet, please contact JH technical support.

INSTALLATION: JOINT TREATMENT

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- A. Joint Flashing (James Hardie recommended)
- B. Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- C. "H" jointer cover



Note: Field painting over caulking may produce a sheen difference when compared to the field painted PrimePlus. *Refer to Caulking section in these instructions.

¹For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4Hardie or www.hardiewrap.com



SELECT CEDARMILL® | SMOOTH | BEADED CEDARMILL® | BEADED SMOOTH | CUSTOM COLONIAL™ SMOOTH | CUSTOM COLONIAL™ ROUGHSAWN



Visit jameshardiepros.com for the most recent version.

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CLEARANCE AND FLASHING REQUIREMENTS

Figure 3
Roof to Wall

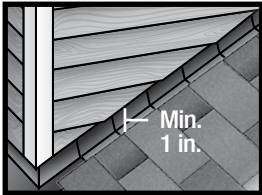


Figure 4
Horizontal Flashing

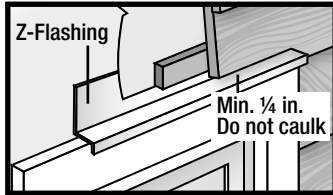


Figure 5
Kickout Flashing

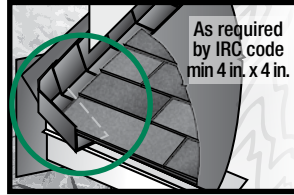


Figure 6
Slabs, Path, Steps to Siding

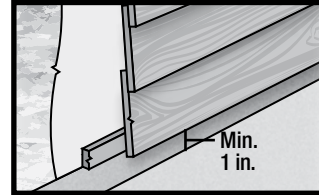


Figure 7
Deck to Wall

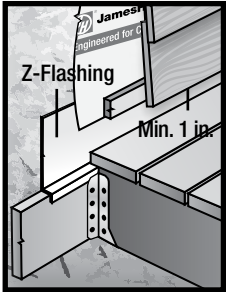


Figure 8
Ground to Siding

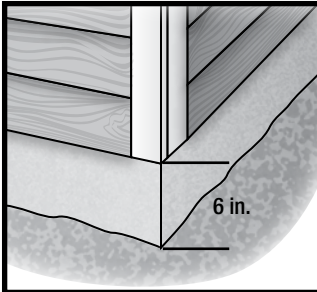


Figure 9
Gutter to Siding

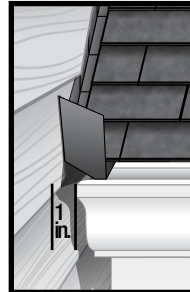


Figure 10
Sheltered Areas

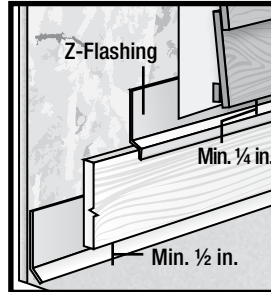


Figure 11
Mortar/Masonry

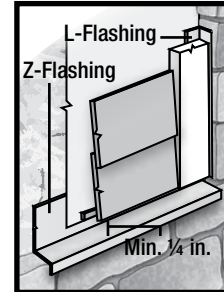


Figure 12
Drip Edge

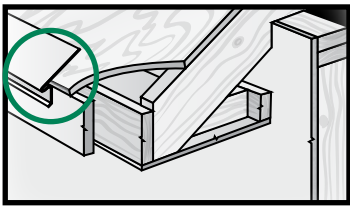


Figure 13
Block Penetration
(Recommended in HZ10)

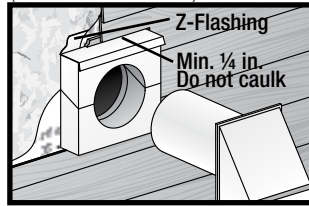
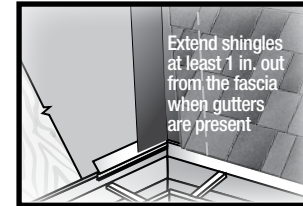


Figure 14
Valley/Shingle Extension



FASTENER REQUIREMENTS*

Refer to the applicable ESR report online to determine which fastener meets your wind load design criteria.

Blind Nailing is the preferred method of installation for HardiePlank® lap siding products. Face nailing should only be used where required by code for high wind areas and must not be used in conjunction with Blind nailing (Please see JH Tech bulletin 17 for exemption when doing a repair).

BLIND NAILING

Nails - Wood Framing

- Siding nail (0.09 in. shank x 0.221 in. HD x 2 in. long)
- 11ga. roofing nail (0.121 in. shank x 0.371 in. HD x 1.25 in. long)

Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4 in. long x 0.375 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F Panelfast® nails or equivalent (0.10 in. shank x 0.313 in. HD x 1-1/2 in. long)
- Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.215 in. HD x 1-1/2 in. long)
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8 in. long x 0.375 in. HD).

FACE NAILING

Nails - Wood Framing

- 6d (0.113 in. shank x 0.267 in. HD x 2 in. long)
- Siding nail (0.09" shank x 0.221" HD x 2" long)

Screws - Steel Framing

- Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8 in. long x 0.323 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F pin or equivalent (0.10 in. shank x 0.25 in. HD x 1-1/2 in. long)
- Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.221 in. HD x 1-1/2 in. long)

*Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie's Technical Bulletin USTB 5 - Fastening Tips for HardiePlank Lap Siding.

FASTENER REQUIREMENTS continued

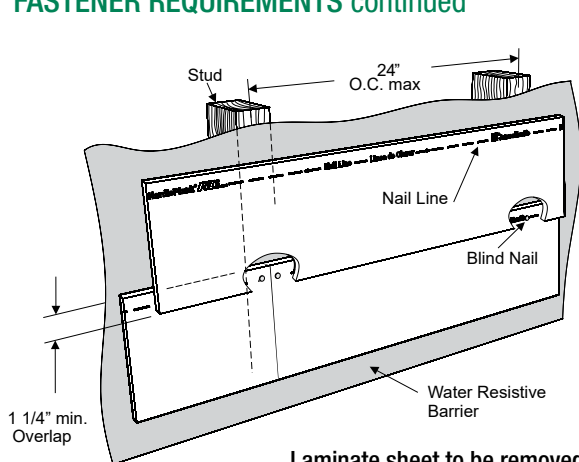
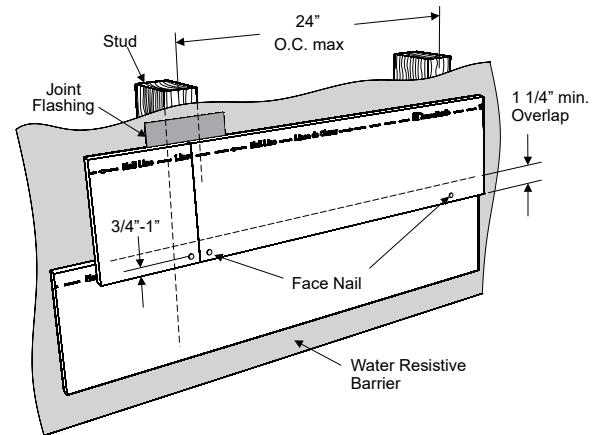
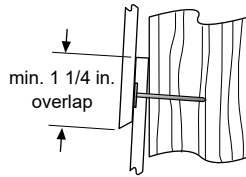


Figure 15 Figure 16

Minimum overlap
for Both Face
and Blind Nailing



Laminate sheet to be removed immediately after installation of each course for ColorPlus® products.

Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing.

GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.

CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions.

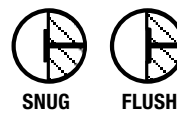
Note: some caulking manufacturers do not allow "tooling".

PAINTING

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products. Factory-primed James Hardie products must be painted within 180 days of installation. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



DO NOT



IF, THEN

WOOD
FRAME



HAMMER
FLUSH

STEEL
FRAME



REMOVE &
REPLACE

DO NOT



IF, THEN ADDITIONAL NAIL

FACE
NAIL



COUNTERSINK
& FILL

DO NOT USE



ALUMINUM
FASTENERS



CLIPPED
HEAD NAILS



STAPLES



COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie® ColorPlus® products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
 - Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus® Technology.
 - Laminate sheet must be removed immediately after installation of each course.
 - Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
 - Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.
- Note:** James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature
- DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section

COVERAGE CHART/ESTIMATING GUIDE

Number of 12 ft. planks, does not include waste

COVERAGE AREA LESS OPENINGS (1 SQ = 100 sq.ft.)	(exposure)	HARDIEPLANK® LAP SIDING WIDTH								
		5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4
1		25	20	17	16	15	14	13	13	9
2		50	40	33	32	30	29	25	25	19
3		75	60	50	48	44	43	38	38	28
4		100	80	67	64	59	57	50	50	37
5		125	100	83	80	74	71	63	63	47
6		150	120	100	96	89	86	75	75	56
7		175	140	117	112	104	100	88	88	65
8		200	160	133	128	119	114	100	100	74
9		225	180	150	144	133	129	113	113	84
10		250	200	167	160	148	143	125	125	93
11		275	220	183	176	163	157	138	138	102
12		300	240	200	192	178	171	150	150	112
13		325	260	217	208	193	186	163	163	121
14		350	280	233	224	207	200	175	175	130
15		375	300	250	240	222	214	188	188	140
16		400	320	267	256	237	229	200	200	149
17		425	340	283	272	252	243	213	213	158
18		450	360	300	288	267	257	225	225	167
19		475	380	317	304	281	271	238	238	177
20		500	400	333	320	296	286	250	250	186

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

HS11119 P4/4 12/19

SILICA WARNING

DANGER: May cause cancer if dust from product is inhaled. Causes damage to lungs and respiratory system through prolonged or repeated inhalation of dust from product. Refer to the current product Safety Data Sheet before use. The hazard associated with fiber cement arises from crystalline silica present in the dust generated by activities such as cutting, machining, drilling, routing, sawing, crushing, or otherwise abrading fiber cement, and when cleaning up, disposing of or moving the dust. When doing any of these activities in a manner that generates dust you must (1) comply with the OSHA standard for silica dust and/or other applicable law, (2) follow James Hardie cutting instructions to reduce or limit the release of dust; (3) warn others in the area to avoid breathing the dust; (4) when using mechanical saw or high speed cutting tools, work outdoors and use dust collection equipment; and (5) if no other dust controls are available, wear a dust mask or respirator that meets NIOSH requirements (e.g. N-95 dust mask). During clean-up, use a well maintained vacuum and filter appropriate for capturing fine (respirable) dust or use wet clean-up methods - never dry sweep.

WARNING: This product can expose you to chemicals including respirable crystalline silica, which is known to the State of California to cause cancer. For more information go to P65Warnings.ca.gov.

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Building Code. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida Product Approval FL#13192, Miami-Dade County Florida NOA No. 17-0406.06, U.S. Dept. of HUD Materials Release 1263f, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.



- Compliance with International Codes
- Compliance with State Codes

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ICC-ES Evaluation Report

ESR-2824

Reissued June 2022

This report is subject to renewal June 2024.

DIVISION: 06 00 00—WOOD, PLASTICS AND COMPOSITES
Section: 06 50 00—Structural Plastics

REPORT HOLDER:

INTEPLAST GROUP CORPORATION

EVALUATION SUBJECT:

INTEPLAST BUILDING PRODUCTS DECK X-STRONG (INTEPLAST® DECK X-STRONG), INTEPLAST BUILDING PRODUCTS DECK (INTEPLAST® DECK), AND INTEPLAST BUILDING PRODUCTS PORCH (INTEPLAST® PORCH)

ADDITIONAL LISTEE:

THE WOLF ORGANIZATION, LLC
PRODUCT NAMES: WOLF SERENITY™ DECKING (INTEPLAST® DECK) AND WOLF SERENITY™ PORCH (INTEPLAST® PORCH)

1.0 EVALUATION SCOPE

1.1 Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 *International Building Code*® (IBC)
- 2021, 2018, 2015, 2012, 2009 and 2006 *International Residential Code*® (IRC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)[†]

[†]The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:

- Structural
- Durability
- Surface-burning characteristics

1.2 Evaluation to the following green code(s) and/or standards:

- 2019 California Green Building Standards Code (CALGreen), Title 24, Part 11
- 2015, 2012 and 2008 ICC 700 *National Green Building Standard*™ (ICC 700-2015, ICC 700-2012 and ICC 700-2008)

Attributes verified:

See Section 3.1

2.0 USES

The Inteplast Building Products Deck X-Strong (Inteplast® Deck X-Strong) Inteplast Building Products Deck (Inteplast® Deck), and Inteplast Building Products Porch (Inteplast® Porch) boards described in this report are limited to use as flooring boards for exterior balconies, porches and decks in buildings of Type V-B (IBC) construction or buildings constructed in accordance with the IRC. Inteplast® Deck X-Strong boards and Inteplast® Deck boards can also be used as stair treads where indicated in Table 2.

3.0 DESCRIPTION

3.1 General:

The Inteplast® Deck X-Strong and Inteplast® Porch boards are rectangular in cross section and are co-extrusions of capstock and cellular PVC core produced in accordance with the approved quality control manual. The deck boards have been shown to comply with ASTM D7032, except for slip resistance, which is not required by ICC-ES AC174. The Inteplast® Deck X-Strong boards are available in solid and grooved profiles. The boards have a wood grain textured finish and are 1 inch (25.4 mm) thick by 5 1/2 inches (140 mm) wide, with slightly rounded corners. The boards are available in the colors of Sage, Grey, Sahara, Oxford Brown, Espresso, Chestnut, Terracotta, Charcoal, Burnished Maple, Warm Walnut, Slate, Ebony, Sequoia, Grey Walnut, Hickory, Red Cedar, and Acorn. See Figure 1 for typical cross sections of Inteplast® Deck X-Strong boards.

The Inteplast® Porch boards are tongue and groove boards that are 1 inch (25.4 mm) thick by 3 1/2 inches (88.9 mm) wide. The boards are capped and are available in the colors of Acorn, Burnished Maple, Gray Walnut, Gray, Harbor Grey, Sand Castle, Weathered Ipe, and Amberwood. See Figure 2 for a typical cross section.

The Inteplast® Deck boards are rectangular in cross section, and are coextrusions of capstock and a cellular PVC core. The Inteplast® Deck boards are available in a solid profile. The boards are 1 inch (25.4 mm) thick by 5 1/2 inches (140 mm) wide. The boards are available in the colors of Alder, Acorn, Sage, Sahara, Gray, Sandalwood, Espresso, Hickory, Gray Walnut, Burnished Maple, Warm

Department of Permitting and Inspections

Zoning Division
645 Pine Street
Burlington, VT 05401
www.burlingtonvt.gov/pz
Phone: (802) 865-7188
Fax: (802) 865-7195

William Ward, Director
Scott Gustin, AICP, CFM, Principal Planner
Mary O'Neil, AICP, Principal Planner
Garret King, Associate Planner
Joseph Cava, Permitting Technician
Steve Cormier, Code Compliance Officer
Ted Boylan, DPI Administrator



MEMORANDUM

To: Design Advisory Board
From: Scott Gustin
Re: 23 Weston Street
Date: April 23, 2024

File: ZP-24-69

Location: 23 Weston Street

Zone: RL **Ward:** 1

Parking District: Neighborhood

Date application accepted: March 13, 2024

Applicant/ Owner: Jesse Robbins

Request: Demolition and replacement of existing wraparound porch including replacing roof and railings on second floor porch.

Overview:

The applicant is proposing renovations to the existing porches on an historic building. The subject property is included in the Vermont Historic Sites & Structures Survey and dates to the late 1800's. As noted in the survey, the vernacular Queen Anne residence retains much of its original character.

The home includes a wrap-around front porch facing north and east on the ground level with a separate smaller porch set further west on the north elevation. There is also a small 2nd story porch set atop the north-facing portion of the wrap-around porch. All of the porches are open, and all include shingled half-walls. The applicant proposes to reconstruct all of the porches and to replace the solid half-walls with open spindle and railing systems constructed of pressure treated wood. Given the significant proposed alterations to these character-defining features, review and comment by the Design Advisory Board is sought.

Article 5: Citywide General Regulations

Part 4: Special Use Regulations

Sec. 5.4.8 Historic Buildings and Sites

The City seeks to preserve, maintain, and enhance those aspects of the city having historical, architectural, archaeological, and cultural merit. Specifically, these regulations seek to achieve the following goals:

- *To preserve, maintain and enhance Burlington's historic character, scale, architectural integrity, and cultural resources;*

To foster the preservation of Burlington's historic and cultural resources as part of an attractive, vibrant, and livable community in which to live, work and visit;

- *To promote a sense of community based on understanding the city's historic growth and development, and maintaining the city's sense of place by protecting its historic and cultural resources; and,*
- *To promote the adaptive re-use of historic buildings and sites.*

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

As noted above, the subject property is included in the Vermont Historic Sites & Structures Survey and is subject to the standards of Sec. 5.4.8.

(b) Standards and Guidelines:

The following development standards, following the Secretary of the Interior's Standards for the Treatment of Historic Properties, shall be used in the review of all applications involving historic buildings and sites subject to the provisions of this section and the requirements for Design Review in Art 3, Part 4. The Secretary of the Interior's Standards are basic principles created to help preserve the distinctive character of a historic building and its site. They are a series of concepts about maintaining, repairing and replacing historic features, as well as designing new additions or making alterations. These Standards are intended to be applied in a reasonable manner, taking into consideration economic and technical feasibility.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The property has served as a residence since its construction. At some point, it was converted to a duplex. No change in use is included in this application.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

Minimal exterior alterations have been made to the residence. The permit record shows approval to install a single, larger egress window under the east-facing gable end and approval for a skylight. There is also a permit to install supplemental railings (above the exiting) to meet building code and graspable railings inside the porch stairways. Only the graspable railings appear to have been installed.

The application notes that the existing shingle cladding on the half-walls was installed by the prior owner and that, previously, cladding was wooden clapboard. The 1978 historic survey form does not specify this detail, nor is it clear in the associated photograph. In either scenario, the porches included solid half-walls. Removal of these half-walls and replacement with open railings and spindles is inconsistent with this criterion.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

There is nothing in the permit history or survey information that indicates open spindle and railing systems for the porches. Although common, installation of such a system here would be conjectural.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The shingle cladding on the porch half-walls may, or may not be, original. The record is unclear. The presence of solid half-walls; however, is clear and should be retained.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The open porches contribute to the character of this historic building. The solid half-walls are less common than the open railing and spindle system and lend the property a more unique personality. Wooden materials are used throughout. Replacement with pressure railings and spindles will result in the loss of distinctive materials and features on this historic building.

The existing porch roofs are clad in asphalt shingles, except for the smaller 2nd story porch that has lapped metal roofing. These materials are unoriginal, and replacement with metal roofing is acceptable.

A relatively minor detail is the depiction of metal roofing on the second ground level porch along Henry Street (north) in the project plans, whereas the application narrative notes asphalt shingles. Consistency is needed.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.

The application notes substantial rot within the porches and proposes wholesale replacement with different materials and features. Whether repair or replacement is needed, this criterion calls for use of like materials. While pressure treated wood is acceptable for the framework supporting the porches, exterior cladding and other elements should be traditional wood material. Inclusion of small vents and/or raising the bottom of the half-walls further from the ground may also be appropriate to mitigate moisture problems.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical or physical treatments are identified within the submission materials.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

There are no known archaeological resources on this site. Minimal earthwork is proposed.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

As noted above, the proposed work significantly alters the existing features and materials of the porches on this historic residence. Repair or replacement with like materials that retain the existing features and character with minimal alterations to address moisture problems is recommended instead.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

No additions or new buildings are proposed.

RECOMMENDED MOTION:

Denial of the application as proposed.

Pursue a new application that revamps the proposal to retain the existing features and character with minimal alterations, such as venting or lifting the bottom of the half-walls, to address moisture problems.

Jesse Robbins/ 23 Weston Street

Porch Renovation/ Replacement narrative

23 Weston Street was constructed 1895-1899 and is currently a two-family residence. Over the years, there have been substantial interior renovations but the exterior has remained largely unchanged according to longtime neighborhood residents and historic preservation reports, and much of the interior trim and detailing also remains. The narrow clapboard siding, shake gable ends, and most of the trim appear to be original, and portions of the original porch posts and trim are original, with some more recent repairs that closely mimic the original construction.

The proposed project will replace the existing single-story porch that wraps around from the Weston Street façade to the Henry Street façade, with goals of salvaging existing posts and trim found to be in good condition during partial demolition. There is also a small balcony at the second story on the Henry Street façade that was almost certainly a later addition. The house appears to have been a two-family residence for quite some time; it may have originally been a single-family residence but has likely been an “upstairs/downstairs” duplex for more than 40 years.

The porch floor and floor framing urgently needs replacement and was the trigger for this renovation; I stepped on a floorboard and nearly fell through the floor in late May and in the course of temporary repairs was able to assess the floor framing and the lower portions of the structural piers supporting the porch. There is significant rot in all wood structural members below the level of the porch floor.

I am proposing some major changes to the porch, [REDACTED] Deleted from [REDACTED] proposal.

The plans replicate the original roofline, with small shake clad gables above each of the two staircases, but at the upper level.

I also propose to use an open lattice below the lower porch deck and an open picket railing. The current weathered cedar shake clad barrier wall was constructed by the previous owner to replace an earlier barrier wall which was apparently clapboard sided. Based on conversations and observations, I believe the barrier wall has contributed to the failure of the existing porch framing. The lot’s primary exposure on Henry Street is north facing, and the east facing Weston Street façade is heavily shaded. Despite appropriate slope away from the house and very well drained sandy soils, these barrier walls are constantly damp. Since purchasing the house, I’ve twice power washed the shakes, followed by applications of environmentally benign anti-fungal wood treatments and water repellent sealers. Despite that, the lower portions of the barrier walls once again show the presence of mold, lichens, and moss. My hope is that the new railing and open lattice will provide enough airflow to extend the life of the porch and reduce maintenance needs.

Proposed materials include rot resistant painted and/or stained woods for exposed surfaces, pressure treated framing, and metal roofing. The roof will not be visible from the street; standing seam roofing is planned but corrugated metal roofing may be considered for cost savings if permitted. (the existing porch roof is asphalt shingle and at 3/12, is near the low end of acceptable slope for asphalt shingle and less than recommended for slate, which is the material of the primary roofs of the house). Metal is preferred because of the low slope, particularly at the Henry Street elevation, where the porch roof will

about the slope of the main roof and where snow buildup has been a concern while I've owned the house. During slate repairs during the fall of 2020, the roofer observed that the structure of the upper roof is failing. That roof is currently covered in lapped sheet metal. The proposed renovation lowers the elevation of the second level porch; rather than walk out, a 7" step down is proposed so that this roof slope can be increased from 2/12 to nearly 3/12 while maintaining an adequate porch ceiling height.

The house also features a second, smaller porch along Henry Street which serves as the tenant's primary entrance. This porch floor was more recently reconstructed, but I propose removing the barrier walls at that porch to replace with an open railing to match what is proposed for the other porch. The smaller porch will also receive new roofing, but the plan is to replace the existing asphalt shingles on that roof with new asphalt shingle.



07/13/2009 15:55



Existing level 1 porch has rotting subframe, flooring and needs ceiling replacement; porch flooring on view looking west (right image) is temporarily supported and will become a safety hazard if not replaced soon. Trim and brackets will be removed and preserved for reinstallation if possible and documented for replication if not. Brackets missing at the locations of earlier repairs (from one post in middle image, which is looking south) and in the right hand image will be restored with replicas of original trim. Original ceiling is T&G softwood but had previously been replaced with particle board at west (left image); beadboard plywood is proposed for new ceiling of level 1 porch.



Existing upper level balcony has rotting floor, wall, railing, ceiling, roof and framing. Cedar Shake porch rail shows moss and rot despite power washing and water repellent application ~every 2years



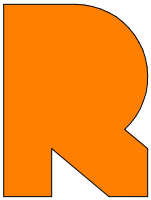
The property has only northern and well shaded eastern exposures; the solid, cedar shake clad porch wall is nearly always damp, even after creation of ventilation openings into both porches. It is not clear whether the enclosed style porch walls are original, the existing walls were reconstructed by the previous owner in the early-mid 1990s; the house was originally constructed ca. 1899.



Existing, original "Level 1 West" porch serves lower level apartment only. It will receive a new metal roof over existing (or replacement) sheathing. Railings will be replaced but original floor, posts, and trim will be retained.



Existing, original "Level 1 East" wraparound porch serves both units, a small upper level balcony was added and is of unknown vintage; it has existed at least since historic district documentation in 1976. The porch framing is beyond salvagability and footings are inadequate. The entire structure will be removed and a two story porch will be constructed on the same footprint, reusing posts and trim when possible and replicating them when not. An open baluster railing and lattice screening are proposed instead of the existing solid cedar shake porch wall.



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Architecture • Planning • Interiors

**PORCH
REPLACEMENT
PROJECT**

PROJECT NO.:
2024-1

DATE:
03/02/24

DRAWN BY:
JDR

SCALE:

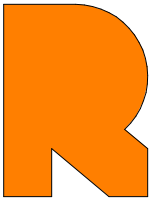
ISSUE REF:

SHEET REF:

SUBJECT:

**Existing
Conditions**

SHEET NO:
A001



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**PORCH
REPLACEMENT
PROJECT**

PROJECT NO.:
2024-1

DATE:
03/02/24

DRAWN BY:
JDR

SCALE:

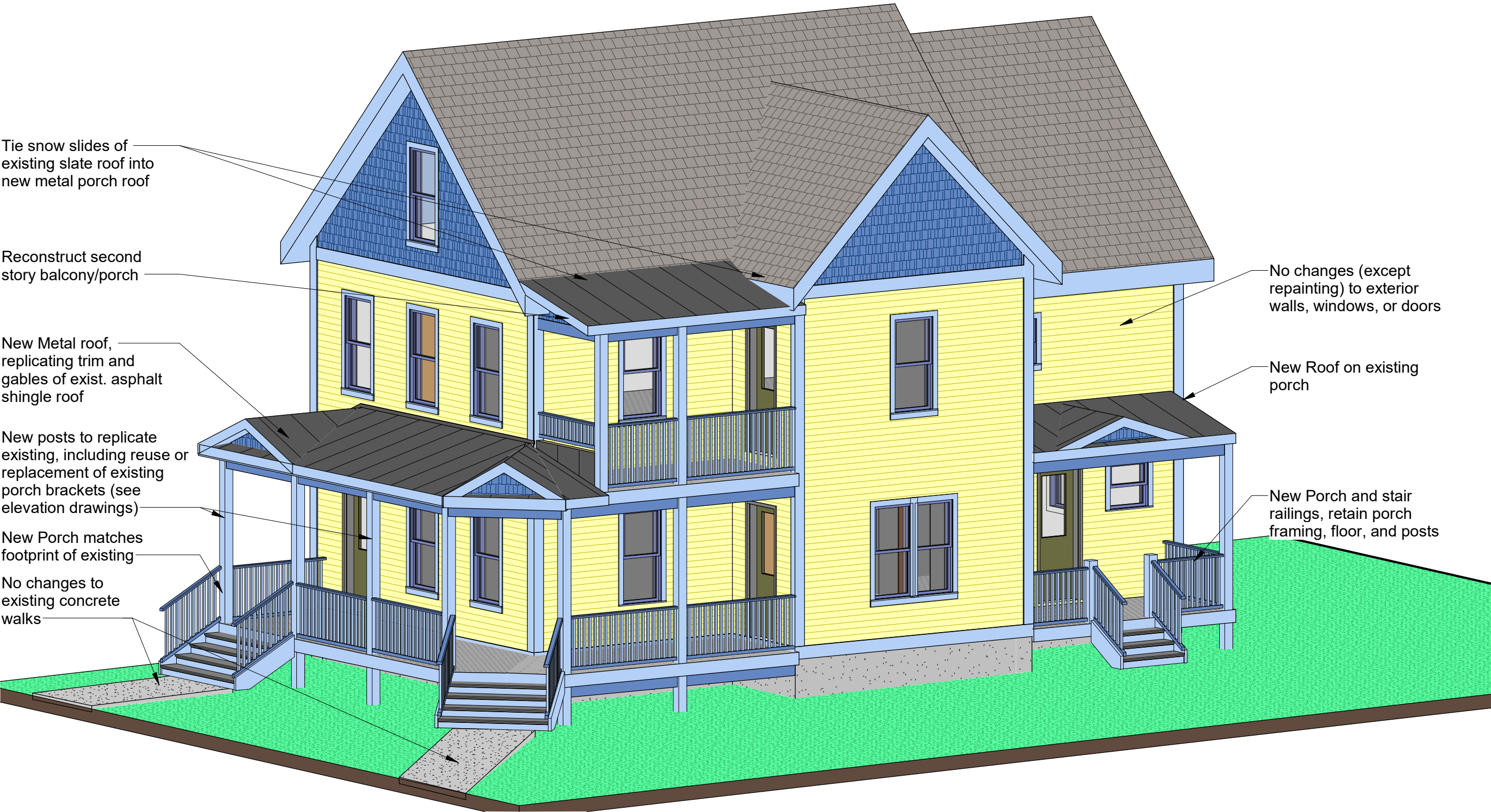
ISSUE REF:
Rev. 1 3/30/24

SHEET REF:

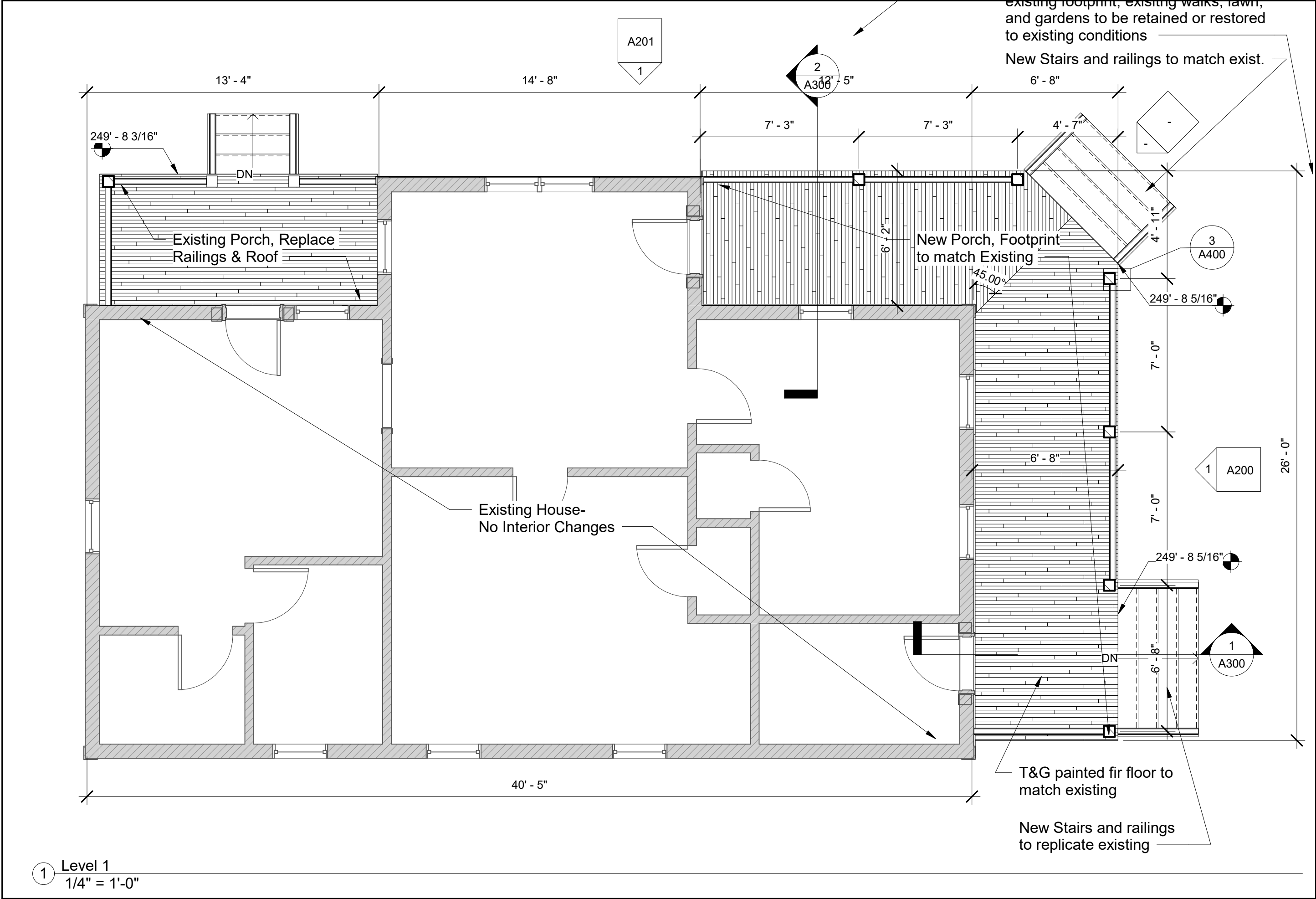
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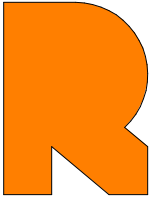
**3D View,
Scope
Overview**

SHEET NO:
A002



1 3D Looking SW (from corner of Weston and Henry Streets)





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PORCH REPLACEMENT PROJECT

PROJECT NO.:
2024-1

DATE:
3/2/2024

DRAWN BY:
JDR

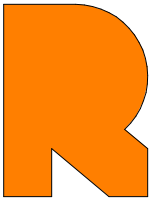
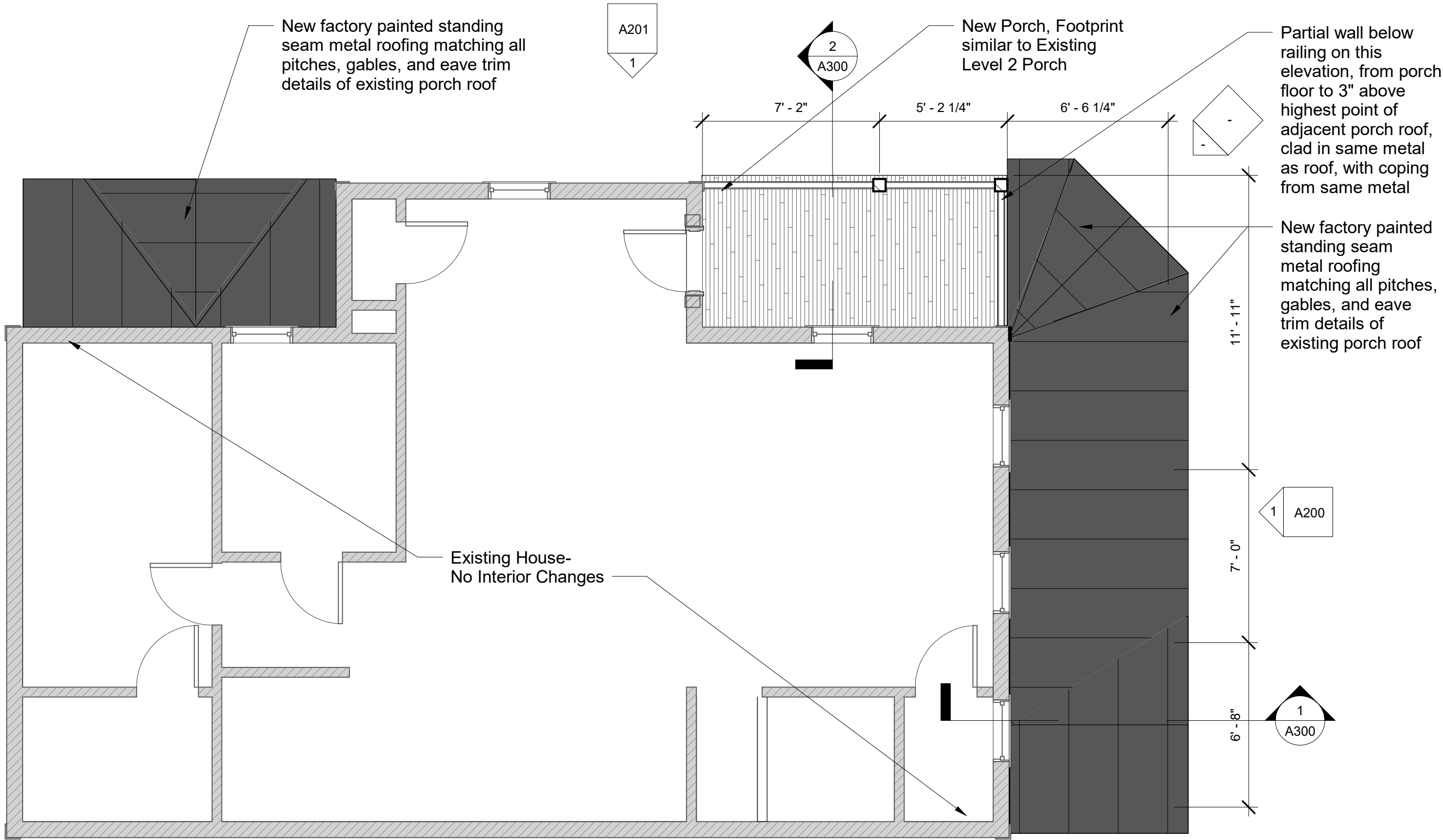
SCALE:
1/4" = 1'-0"

ISSUE REF:
Rev. 1 3/30/24

SHEET REF:

SUBJECT:
LEVEL 1 PLAN

SHEET NO:
A101



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PORCH REPLACEMENT PROJECT

PROJECT NO.:
2024-1

DATE:
3/2/2024

DRAWN BY:
JDR

SCALE:
1/4" = 1'-0"

ISSUE REF:
Rev. 1 3/30/24

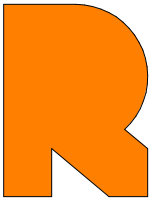
SHEET REF:

SUBJECT:

LEVEL 2 PLAN

SHEET NO:
A102

1 Level 2
1/4" = 1'-0"



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**PORCH
REPLACEMENT
PROJECT**

PROJECT NO.:
2024-1

DATE:
03/02/24

DRAWN BY:
JDR

SCALE:
1/4" = 1'-0"

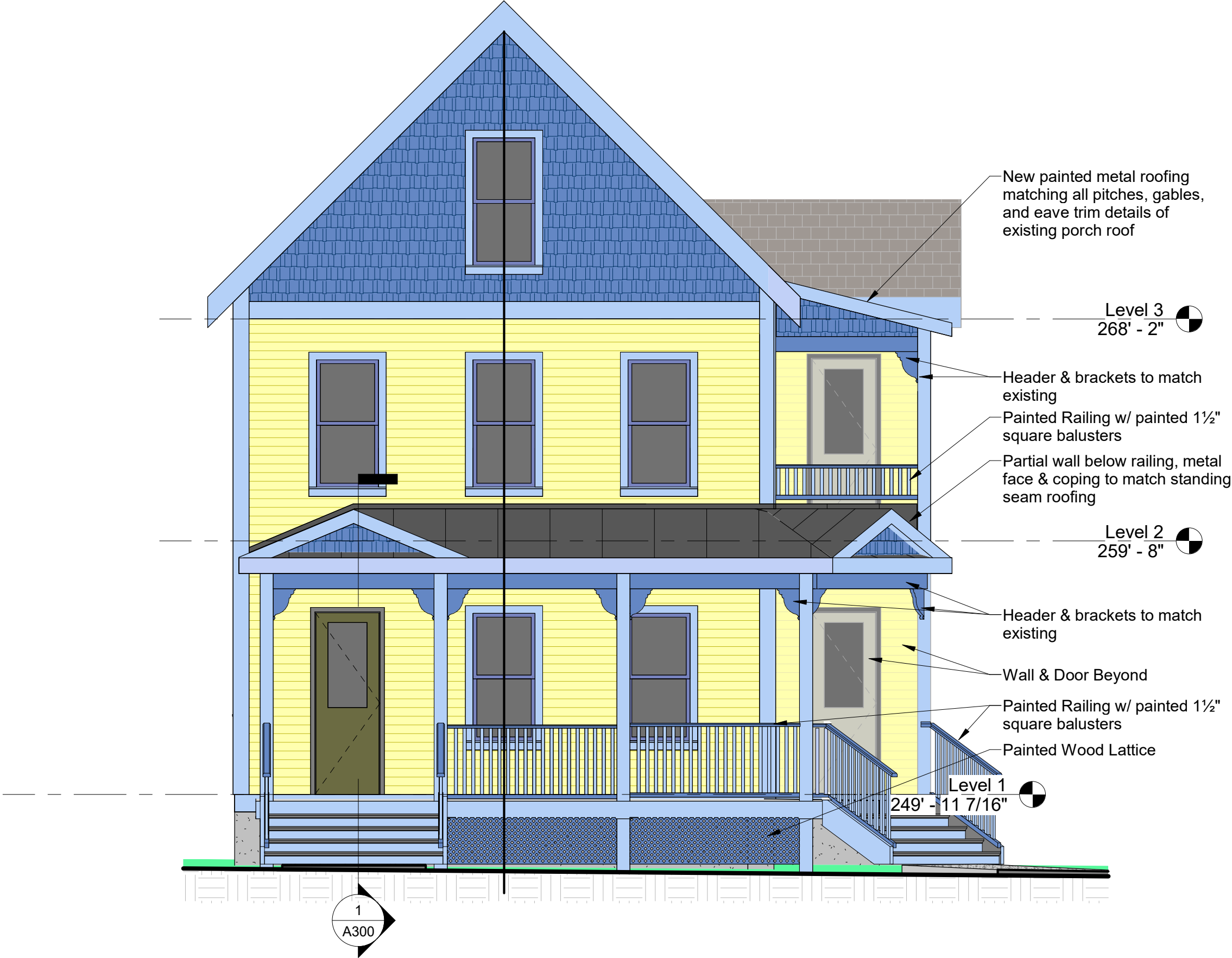
ISSUE REF:
Rev. 1 3/30/24

SHEET REF:

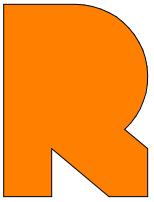
SUBJECT:

**East
Elevation**

SHEET NO:
A200



1 East Elevation
1/4" = 1'-0"



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**PORCH
REPLACEMENT
PROJECT**

PROJECT NO.:
2024-1

DATE:
03/02/24

DRAWN BY:
JDR

SCALE:
1/4" = 1'-0"

ISSUE REF:
Rev. 1 3/30/24

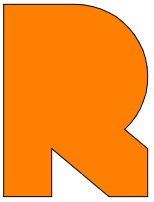
SHEET REF:

SUBJECT:

**NORTH
ELEVATION**

SHEET NO:
A201





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**PORCH
REPLACEMENT
PROJECT**

PROJECT NO.:
2024-1

DATE:
03/02/24

DRAWN BY:
JDR

SCALE:
1/4" = 1'-0"

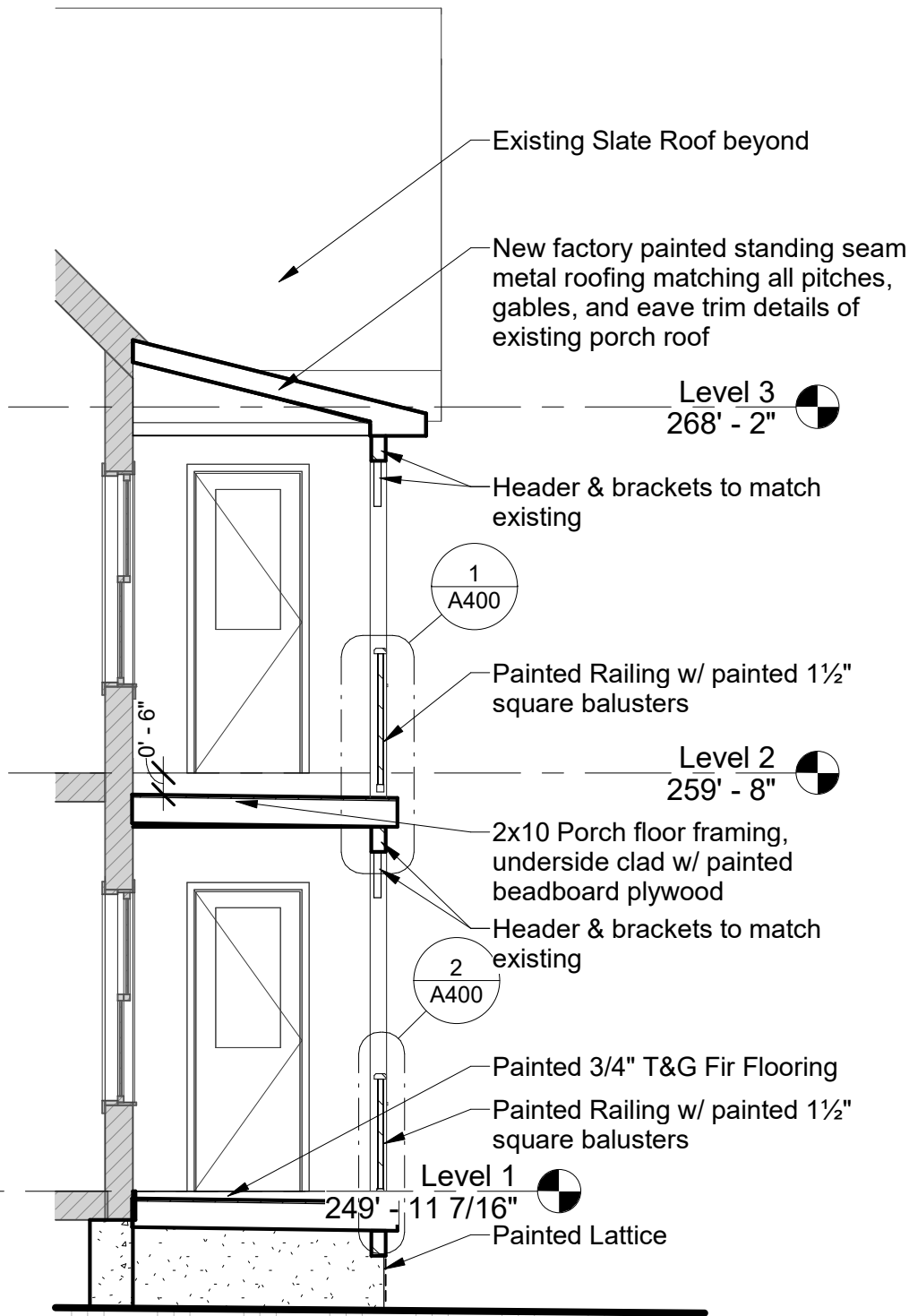
ISSUE REF:
Rev. 1 3/30/24

SHEET REF:

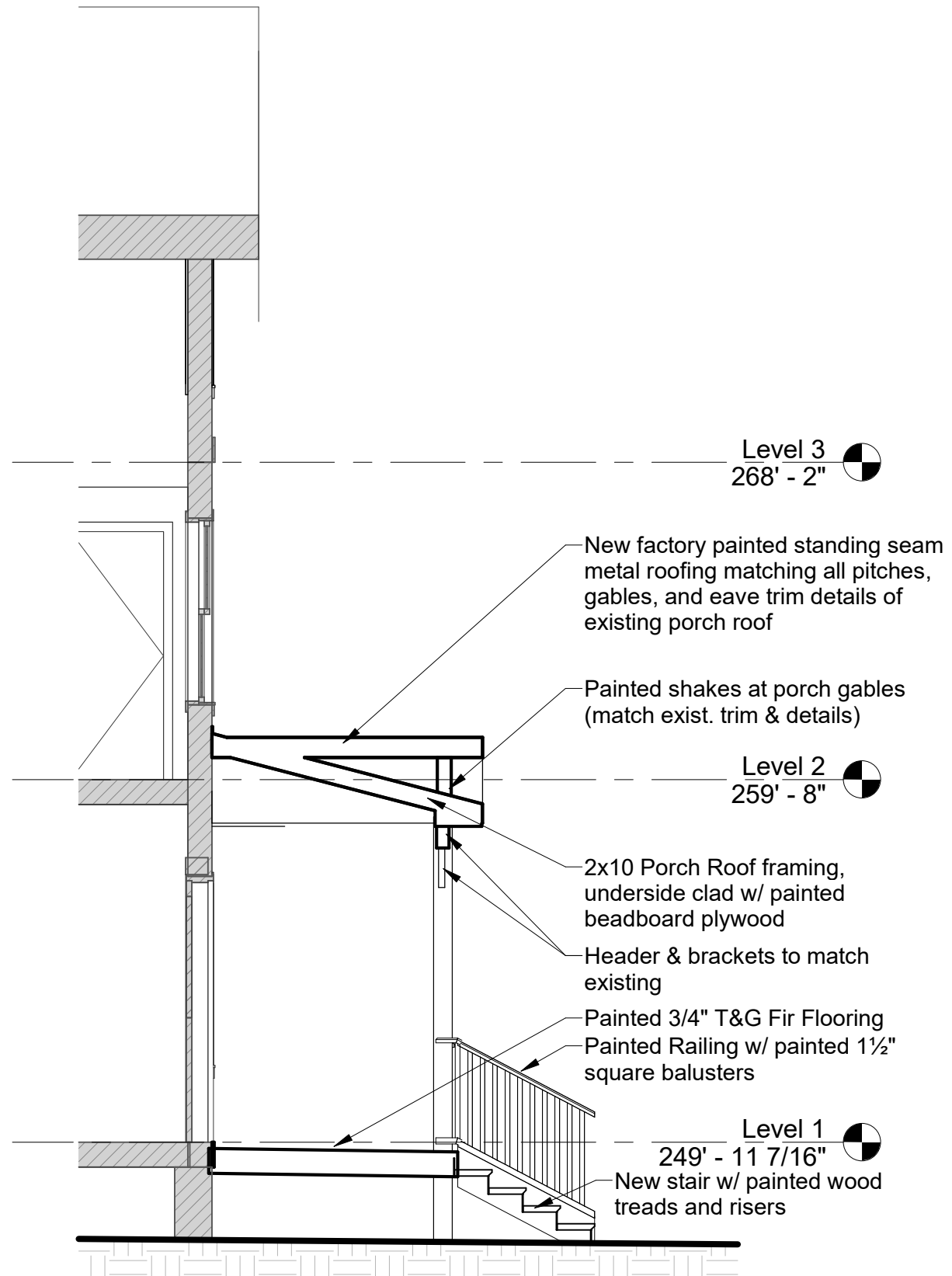
SUBJECT:

Sections

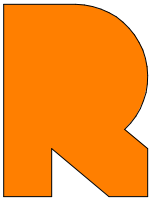
SHEET NO:
A300



② SECTION AT 2 STORY (NORTH) PORCH
1/4" = 1'-0"



① SECTION AT 1 STORY (EAST) PORCH
1/4" = 1'-0"



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PORCH
REPLACEMENT
PROJECT

PROJECT NO.:
2024-1

DATE:
03/12/24

DRAWN BY:
JDR

SCALE:
As indicated

ISSUE REF:

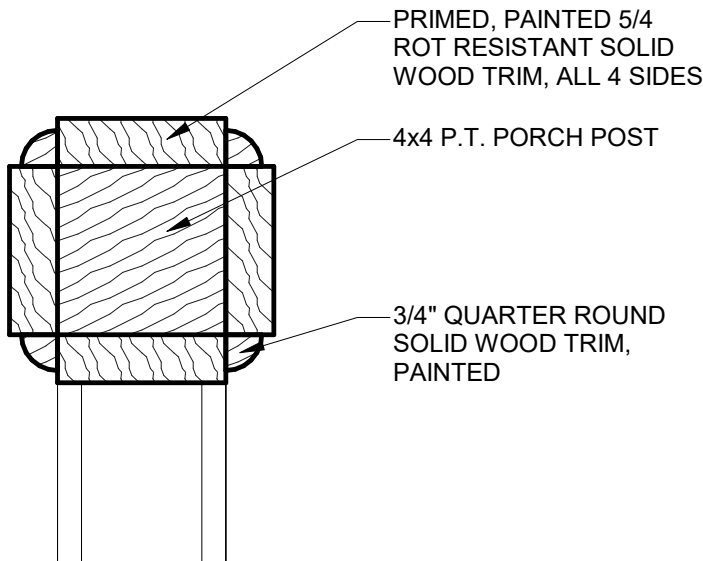
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SUBJECT:

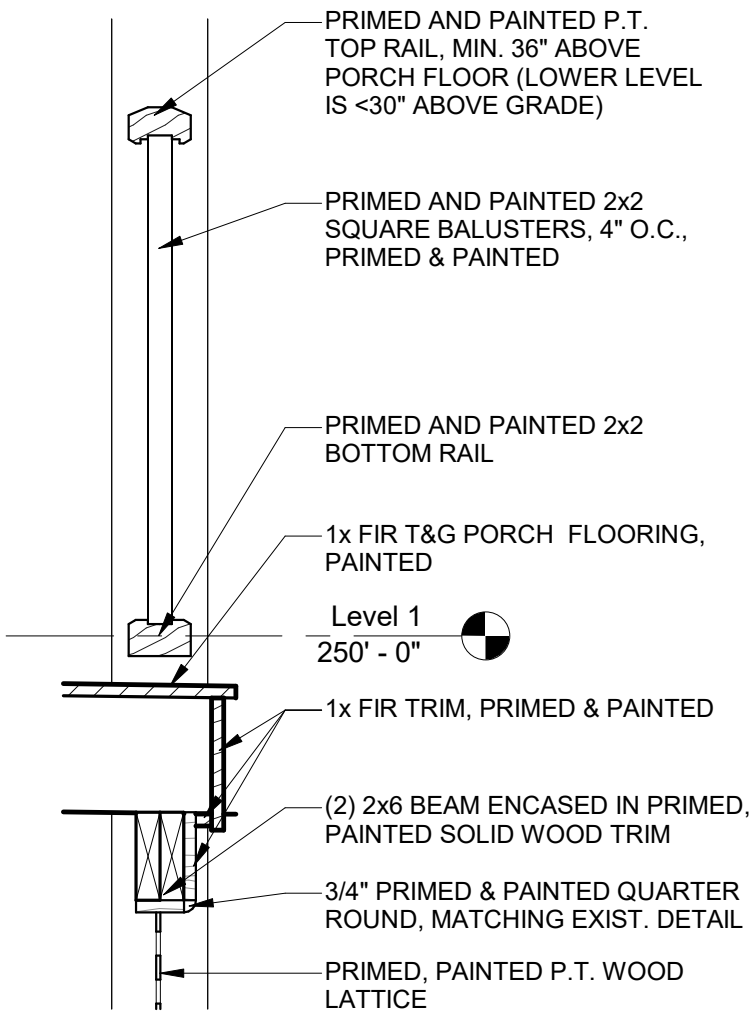
DETAILS

SHEET NO:

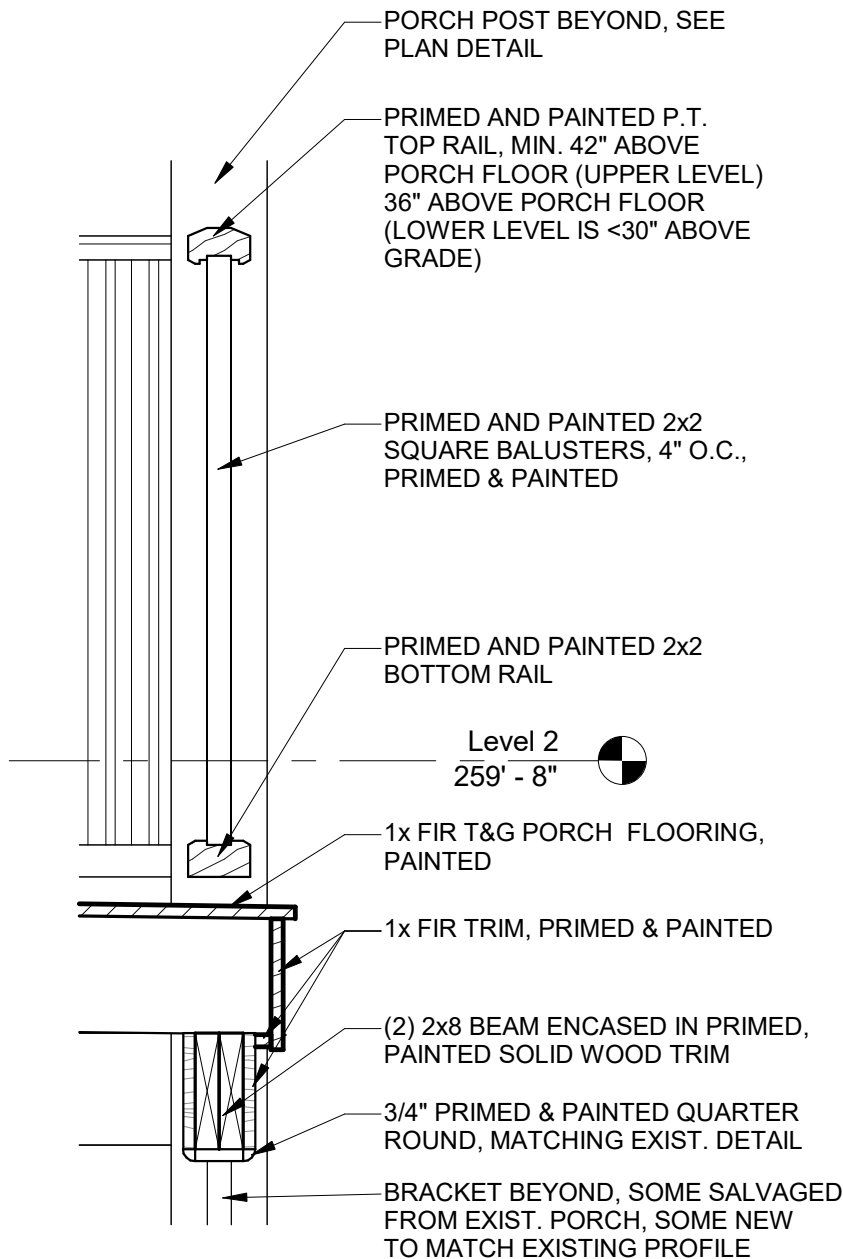
A400



3 PORCH POST DETAIL (Matches exist/ original)
3" = 1'-0"



2 TYP. RAILING DETAIL (LOWER LEVEL)
1" = 1'-0"



1 TYP. RAILING DETAIL (UPPER LEVEL)
1" = 1'-0"

TECHNICAL INFORMATION SHEET

standing seam roofing
.032 to be used
20" pans w/ 1.5" seams

Firestone
Firestone Building Products

UNA-CLAD Kynar 500®/Hylar 500 Pre-Finished Aluminum Architectural Sheet & Coil

Item Description

0.032" (.81 mm) , 0.040" (1 mm), 0.050" (1.3 mm) and 0.063" (1.6 mm) gauge



Product Information

Description:

Firestone UNA-CLAD PVDF Coated Aluminum Architectural Sheet & Coil is aluminum sheet conforming to ASTM B209 standards with H14 temper that is primed and coated on one side with UNA-CLAD full strength Kynar 500/Hylar 5000 (contains a minimum of 70% Kynar/Hylar polyvinylidene fluoride [PVDF] resins) premium fluoropolymer coating system of 1.0 (+/-0.1) mil total dry film thickness. For additional protection a wash coat of 0.3-0.4 mil dry film thickness is applied to the reverse side. An optional strippable protection film is applied for protection during fabrication and installation. Firestone UNA-CLAD PVDF Coated Aluminum Architectural Sheet & Coil is for general sheet metal use in building applications, including fascia, soffits, gravel stops, copings, store fronts, and roofing.

Method of Application:

1. Install in accordance with recognized sheet metal practices.
2. UNA-CLAD can be cut, formed, and fastened using conventional hand or appropriate power tools.
3. For best results cutting edges should be kept sharp, clean, properly dressed, and closely aligned.
4. Fabrication and erection can be accomplished with strippable plastic film in place. Equipment adjustments may need to be made for the film thickness. Film should be removed from areas of concealed or joined pieces.

NOTE: Metallics are batched controlled and could display color variation if mixed.

Storage and Packaging:

- Firestone metal sheet and coil should be stored in a well ventilated, dry place where no moisture can contact the sheet. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.
- If outdoor storage cannot be avoided, protect the sheet and coil with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood.
- Maximum 2,000 lb of sheets per pallet.

Precautions:

- Protective film may degrade or become brittle with exposure to direct sunlight.
- Product should not be used in areas of high abrasion or where it is subject to mechanical damage.
- Product is pre-finished material; care must be exercised during fabrication and erection to avoid surface damage.
- Firestone recommends a minimum bend radius of 2T for .032" (.81 mm) and .040" (1 mm) materials and a 3T bend radius for any material .050" (1.3 mm) or greater. Anything less than these minimum bend radiuses can cause crazing to the material.
- Attention should be paid to good house-keeping practices
- Tools must be clean and properly dressed.
- Avoid dragging sheets over surfaces which may scratch or mar the finish.
- For general sheet metal use in building applications.
- Do not cut with power saws or abrasive blade.

NOTE: Metallics are batched controlled and could display color variation if mixed.

TECHNICAL INFORMATION SHEET

UNA-CLAD Kynar 500®/Hylar 5000™ Pre-Finished Aluminum Architectural Sheet & Coil

LEED® Information:

3105 Alloy

Post-Consumer Recycled Content: 50 - 65%

Pre-Consumer Recycled Content: 18 – 38%

Manufacturing Location: Anoka, MN

*NOTE: LEED® is a registered trademark of the U.S. Green Building Council.



Product Data

Property	Value	Typical Performance
Color	Standard Colors available: See current UNA Clad Color Chart	---
Finish	Extra Smooth Matte – Low to Medium Gloss	---
Optional Finish	Extra Low Gloss: Extra High Gloss, Stucco Embossed (mechanical finish)	---
Hardness	ASTM D 3363	HB to 2H
Humidity Resistance	ASTM D 1735, Hours: 2000	No blistering, no loss of adhesion
Impact Resistance	ASTM D 2794	Reverse Impact: No loss of adhesion
Salt Spray Resistance	ASTM B 117, Hours: 3000	No creepage from scribe and no field blisters
Tunnel Test	ASTM E 84	Class A Coating
UV Exposure	ASTM G 154, Hours: 2016	<u>Chalk</u> : Rating of 8 or better per ASTM D 4214, Method A (ASTM D 659) <u>Color</u> : <5ΔE Hunter, Units per ASTM D 2244
Wet Adhesion	Water Immersion, Hours: 1500	No loss of adhesion
Dimensions		
Gauge In	Slit Coil	Sheet
0.032, 0.040, 0.050, 0.060	0.4" – 48.0"* (0.1 m – 1.2 m)	48" x 96", 120", & 144"* (1.2 m x 2.4, 3.1 & 3.7 m)
NOTE: *May not be available in all gauges, or widths. Additional lead times may apply. Contact your Firestone Technical Coordinator for additional information.		

Weight		
Gauge In	lb/sf	Kg/m²
0.032	0.456	2.20
0.040	0.576	2.75
0.050	0.720	3.50
0.063	0.907	4.40

TECHNICAL INFORMATION SHEET

UNA-CLAD Kynar 500®/Hylar 5000™ Pre-Finished Aluminum Architectural Sheet & Coil

Typical Properties

Base Metal		
Property	Value	
Standard	ASTM B209, Aluminum Association, Standard for Specification, Sheets and Coils	
Base Metal	Aluminum	
Minimum Yield	21 KSI (1245 MPa)	
Co-efficient of Thermal Expansion	12.6 x 10 ⁻⁶ in/in/ °F (22.2 m/m.K x 10 ⁻⁶)	
Modules of Elasticity	10.0 x 10 ³ x KSI (68.9 MPa)	
Fluoropolymer Coating		
Property	Test Method	Typical Performance
Abrasion Resistance	ASTM D 968, Method A	Co-Efficient of sand abrasion 65±10
Accelerated Weathering	ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, Type EH apparatus Hours: 5000	Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤ΔE Color change per ASTM D 2244
	ASTM D 4587 Condition B or ASTM G 53 Method 1 or 2, Type EH apparatus or ASTM G 154 Hours: 5000	
	ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, Type EH apparatus or ASTM G 151 Hours: 2000	
	ASTM D 3361 Hours: 1000	Acceptable – No cracking, peeling, blistering, loss of adhesion of the protective coating, or corrosion of the base metal Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤ΔE Color change per ASTM D 2244
Adhesion	ASTM D 3359, Method B	No loss of adhesion
Chalk Resistance	ASTM D 659	No Chalk; Rating 9-10
Chemical/Acid Pollution Resistance	ASTM D 1308 Procedure 7.2	Pass; No color change
Formability	NCCA 4.2.8	2T to 4T No loss of adhesion
Gloss	ASTM D 523	25-35 at 60 degrees

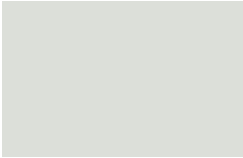
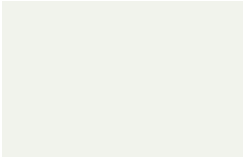
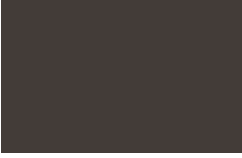
Please contact Firestone Technical Services Department at 1-800-428-4511 for further information.

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UNA-CLAD™ METAL

COLOR SELECTION

				
Stone White	Bone White	Almond	Sandstone	Sierra Tan
				
Slate Gray	Aged Zinc*	Cityscape	Charcoal Gray	Matte Black
				
Mansard Brown	Burnished Slate*®	Medium Bronze	Dark Bronze	Extra Dark Bronze
				
Brandywine	Regal Red	Colonial Red	Terra Cotta	Hartford Green
				
Award Blue*®	Regal Blue	Sky Blue	Electric Blue*®	Teal
				
Sherwood Green	Dark Ivy	Patina Green	Helmlock Green	Tropical Patina
				
Vintage*®	Silver Metallic*®	Classic Copper*®	Champagne Metallic*®	

Colors shown are as close to actual painted steel as allowed by the printing process.
For finish warranty information and actual metal samples, please contact your local Sales Rep.
SRI numbers available by request.
* = Denotes premium color.
@ = Due to the unique nature of the product, color may vary slightly from batch to batch.
Batches should not be mixed on projects.

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< Back to Results / Building Supplies / Decking / Deck Railing Components / Deck Handrails

Severe Weather 6-ft L x 3.25-in W x 2-in H Wood Pressure Treated Wood Handrail

Item #1218667 | Model #HRL6T

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#1 grade southern yellow pine with no wane molded for a smooth feel and a finished look
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Ecolife (EL2) provides built-in water repellency that lasts for up to 3 years and reduces surface cracking and checking by up to 50% compared to ordinary...

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Item #1218666 | Model #HR246T15EL

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\$10.98

Southern yellow pine with no wane molded for a smooth feel and a finished look
Severe Weather above ground pressure treated exterior wood protected by Ecolife (EL2): a stabilizing formula that repels water, keeps boards straight...
Ecolife (EL2) provides built-in water repellency that lasts for up to 3 years and reduces surface cracking and checking by up to 50% compared to ordinary...

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OF VERMONT
Division for Historic Preservation
Montpelier, VT 05602

HISTORIC SITES & STRUCTURES SURVEY
Individual Structure Survey Form

COUNTY:	Chittenden
TOWN:	Burlington
LOCATION:	23 Weston St.
COMMON NAME:	
FUNCTIONAL TYPE:	residence
OWNER:	Kevin Kennedy
ADDRESS:	23 Weston St. Burlington, Vt.
ACCESSIBILITY TO PUBLIC:	Yes ☐ No ☒ Restricted ☐
LEVEL OF SIGNIFICANCE:	Local ☐ State ☒ National ☐

GENERAL DESCRIPTION:

Structural System

1. Foundation: Stone ☒ Brick ☐ Concrete ☐ Concrete Block ☐
2. Wall Structure
 - a. Wood Frame: Post & Beam ☐ Balloon ☒
 - b. Load Bearing Masonry: Brick ☐ Stone ☐ Concrete ☐ Concrete Block ☐
 - c. Iron ☐ d. Steel ☐ e. Other:
3. Wall Covering: Clapboard ☒ Board & Batten ☐ Wood Shingle ☒
Shiplap ☐ Novelty ☐ Asbestos Shingle ☐ Sheet Metal ☐
Aluminum ☐ Asphalt Shingle ☐ Brick Veneer ☐ Stone Veneer ☐
Bonding Pattern: Other:
4. Roof Structure
 - a. Truss: Wood ☒ Iron ☐ Steel ☐ Concrete ☐
 - b. Other:
5. Roof Covering: Slate ☒ Wood Shingle ☐ Asphalt Shingle ☐
Sheet Metal ☐ Built Up ☐ Rolled ☐ Tile ☐ Other:
6. Engineering Structure:
7. Other:

Appendages: Porches ☒ Towers ☐ Cupolas ☐ Dormers ☐ Chimneys ☒
Sheds ☐ Ells ☒ Wings ☐ Bay Window ☐ Other:

Roof Style: Gable ☒ Hip ☐ Shed ☐ Flat ☐ Mansard ☐ Gambrel ☐
Jerkinhead ☐ Saw Tooth ☐ With Monitor ☐ With Bellcast ☐
With Parapet ☐ With False Front ☐ Other:

Number of Stories: 2 1/2

Number of Bays: 4 x 5

Approximate Dimensions: _____

Entrance Location: left & right

SURVEY NUMBER:

23 Weston St.

NEGATIVE FILE NUMBER:

78-A-155

UTM REFERENCES:

Zone/Easting/Northing

U.S.G.S. QUAD. MAP:

PRESENT FORMAL NAME:

ORIGINAL FORMAL NAME:

John S. O'Brien House

PRESENT USE: apartments/residence

ORIGINAL USE: residence

ARCHITECT/ENGINEER:

BUILDER/CONTRACTOR:

PHYSICAL CONDITION OF STRUCTURE:

Excellent ☐ Good ☐

Fair ☒ Poor ☐

STYLE: Queen Anne

DATE BUILT:

c. 1895

THREAT TO STRUCTURE:

No Threat ☒ Zoning ☐ Roads ☐
Development ☐ Deterioration ☐
Alteration ☐ Other:

LOCAL ATTITUDES:

Positive ☐ Negative ☐
Mixed ☐ Other:

ADDITIONAL ARCHITECTURAL OR STRUCTURAL DESCRIPTION:

Massing - Rectangular block with 2 story, rear ell, one story porch on ell; projecting pavilion on north elevation. Front porch.

Penetration - 4 x 5; 1/1 sash, louvered blinds.

Entrance - 4 x 2, one story veranda with chamfered posts, scrolled braces, plain entablature; Queen Anne glass and panel door; 2nd story porch with plain posts.

Cornice - Boxed.

The gable ends are shingled.

RELATED STRUCTURES: (Describe)

STATEMENT OF SIGNIFICANCE:

This vernacular Queen Anne house is essentially unchanged since its construction in the late 1890's. Typical of many houses in this neighborhood it displays Queen Anne elements in the veranda and in the use of clapboards and shingles to embellish the exterior. It contributes to the overall turn-of-the-century profile of the street. It was built for John S. O'Brien, a coachman for lumber baron W. A. Crombie, thus suggesting the widespread affluence which industrialized Burlington enjoyed in the 1890's.

REFERENCES:

Burlington City Directories, Sanborn Insurance Maps, Burlington Free Press 7/29/1895.

MAP: (Indicate North in Circle)



SURROUNDING ENVIRONMENT:

Open Land ☐ Woodland ☐
Scattered Buildings ☐
Moderately Built Up ☒
Densely Built Up ☐
Residential ☒ Commercial ☐
Agricultural ☐ Industrial ☐
Roadside Strip Development ☐
Other:

RECORDED BY:

Gloria Scott

ORGANIZATION:

VI. Div. for Historic Preservation

DATE RECORDED:

June 29, 1978